

DEMOLITION

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DEMOLITION DRAWINGS TO BE READ IN CONJUNCTION WITH PROPOSED ARCHITECTURAL PACKAGE & SPECIFICATIONS.

ALL EXISTING FLOOR FINISHES, SUBSTRATES, MEMBRANES TO BE REMOVED AS DOCUMENTED.

MAKE GOOD TO ALL STRUCTURAL ELEMENTS AND ENSURE STRUCTURAL INTEGRITY IS RETAINED. STRUCTURAL ENGINEER TO SIGN OFF AND APPROVE PRIOR TO ANY STRUCTURAL WORKS

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ALL EXISTING FIXTURES AND JOINERY TO BE REMOVED UNLESS OTHERWISE DOCUMENTED

ALL ELECTRICAL FITTINGS AND FIXTURES TO BE REMOVED INTERNALLY AND EXTERNALLY. CONTRACTOR TO ALLOW FOR NEW WIRING THROUGHOUT.

CONTRACTOR TO ALLOW SUFFICIENT WEATHER PROTECTION & SITE PROTECTION TO MAINTAIN THE REMAINING PARTS OF THE DWELLING DURING EACH STAGE OF DEMOLITION AND CONSTRUCTION.

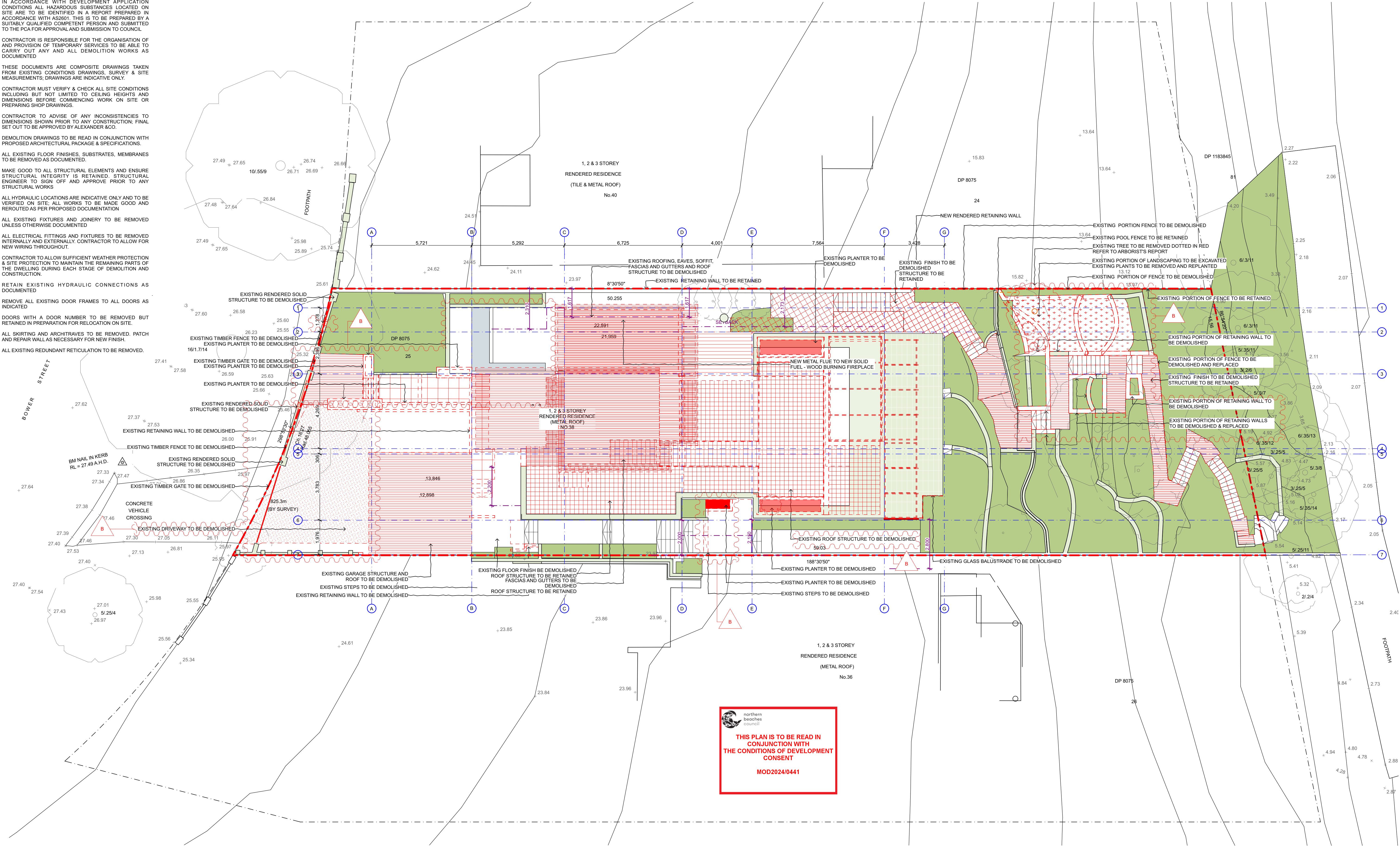
RETAIN EXISTING HYDRAULIC CONNECTIONS AS DOCUMENTED

REMOVE ALL EXISTING DOOR FRAMES TO ALL DOORS AS INDICATED

DOORS WITH A DOOR NUMBER TO BE REMOVED BUT RETAINED IN PREPARATION FOR RELOCATION ON SITE.

ALL SKIRTING AND ARCHITRAVES TO BE REMOVED. PATCH AND REPAIR WALL AS NECESSARY FOR NEW FINISH.

ALL EXISTING REDUNDANT RETICULATION TO BE REMOVED.



REV	DATE	DESCRIPTION	ATHR
A	25/7/2023	FOR DA SUBMISSION	CS
B	19/7/2024	FOR S4-S5 SUBMISSION	HK

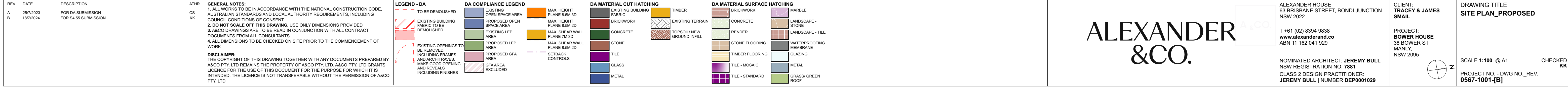
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LEGEND - DA	DA COMPLIANCE LEGEND	DA MATERIAL CUT HATCHING	DA MATERIAL SURFACE HATCHING
TO BE DEMOLISHED EXISTING BUILDING FABRIC TO BE DEMOLISHED EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES, MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	EXISTING OPEN SPACE AREA PROPOSED OPEN SPACE AREA EXISTING LEP AREA PROPOSED LEP AREA PROPOSED GFA AREA GFA AREA EXCLUDED	EXISTING BUILDING FABRIC BRICKWORK CONCRETE STONE TILE GLASS METAL	BRICKWORK CONCRETE STONE FLOORING TIMBER FLOORING TILE - MOSAIC TILE - STANDARD MARBLE LANDSCAPE - STONE LANDSCAPE - TILE WATERPROOFING MEMBRANE GLAZING METAL GRASS/ GREEN ROOF

ALEXANDER & CO.

ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderandco.com.au ABN 11 162 041 929	CLIENT: TRACEY & JAMES SMAIL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095	DRAWING TITLE SITE PLAN - EXISTING & DEMOLITION SCALE 1:100 @ A1 PROJECT NO. - DWG NO. REV. 0567-1000-[B]	CHECKED KK
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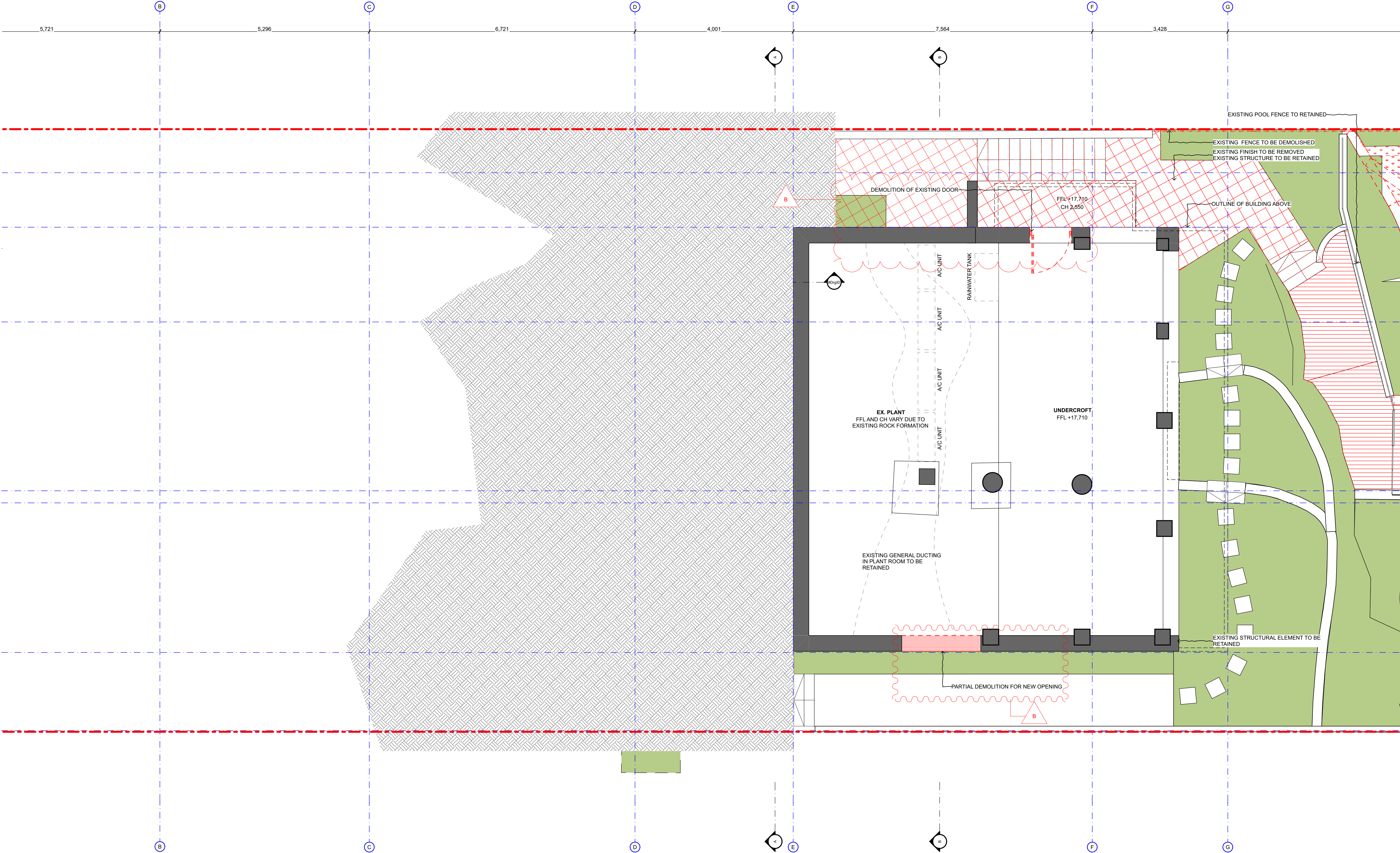
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LEGEND - DA		DA COMPLIANCE LEGEND		DA MATERIAL CUT HATCHING		DA MATERIAL SURFACE FINISHING							
TO BE DEMOLISHED		 EXISTING OPEN SPACE AREA		 MAX. HEIGHT PLANE 1.0M D1		 EXISTING BUILDING FABRIC		 BRICKWORK		 MARBLE		 ROCK	
 EXISTING BUILDING FABRIC TO BE DEMOLISHED		 PROPOSED OPEN SPACE AREA		 MAX. HEIGHT PLANE 1.5M D1		 EXISTING TERRAIN		 CONCRETE		 LANDSCAPE - STONE			
		 EXISTING LEP AREA		 MAX. SHEAR WALL PLANE 7M D3		 TOPSOIL/ NEW GROUND INFILL		 RENDER		 LANDSCAPE - TILE			
 EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ANCHORAGES, MAKE GOOD OPENING AND REINFORCE INCLUDING FINISHES		 PROPOSED LEP AREA		 MAX. SHEAR WALL PLANE 1.5M D1				 STONE FLOORING		 WATERPROOFING			
		 PROPOSED GFA AREA		 SETBACK CONTROLS		 TILE		 TIMBER FLOORING		 GLAZING			
		 GFA AREA EXCLUDED				 GLASS		 TILE - MOSAIC		 METAL			
				 METAL		 METAL		 TILE - STANDARD		 GRASS/ GREEN ROOF			

ALEXANDER
& CO.

ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022	CLIENT: TRACEY & JAMES SMIAL	DRAWING TITLE BASEMENT - GENERAL ARRANGEMENT PLAN - EXISTING & DEMOLITION	
T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929	PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095		
NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO 7891 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP00010129		SCALE 1:50 @ A1 PROJECT NO. - DWG NO. _REV. 0567-2000-[B]	CHECKED KK

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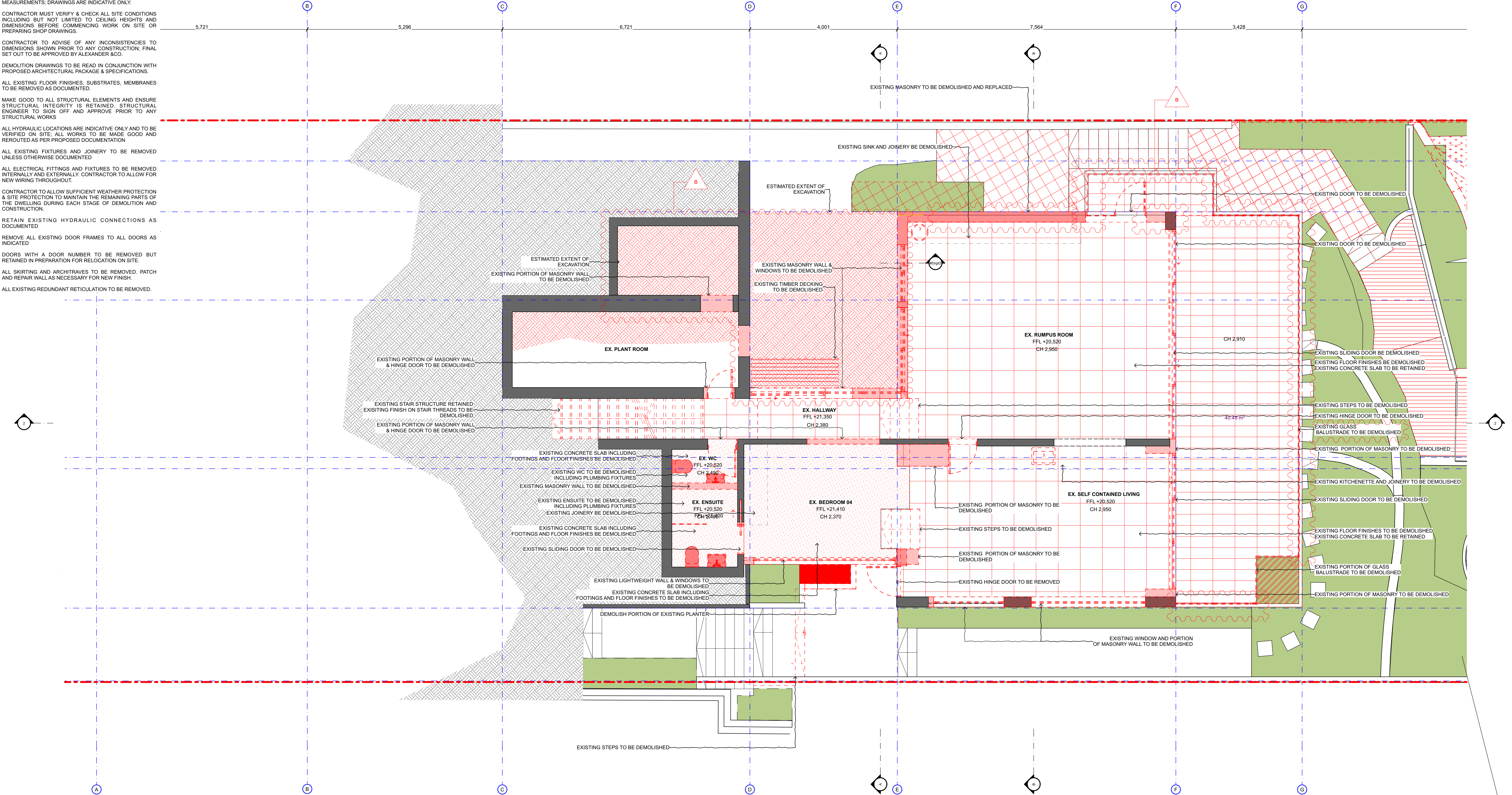
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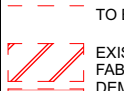
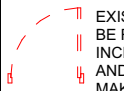
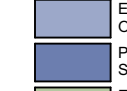
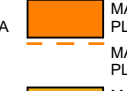
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 **THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**
MOD2024/0441

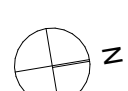


REV	DATE	DESCRIPTION	ATHR
A	25/7/2023	FOR DA SUBMISSION	CS
B	19/7/2024	FOR DA-95 SUBMISSION	KK

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LEGEND - DA	DA COMPLIANCE LEGEND	DA MATERIAL CUT HATCHING	DA MATERIAL SURFACE HATCHING	DA SHADOW STUDY
 TO BE DEMOLISHED  EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	 EXISTING OPEN SPACE AREA  PROPOSED OPEN SPACE AREA  EXISTING LEP AREA  PROPOSED LEP AREA  PROPOSED GFA AREA GFA AREA EXCLUDED	 MAX. HEIGHT PLANE 8.5M 3D  MAX. HEIGHT PLANE 8.5M 2D  MAX. SHEAR WALL PLANE 7M 3D  MAX. SHEAR WALL PLANE 8.5M 2D  SETBACK CONTROLS	 BRICKWORK  CONCRETE  RENDER  STONE FLOORING  TILE - MOSAIC TILE - STANDARD MARBLE LANDSCAPE - STONE LANDSCAPE - TILE WATERPROOFING MEMBRANE GLAZING METAL GRASS/ GREEN ROOF ROCK	 PROPOSED SHADOW  EXISTING SHADOW  NO LONGER SHADOW

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ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderandco.com.au ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029	CLIENT: TRACEY & JAMES SMAIL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095 	DRAWING TITLE LOWER GROUND FLOOR - GENERAL ARRANGEMENT PLAN - EXISTING & DEMOLITION SCALE 1:50 @ A1 PROJECT NO. - DWG NO. REV. 0567-2001-[B] CHECKED KK
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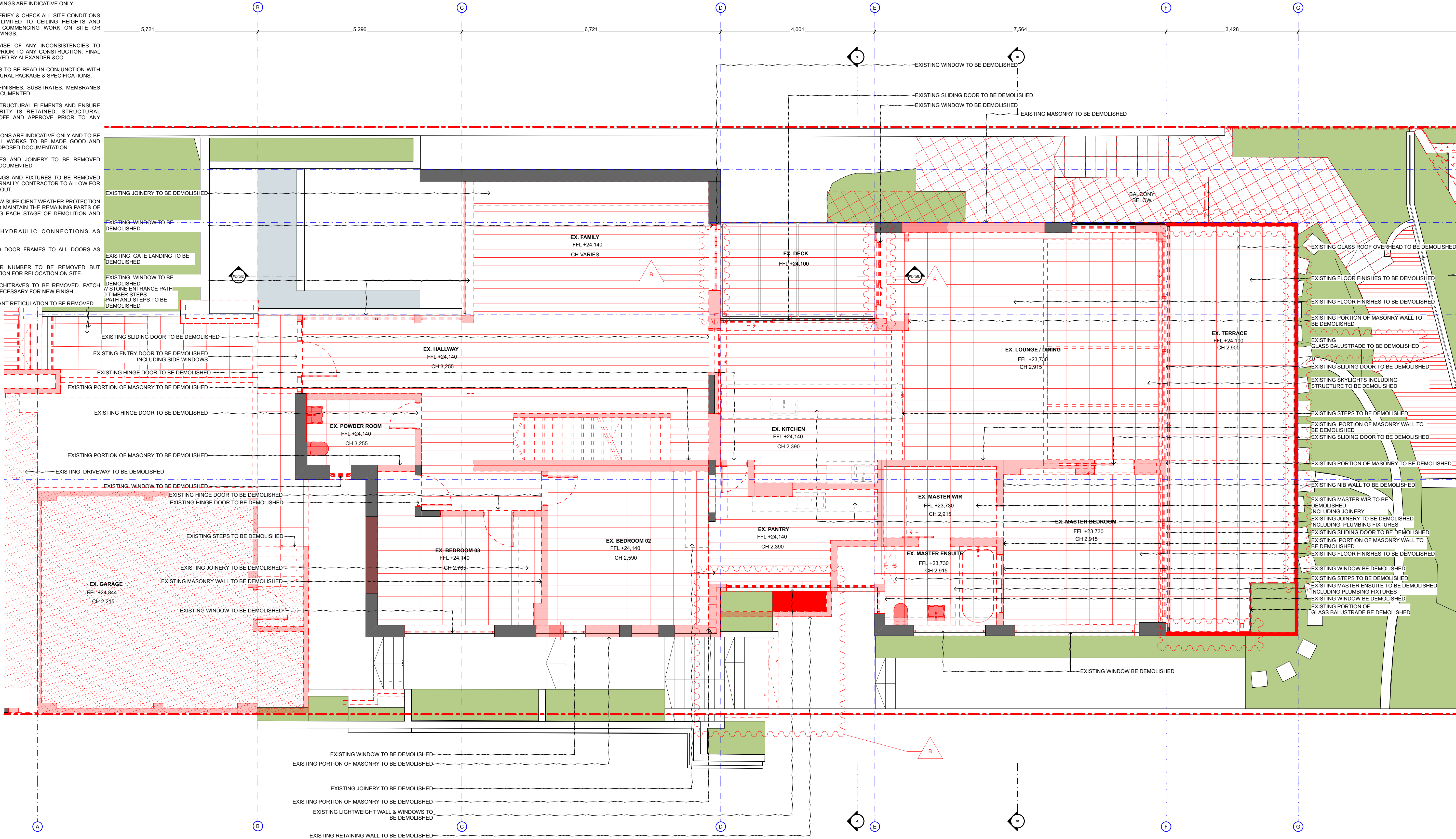
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LEGEND - DA	
TO BE DEMOLISHED	EXISTING BUILDING FABRIC TO BE DEMOLISHED
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DA COMPLIANCE LEGEND	
EXISTING OPEN SPACE AREA	PROPOSED OPEN SPACE AREA
EXISTING LEP AREA	PROPOSED LEP AREA
PROPOSED LEP AREA	PROPOSED GFA AREA
PROPOSED GFA AREA	PROPOSED GFA AREA EXCLUDED

MAX. HEIGHT PLANE 8.5M 3D	MAX. HEIGHT PLANE 8.5M 2D
MAX. SHEAR WALL PLANE 7M 3D	MAX. SHEAR WALL PLANE 8.5M 2D
MAX. SHEAR WALL PLANE 8.5M 2D	SUBTRACK CONTROLS

DA MATERIAL CUT HATCHING	
EXISTING BUILDING FABRIC	BRICKWORK
CONCRETE	STONE
TILE	GLASS
METAL	

DA MATERIAL SURFACE HATCHING	
BRICKWORK	CONCRETE
RENDER	STONE FLOORING
TIMBER FLOORING	TILE - MOSAIC
TILE - STANDARD	MARBLE
LANDSCAPE - STONE	LANDSCAPE - TILE
WATERPROOFING MEMBRANE	GLAZING
METAL	GRASS / GREEN ROOF

DA SHADOW STUDY	
PROPOSED SHADOW	EXISTING SHADOW
NO LONGER SHADOW	

ALEXANDER & CO.

ALEXANDER HOUSE
63 BRISBANE STREET, BONDI JUNCTION
NSW 2022

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ABN 11 162 041 929

NOMINATED ARCHITECT: JEREMY BULL
NSW REGISTRATION NO. 7881
CLASS 2 DESIGN PRACTITIONER:
JEREMY BULL | NUMBER DEP0001029

CLIENT:
TRACY & JAMES
SMALL

PROJECT:
BOWER HOUSE
38 BOWER ST
MANLY,
NSW 2095

DRAWING TITLE
GROUND FLOOR - GENERAL
ARRANGEMENT PLAN -
EXISTING & DEMOLITION

SCALE 1:50 @ A1
PROJECT NO. - DWG NO. REV.
0567-2002-[B]

CHECKED
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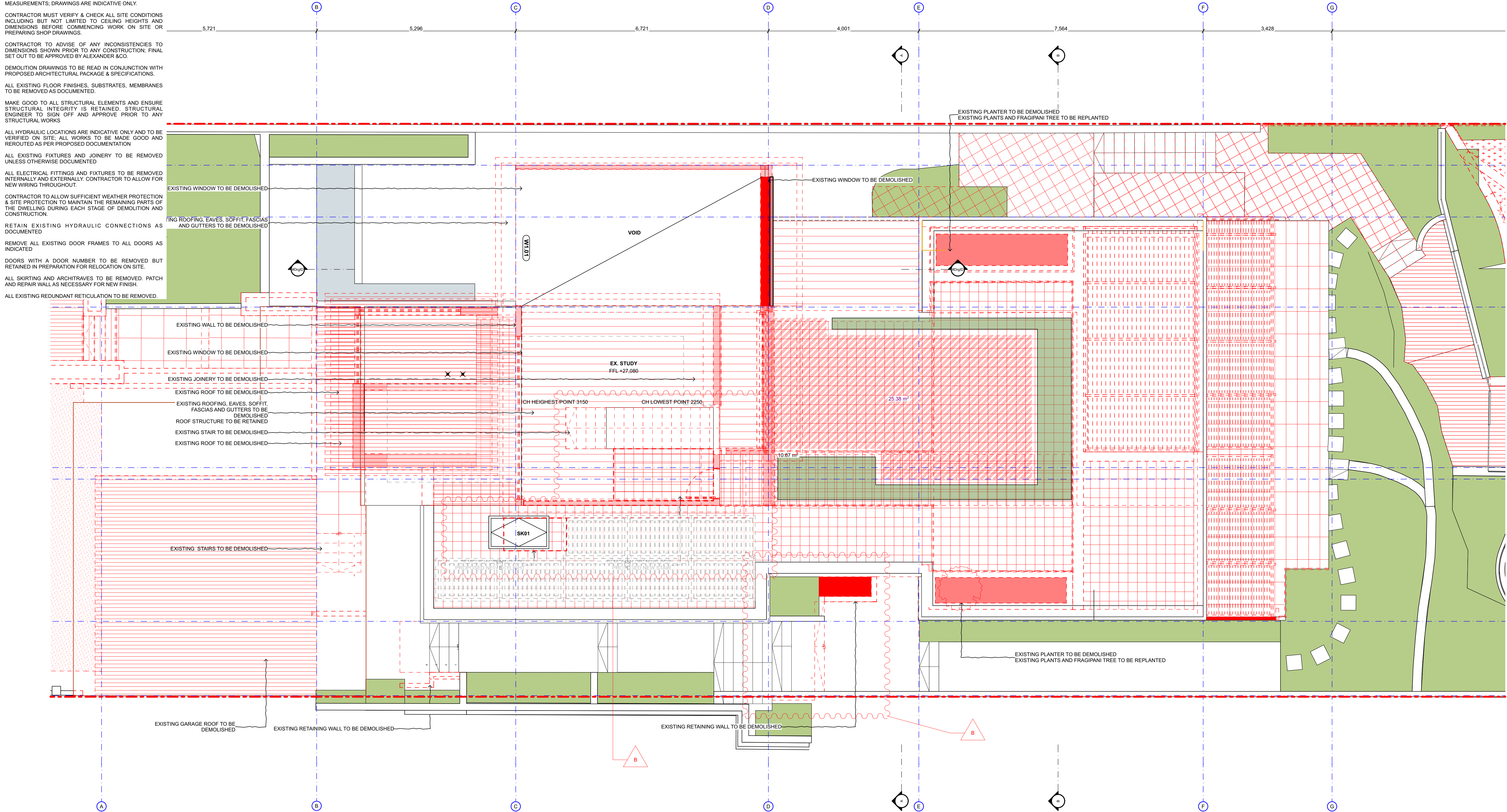
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DRAWING TITLE
**FIRST FLOOR - GENERAL
ARRANGEMENT PLAN -
EXISTING & DEMOLITION**

SCALE 1:50 @ A1

CHECKED
KK

PROJECT NO. - DWG NO._REV.
0567-2003-[B]

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ALL EXISTING FLOOR FINISHES, SUBSTRATES, MEMBRANES TO BE REMOVED AS DOCUMENTED.

MAKE GOOD TO ALL STRUCTURAL ELEMENTS AND ENSURE STRUCTURAL INTEGRITY IS RETAINED. STRUCTURAL ENGINEER TO SIGN OFF AND APPROVE PRIOR TO ANY STRUCTURAL WORKS.

ALL HYDRAULIC LOCATIONS ARE INDICATIVE ONLY AND TO BE VERIFIED ON SITE; ALL WORKS TO BE MADE GOOD AND REROUTED AS PER PROPOSED DOCUMENTATION.

ALL EXISTING FIXTURES AND JOINERY TO BE REMOVED UNLESS OTHERWISE DOCUMENTED.

ALL ELECTRICAL FITTINGS AND FIXTURES TO BE REMOVED INTERNALLY AND EXTERNALLY. CONTRACTOR TO ALLOW FOR NEW WIRING THROUGHOUT.

CONTRACTOR TO ALLOW SUFFICIENT WEATHER PROTECTION & SITE PROTECTION TO MAINTAIN THE REMAINING PARTS OF THE DWELLING DURING EACH STAGE OF DEMOLITION AND CONSTRUCTION.

RETAIN EXISTING HYDRAULIC CONNECTIONS AS DOCUMENTED.

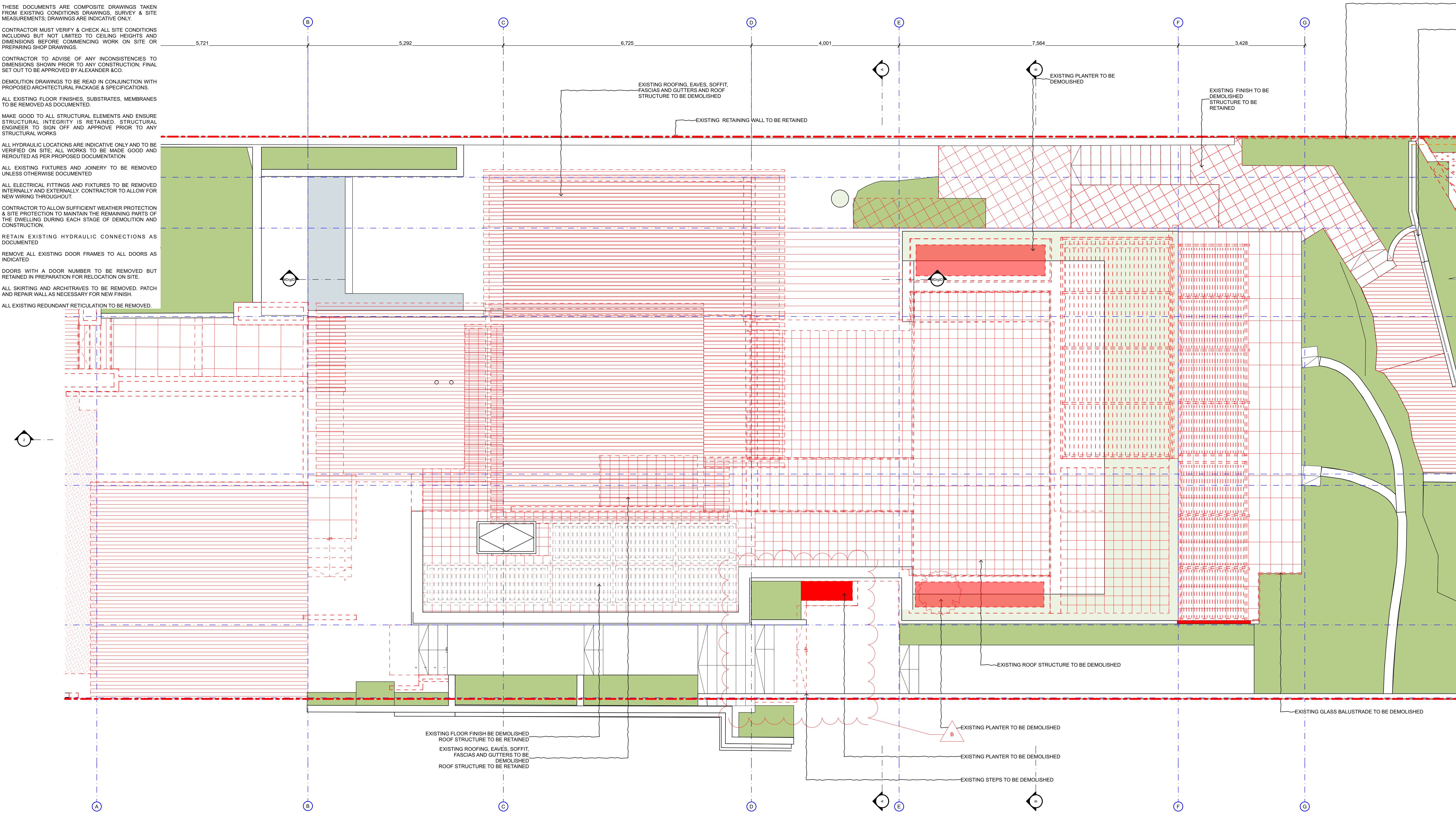
REMOVE ALL EXISTING DOOR FRAMES TO ALL DOORS AS INDICATED.

DOORS WITH A DOOR NUMBER TO BE REMOVED BUT RETAINED IN PREPARATION FOR RELOCATION ON SITE.

ALL SKIRTING AND ARCHITRAVES TO BE REMOVED. PATCH AND REPAIR WALL AS NECESSARY FOR NEW FINISH.

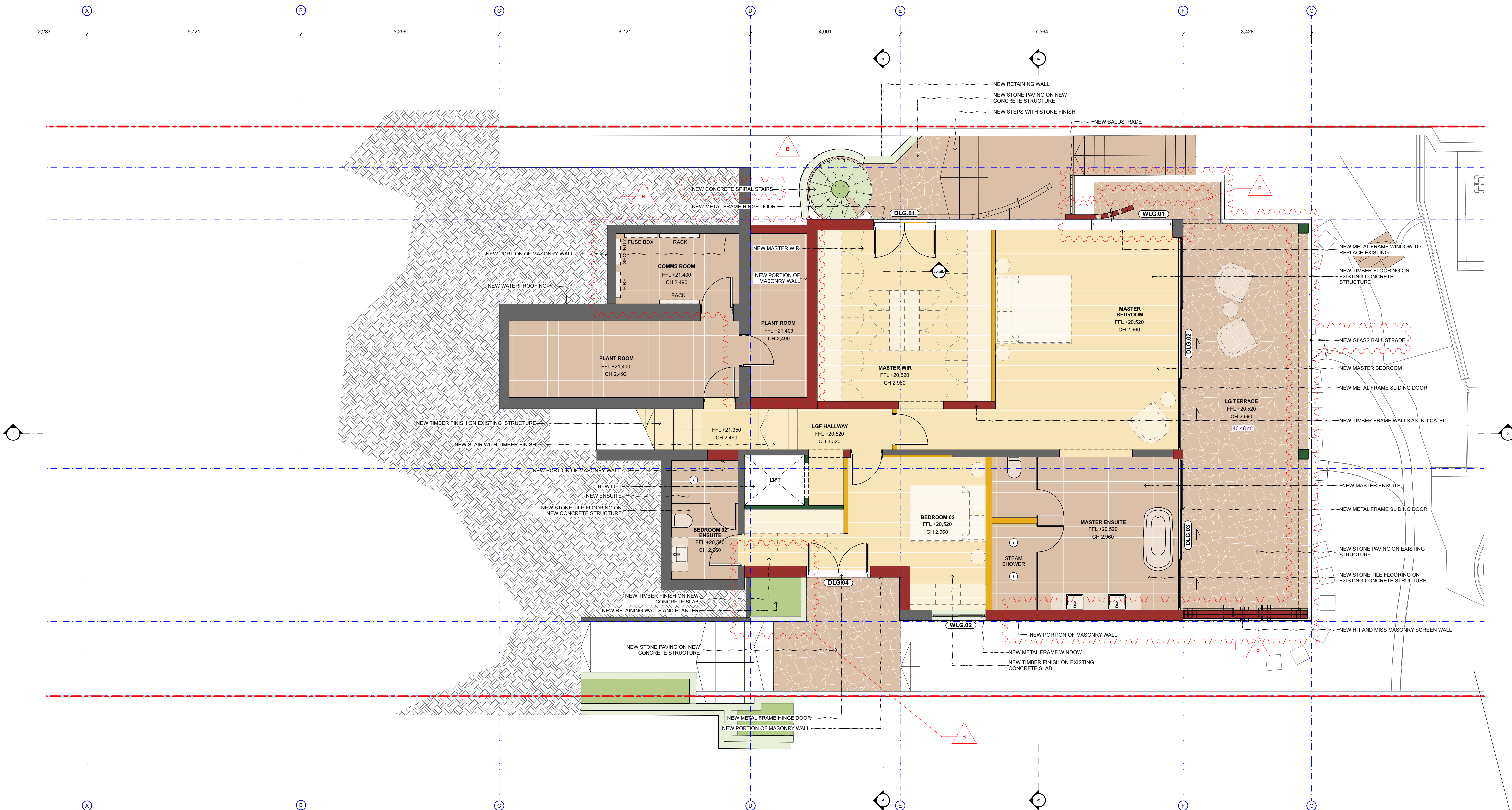
ALL EXISTING REDUNDANT RETICULATION TO BE REMOVED.

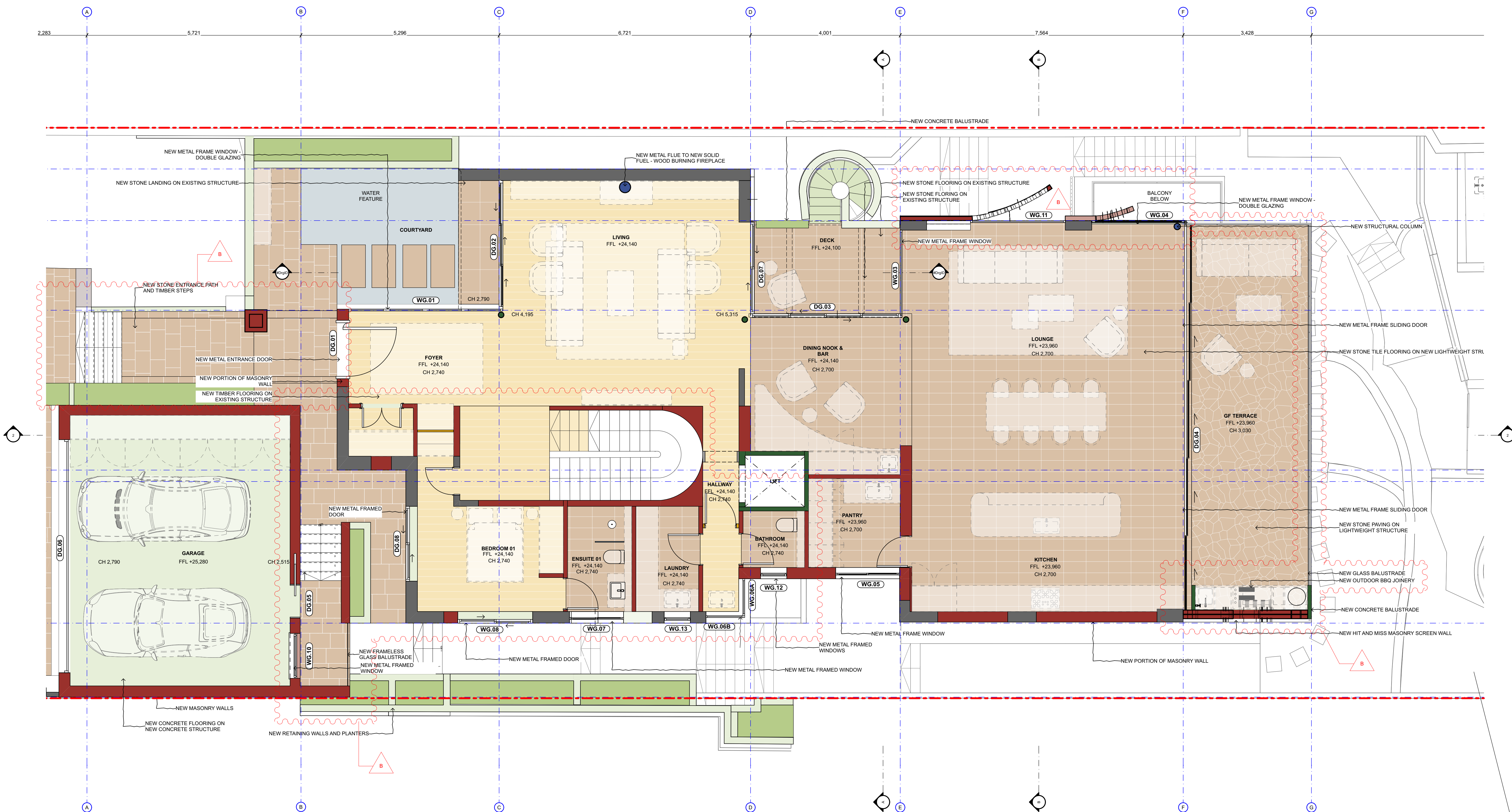
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2024/0441



DATE		DESCRIPTION	ATHR	GENERAL NOTES: 1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED DOCUMENTS FROM ALL CONSULTANTS 3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS 4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK DISCLAIMER: THE COPYRIGHT OF THIS DRAWING TOGETHER WITH ANY DOCUMENTS PREPARED BY A&CO PTY LTD REMAINS THE PROPERTY OF A&CO PTY LTD. A&CO PTY LTD GRANTS LICENCE FOR THE USE OF THIS DOCUMENT FOR THE PURPOSE FOR WHICH IT IS INTENDED. THE LICENCE IS NOT TRANSFERABLE WITHOUT THE PERMISSION OF A&CO PTY LTD.	CS	LEGEND - DA [REDACTED] TO BE DEMOLISHED [REDACTED] EXISTING BUILDING FABRIC TO BE DEMOLISHED [REDACTED] EXISTING OPENINGS TO BE REMOVED [REDACTED] INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	DA COMPLIANCE LEGEND [REDACTED] EXISTING OPEN SPACE AREA [REDACTED] PROPOSED OPEN SPACE AREA [REDACTED] EXISTING LEP AREA [REDACTED] PROPOSED LEP AREA [REDACTED] PROPOSED GFA AREA [REDACTED] GFA AREA EXCLUDED	DA MATERIAL CUT HATCHING [REDACTED] EXISTING BUILDING FABRIC [REDACTED] BRICKWORK [REDACTED] CONCRETE [REDACTED] STONE [REDACTED] TILE [REDACTED] GLASS [REDACTED] METAL	DA MATERIAL SURFACE HATCHING [REDACTED] BRICKWORK [REDACTED] CONCRETE [REDACTED] RENDER [REDACTED] STONE FLOORING [REDACTED] TIMBER FLOORING [REDACTED] TILE - MOSAIC [REDACTED] TILE - STANDARD	DA SHADOW STUDY [REDACTED] PROPOSED SHADOW [REDACTED] EXISTING SHADOW [REDACTED] NO LONGER SHADOW	DA MATERIAL SURFACE HATCHING [REDACTED] MARBLE [REDACTED] LANDSCAPE - PLANT [REDACTED] LANDSCAPE - TILE [REDACTED] WATERPROOFING MEMBRANE [REDACTED] GLAZING [REDACTED] METAL [REDACTED] GRASS GREEN ROOF	ROCK [REDACTED]	
A	25/7/2023	FOR DA SUBMISSION	CS		63 ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022		CLIENT: TRACEY & JAMES SMALL	DRAWING TITLE ROOF - GENERAL ARRANGEMENT PLAN - EXISTING & DEMOLITION					
B	19/7/2024	FOR DA-95 SUBMISSION	JK		T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029		PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095						
ALEXANDER & CO.												SCALE 1:50 @ A1	CHECKED KK
											PROJECT NO. - DWG NO. REV.	0567-2004-[B]	

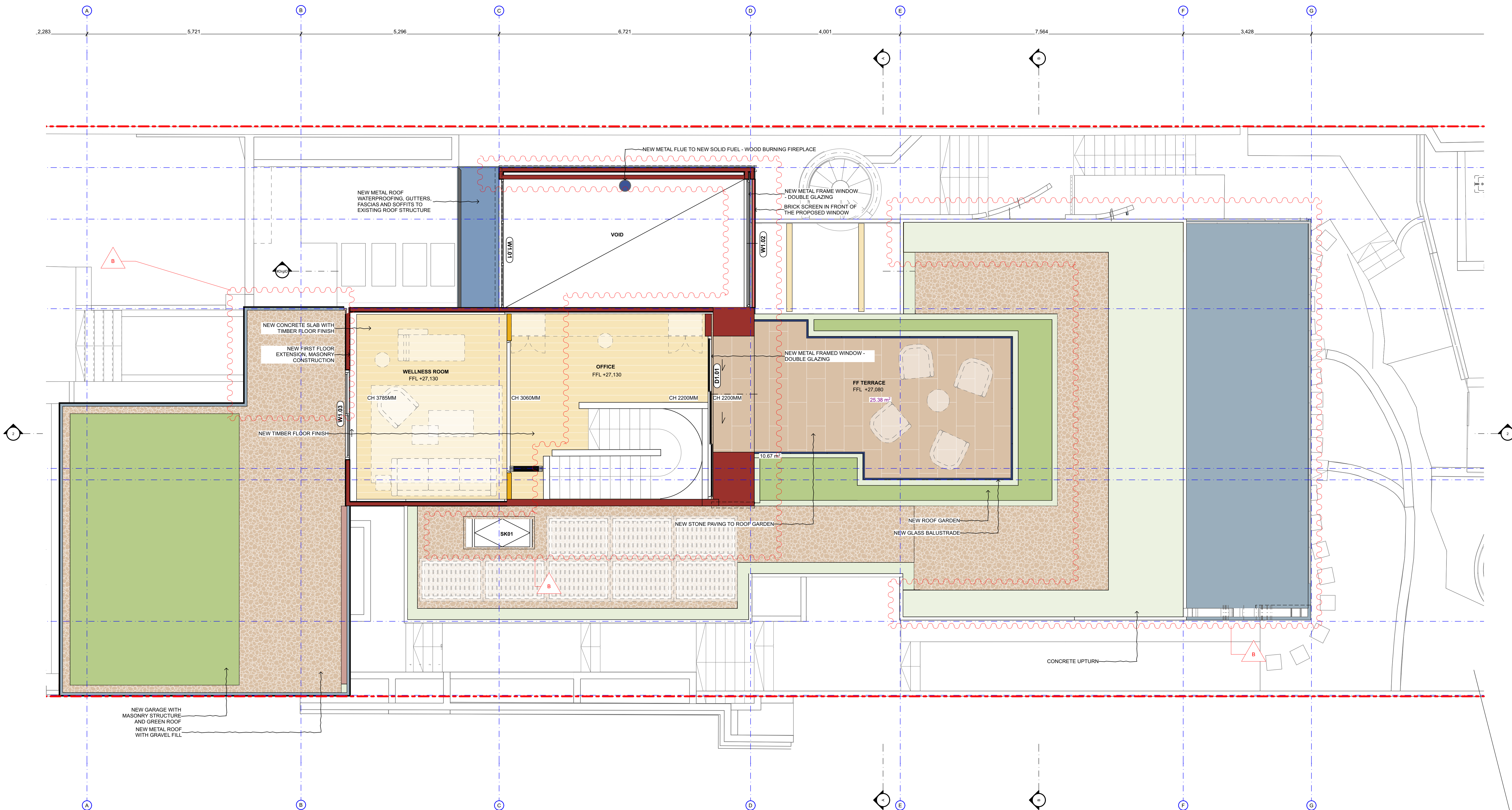


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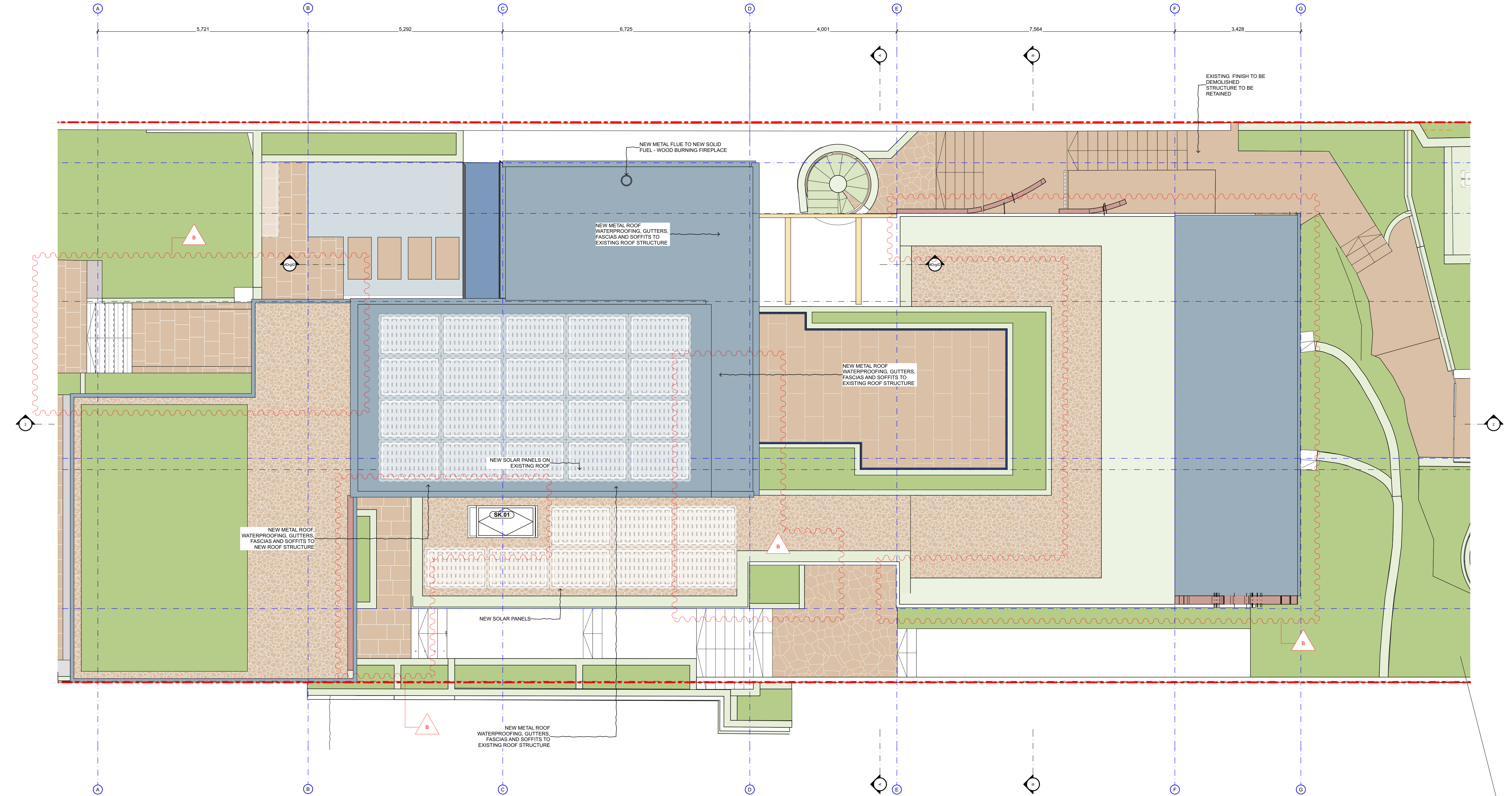
PROJECT NO. - DWG NO._REV.
0567-2102-[B]



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2024/0441



REV	DATE	DESCRIPTION	ATHR
A	25/7/2023	FOR DA SUBMISSION	CS
B	19/7/2024	FOR S4-S5 SUBMISSION	JK

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ALEXANDER
&CO.

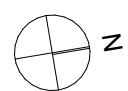
ALEXANDER HOUSE
63 BRISBANE STREET, BONDI JUNCTION
NSW 2022

T +61 (02) 8394 9838
www.alexanderandco
ABN 11 162 041 929

NOMINATED ARCHITECT: JEREMY BULL
NSW REGISTRATION NO. 7881
CLASS 2 DESIGN PRACTITIONER:
JEREMY BULL | NUMBER DEP0001029

CLIENT:
TRACEY & JAMES
SMALL

PROJECT:
BOWER HOUSE
38 BOWER ST
MANLY,
NSW 2095

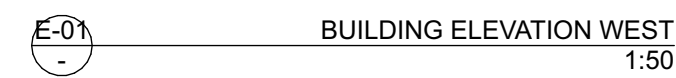


DRAWING TITLE
ROOF - GENERAL
ARRANGEMENT PLAN -
PROPOSED

SCALE 1:50 @ A1

PROJECT NO. - DWG NO._REV.
0567-2104-[B]

CHECKED
KK



REV

DATE

DESCRIPTION

ATHR

A

25/7/2024

FOR DA SUBMISSION

CS

B

16/7/2024

FOR S450 SUBMISSION

KK

GENERAL NOTES:

1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONSENT CONDITIONS OF CONSENT

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3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS

4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK

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LEGEND - DA

TO BE DEMOLISHED

EXISTING BUILDING FABRIC TO BE DEMOLISHED

EXISTING OPENINGS TO BE REBUILT, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING INCLUDING FINISHES

DA COMPLIANCE LEGEND

EXISTING OPEN SPACE AREA

PROPOSED OPEN SPACE AREA

EXISTING LEP AREA

PROPOSED LEP AREA

PROPOSED GFA AREA

GFA AREA EXCLUDED

DA MATERIAL CUT HATCHING

EXISTING BUILDING FABRIC

EXISTING TERRAIN

TOPSOIL/NEW GROUND INFILL

MAX. HEIGHT PLANE 5.9M 3D

MAX. HEIGHT PLANE 9.5M 2D

MAX. SHEAR WALL PLANE 7M 3D

MAX. SHEAR WALL PLANE 5.0M 2D

SETBACK CONTROLS

DA MATERIAL SURFACE HATCHING

BRICKWORK

CONCRETE

STONE

TILE

GLASS

METAL

MARBLE

LANDSCAPE - STONE

LANDSCAPE - TILE

WATERPROOFING MEMBRANE

GLAZING

METAL

GRASS/ GREEN ROOF

DA SHADOW STUDY

PROPOSED SHADOW

EXISTING SHADOW

NO LONGER SHADOW

ALEXANDER HOUSE

63 BRISBANE STREET, BONDI JUNCTION

NSW 2022

T +61 (02) 8394 9838

www.alexanderand.co

ABN 11 162 041 929

NOMINATED ARCHITECT: JEREMY BULL

NSW REGISTRATION NO. 788

CLASS 2 DESIGN PRACTITIONER:

JEREMY BULL, NUMBER DEP0001029

CLIENT:

TRACEY & JAMES

SMAIL

PROJECT:

BOWER HOUSE

38 BOWER ST

MANLY,

NSW 2095

SCALE 1:50 @ A1

PROJECT NO. - DWG NO. REV.

0567-3000-[B]

CHECKED

KK

DRAWING TITLE

GENERAL ARRANGEMENT -

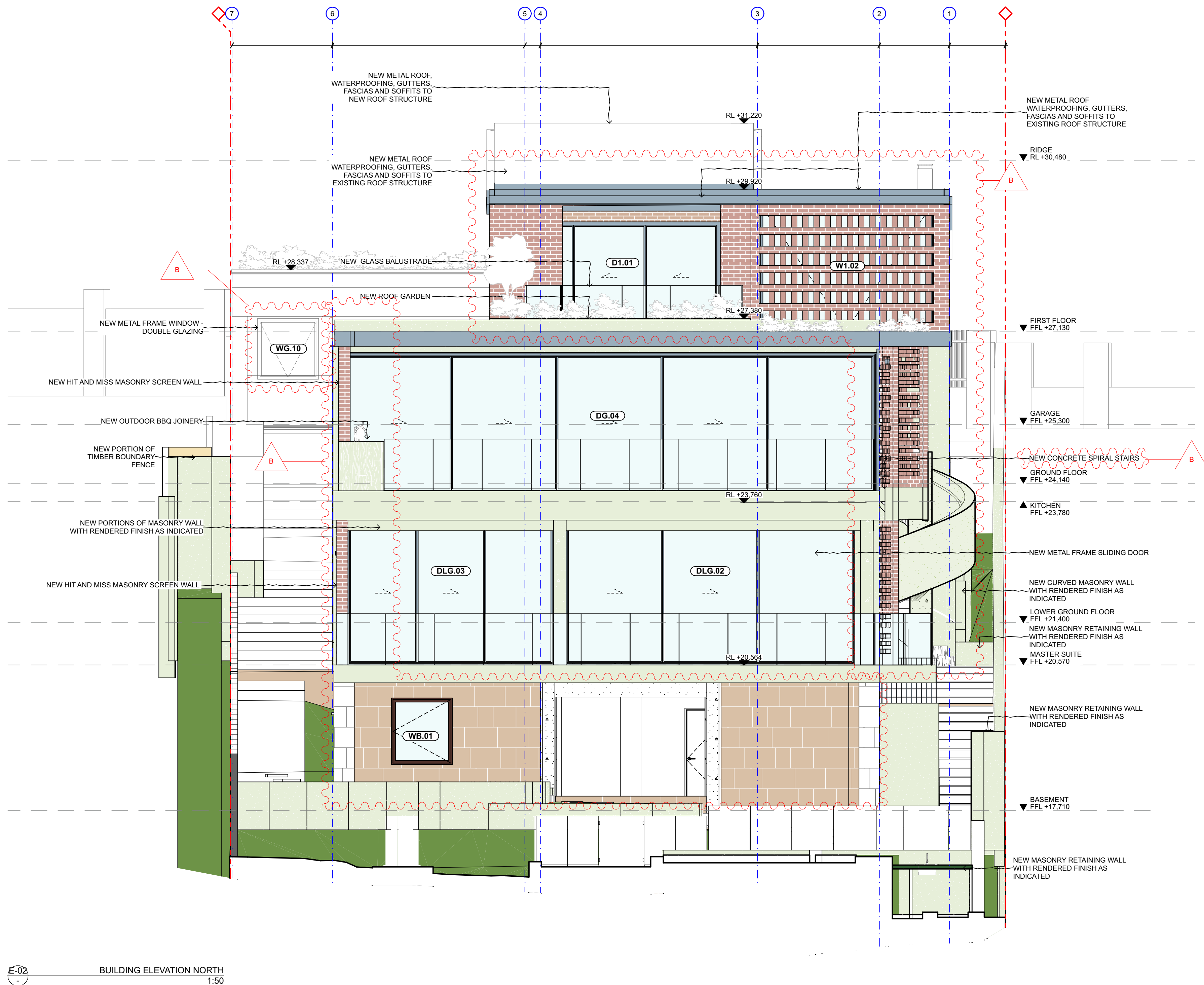
ELEVATION E01_PROPOSED

ALEXANDER & CO.

 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0441



E-02 BUILDING ELEVATION NORTH 1:50

REV	DATE	DESCRIPTION	ATHR
A	25/7/2023	FOR DA SUBMISSION	CS
B	19/7/2024	FOR DA SUBMISSION	KK

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LEGEND - DA	
TO BE DEMOLISHED	EXISTING BUILDING FABRIC TO BE DEMOLISHED
EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	

DA COMPLIANCE LEGEND	
EXISTING OPEN SPACE AREA	PROPOSED OPEN SPACE AREA
EXISTING LEP AREA	PROPOSED LEP AREA
PROPOSED GFA AREA	PROPOSED GFA AREA EXCLUDED

MAX. HEIGHT PLANE 8.5M 3D	MAX. HEIGHT PLANE 8.5M 2D
MAX. SHEAR WALL PLANE 7M 3D	MAX. SHEAR WALL PLANE 8.5M 2D
SETBACK CONTROLS	

DA MATERIAL CUT HATCHING	
EXISTING BUILDING FABRIC	BRICKWORK
CONCRETE	STONE
TILE	GLASS
METAL	

TIMBER	EXISTING TERRAIN	TOPSOIL/NEW GROUND INFILL
--------	------------------	---------------------------

DA MATERIAL SURFACE HATCHING	
BRICKWORK	CONCRETE
RENDER	STONE FLOORING
TIMBER FLOORING	TILE - MOSAIC
TILE - STANDARD	MARBLE
LANDSCAPE - STONE	LANDSCAPE - TILE
WATERPROOFING MEMBRANE	GLAZING
METAL	GRASS/ GREEN ROOF

ROCK

DA SHADOW STUDY	
EXISTING SHADOW	PROPOSED SHADOW
EXISTING SHADOW	NO LONGER SHADOW

ALEXANDER & CO.

ALEXANDER HOUSE
63 BRISBANE STREET, BONDI JUNCTION
NSW 2022

T +61 (02) 8394 9838
www.alexanderandco.com.au
ABN 11 162 041 929

NOMINATED ARCHITECT: JEREMY BULL
NSW REGISTRATION NO. 7881
CLASS 2 DESIGN PRACTITIONER:
JEREMY BULL | NUMBER DEP0001029

CLIENT:
TRACEY & JAMES SMAIL

PROJECT:
BOWER HOUSE
38 BOWER ST
MANLY,
NSW 2095

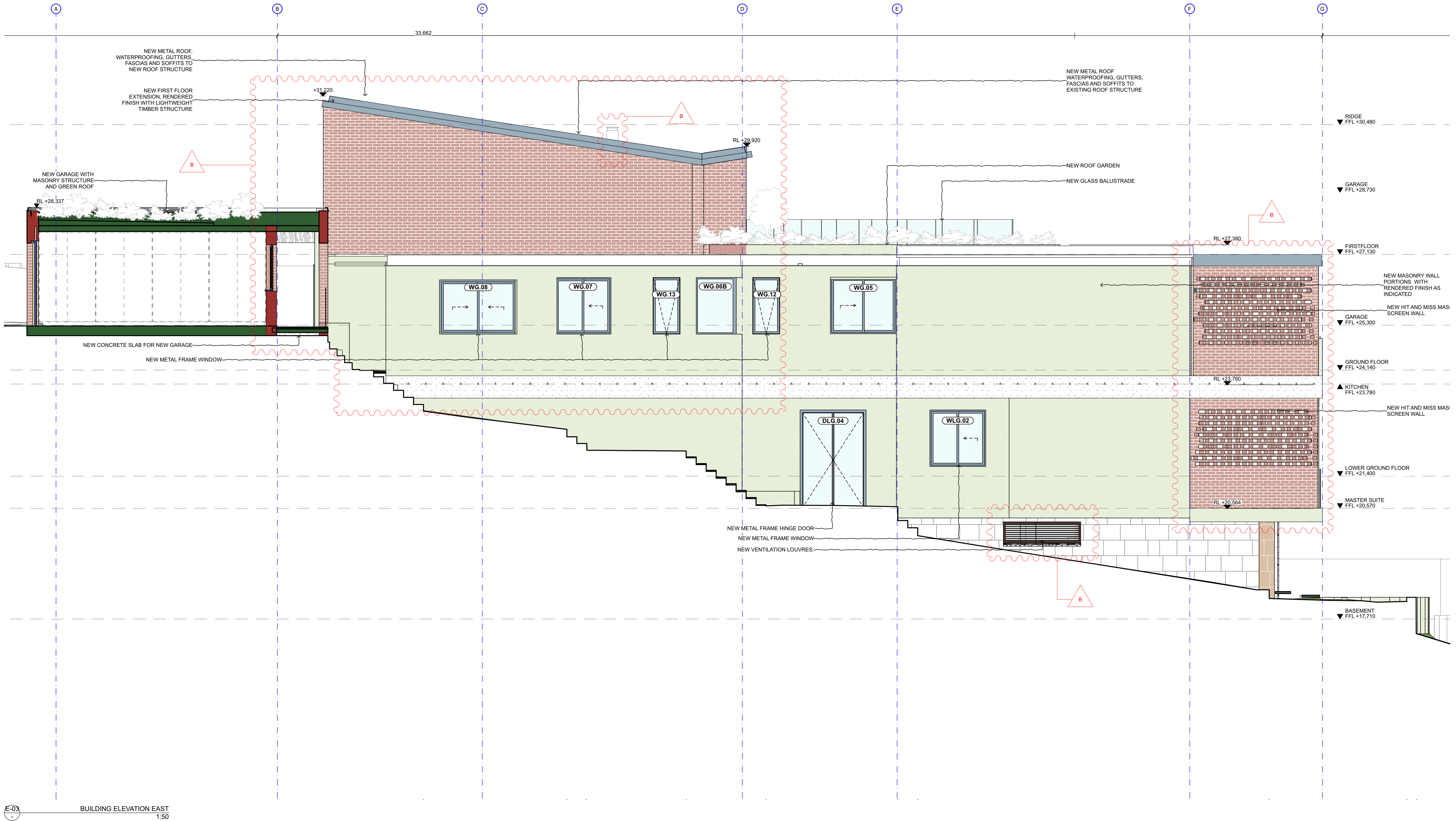


DRAWING TITLE
GENERAL ARRANGEMENT - ELEVATION E02_PROPOSED

SCALE 1:50 @ A1

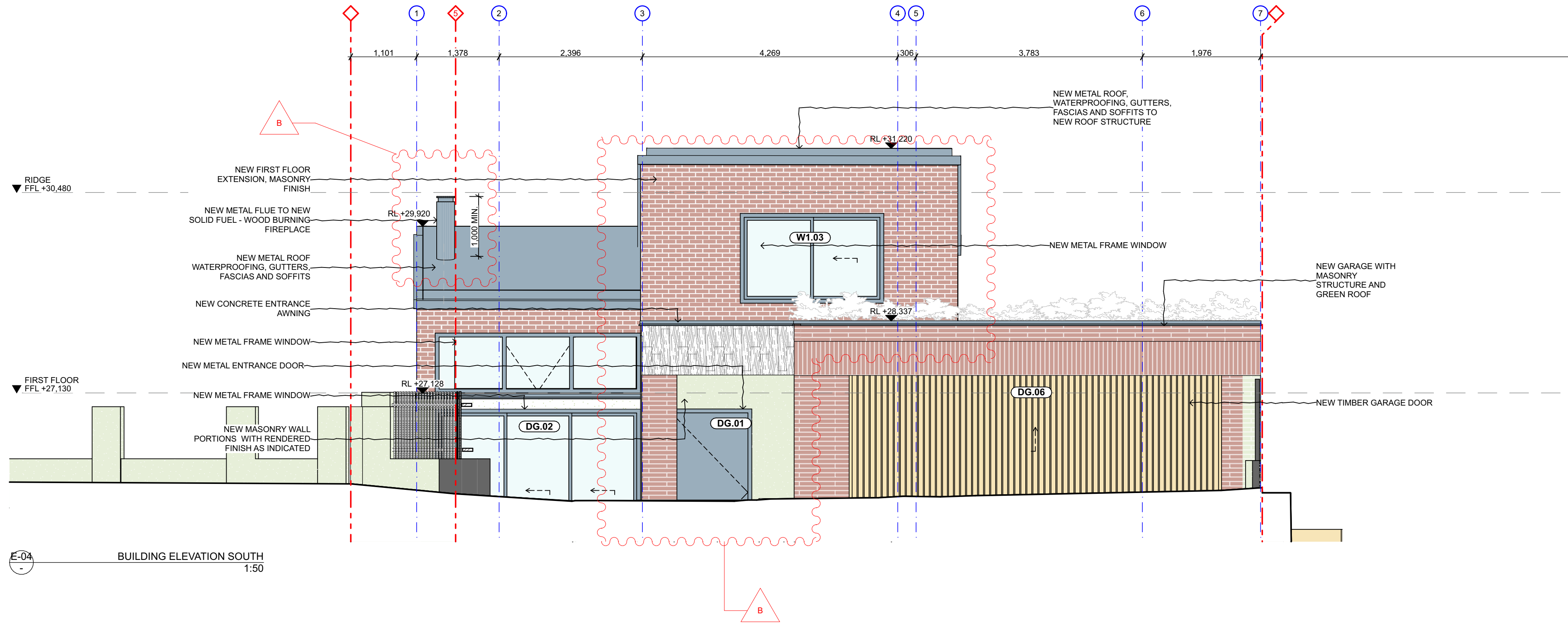
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KK

PROJECT NO. - DWG NO._REV.
0567-3001-[B]



E-03
BUILDING ELEVATION EAST
1:50

REV	DATE	DESCRIPTION	ATHR	GENERAL NOTES:	LEGEND - DA	DA COMPLIANCE LEGEND	DA MATERIAL CUT HATCHING	DA MATERIAL SURFACE HATCHING	DA SHADOW STUDY	ALEXANDER & CO.	ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP001029	CLIENT: TRACEY & JAMES SMALL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095	DRAWING TITLE GENERAL ARRANGEMENT - ELEVATION E03_PROPOSED SCALE 1:50 @ A1 PROJECT NO. - DWG NO._REV. 0567-3002-[B]	CHECKED KK
A	25/7/2023	FOR DA SUBMISSION	CS	1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT.	TO BE DEMOLISHED	EXISTING OPEN SPACE AREA	EXISTING BUILDING FABRIC	BRICKWORK	PROPOSED SHADOW		T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP001029	CLIENT: TRACEY & JAMES SMALL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095	DRAWING TITLE GENERAL ARRANGEMENT - ELEVATION E03_PROPOSED SCALE 1:50 @ A1 PROJECT NO. - DWG NO._REV. 0567-3002-[B]	CHECKED KK
B	19/7/2024	FOR DA SUBMISSION	KK	2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED DOCUMENTS FROM ALL CONSULTANTS 3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS 4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK DISCLAIMER: THE COPYRIGHT OF THIS DRAWING TOGETHER WITH ANY DOCUMENTS PREPARED BY A&CO PTY LTD REMAINS THE PROPERTY OF A&CO PTY LTD. A&CO PTY LTD GRANTS LICENCE FOR THE USE OF THIS DOCUMENT FOR THE PURPOSE FOR WHICH IT IS INTENDED. THE LICENCE IS NOT TRANSFERABLE WITHOUT THE PERMISSION OF A&CO PTY LTD	EXISTING BUILDING FABRIC TO BE DEMOLISHED EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	EXISTING OPEN SPACE AREA PROPOSED OPEN SPACE AREA EXISTING LEP AREA PROPOSED LEP AREA PROPOSED GFA AREA GFA AREA EXCLUDED	MAX. HEIGHT PLANE 8.5M 3D MAX. HEIGHT PLANE 8.5M 2D MAX. SHEAR WALL PLANE 7M 3D MAX. SHEAR WALL PLANE 8.5M 2D SETBACK CONTROLS	EXISTING BUILDING FABRIC BRICKWORK CONCRETE STONE TILE GLASS METAL	PROPOSED SHADOW EXISTING SHADOW NO LONGER SHADOW					



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

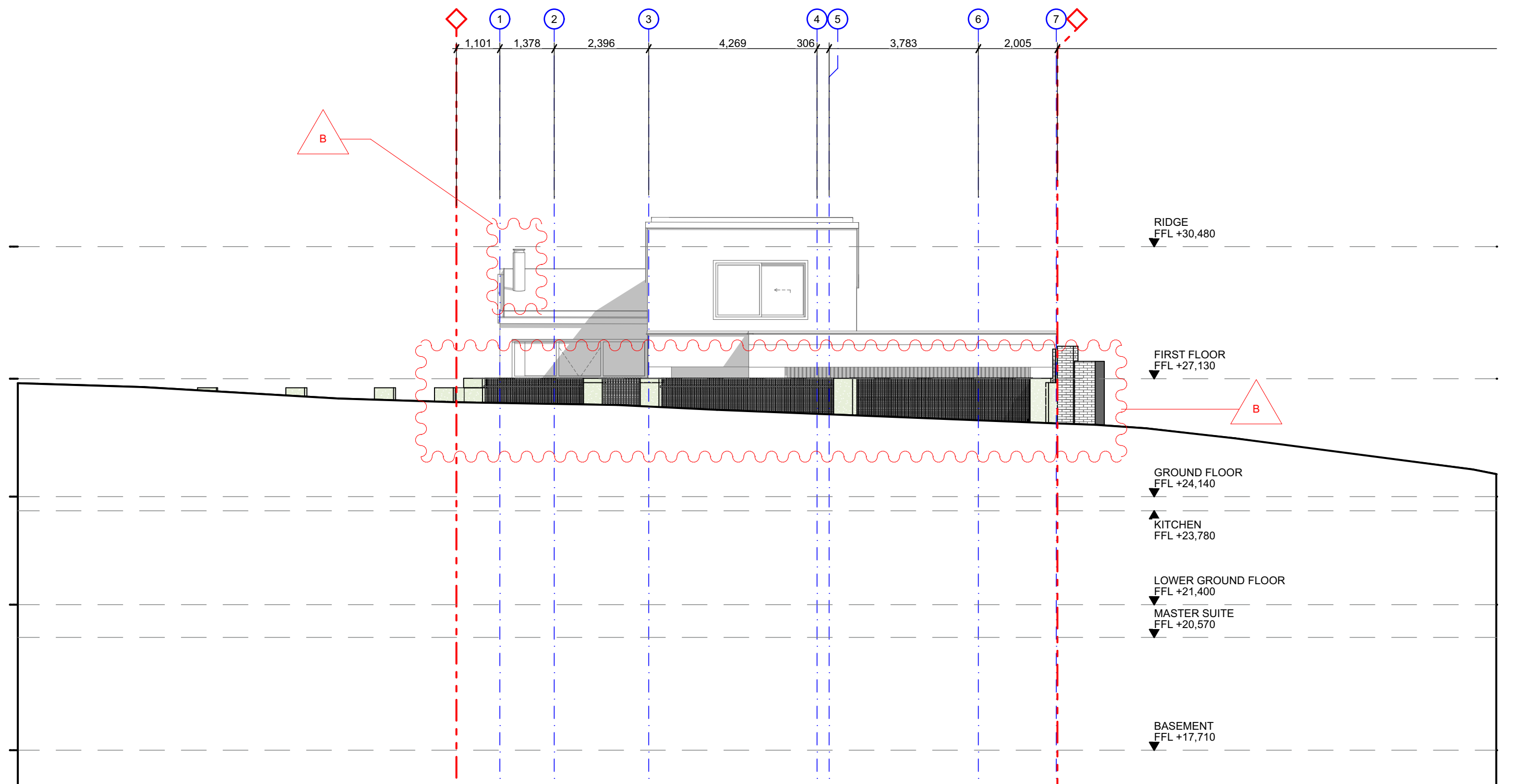
MOD2024/0441

DATE		DESCRIPTION	ATHR	GENERAL NOTES: 1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT 2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED IN DOCUMENTS FROM ALL CONSULTANTS 3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS 4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK																																											
A	25/7/2023	FOR DA SUBMISSION	CS	DISCLAIMER: THE COPYRIGHT OF THIS DRAWING TOGETHER WITH ANY DOCUMENTS PREPARED BY A&CO PTY LTD REMAINS THE PROPERTY OF A&CO PTY LTD. A&CO PTY LTD GRANTS LICENCE FOR THE USE OF THIS DOCUMENT FOR THE PURPOSE FOR WHICH IT IS INTENDED. THE LICENCE IS NOT TRANSFERABLE WITHOUT THE PERMISSION OF A&CO PTY LTD.																																											
B	18/7/2024	FOR DA SUBMISSION	CS KK	LEGEND - DA TO BE DEMOLISHED EXISTING BUILDING FABRIC TO BE DEMOLISHED EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES																																											
				DA COMPLIANCE LEGEND EXISTING OPEN SPACE AREA PROPOSED OPEN SPACE AREA EXISTING LEP AREA PROPOSED LEP AREA PROPOSED GFA AREA GFA AREA EXCLUDED				DA MATERIAL CUT HATCHING EXISTING BUILDING FABRIC BRICKWORK CONCRETE STONE TILE GLASS METAL				DA MATERIAL SURFACE HATCHING BRICKWORK CONCRETE RENDER STONE FLOORING TIMBER FLOORING TILE - MOSAIC TILE - STANDARD MARBLE LANDSCAPE - STONE LANDSCAPE - TILE WATERPROOFING MEMBRANE GLAZING METAL GRASS/ GREEN ROOF ROCK				DA SHADOW STUDY PROPOSED SHADOW EXISTING SHADOW NO LONGER SHADOW				ALEXANDER & CO.				ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929				CLIENT: TRACEY & JAMES SMALL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095				DRAWING TITLE GENERAL ARRANGEMENT - ELEVATION E04 _PROPOSED				NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029				SCALE 1:50 @ A1 PROJECT NO. - DWG NO._REV. 0567-3003-[B]				CHECKED KK			

[illegible]



E-06 SITE ELEVATION NORTH, PROPOSED
1:100



E-08 SITE ELEVATION SOUTH, PROPOSED
1:100

REV	DATE	DESCRIPTION
A	25/7/2023	FOR DA SUBMISSION
B	19/7/2024	FOR DA SUBMISSION

ATHR
CS
KK

GENERAL NOTES:
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LEGEND - DA

TO BE DEMOLISHED

EXISTING BUILDING FABRIC TO BE DEMOLISHED

EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES

DA COMPLIANCE LEGEND

EXISTING OPEN SPACE AREA

PROPOSED OPEN SPACE AREA

EXISTING LEP AREA

PROPOSED LEP AREA

PROPOSED GFA AREA

GFA AREA EXCLUDED

MAX. HEIGHT PLANE 8.5M 3D

MAX. HEIGHT PLANE 8.5M 2D

MAX. SHEAR WALL PLANE 7M 3D

MAX. SHEAR WALL PLANE 8.5M 2D

SETBACK CONTROLS

DA MATERIAL CUT HATCHING

EXISTING BUILDING FABRIC

BRICKWORK

CONCRETE

STONE

TILE

GLASS

METAL

TIMBER

EXISTING TERRAIN

TOPSOIL/NEW GROUND INFILL

DA MATERIAL SURFACE HATCHING

BRICKWORK

CONCRETE

RENDER

STONE FLOORING

TIMBER FLOORING

TILE - MOSAIC

TILE - STANDARD

MARBLE

LANDSCAPE - STONE

LANDSCAPE - TILE

WATERPROOFING MEMBRANE

GLAZING

METAL

GRASS/ GREEN ROOF

ROCK

DA SHADOW STUDY

PROPOSED SHADOW

EXISTING SHADOW

NO LONGER SHADOW

ALEXANDER & CO.

ALEXANDER HOUSE
63 BRISBANE STREET, BONDI JUNCTION
NSW 2022

T +61 (02) 8394 9838
www.alexanderand.co
ABN 11 162 041 929

NOMINATED ARCHITECT: **JEREMY BULL**
NSW REGISTRATION NO. 7881
CLASS 2 DESIGN PRACTITIONER:
JEREMY BULL | NUMBER DEP0001029

CLIENT:
TRACEY & JAMES SMAIL

PROJECT:
BOWER HOUSE
38 BOWER ST
MANLY,
NSW 2095

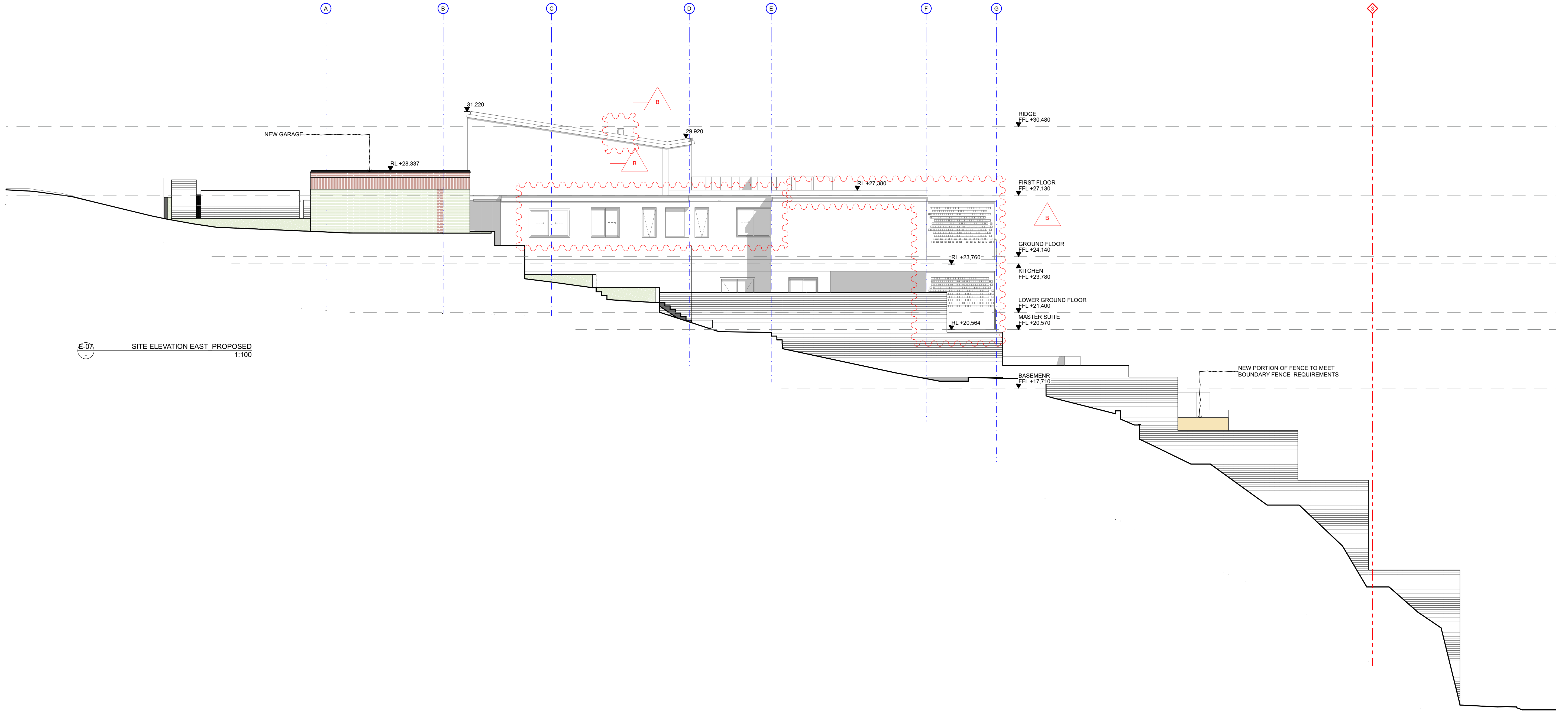


DRAWING TITLE
SITE ELEVATIONS - ELEVATION E06 & E08_PROPOSED

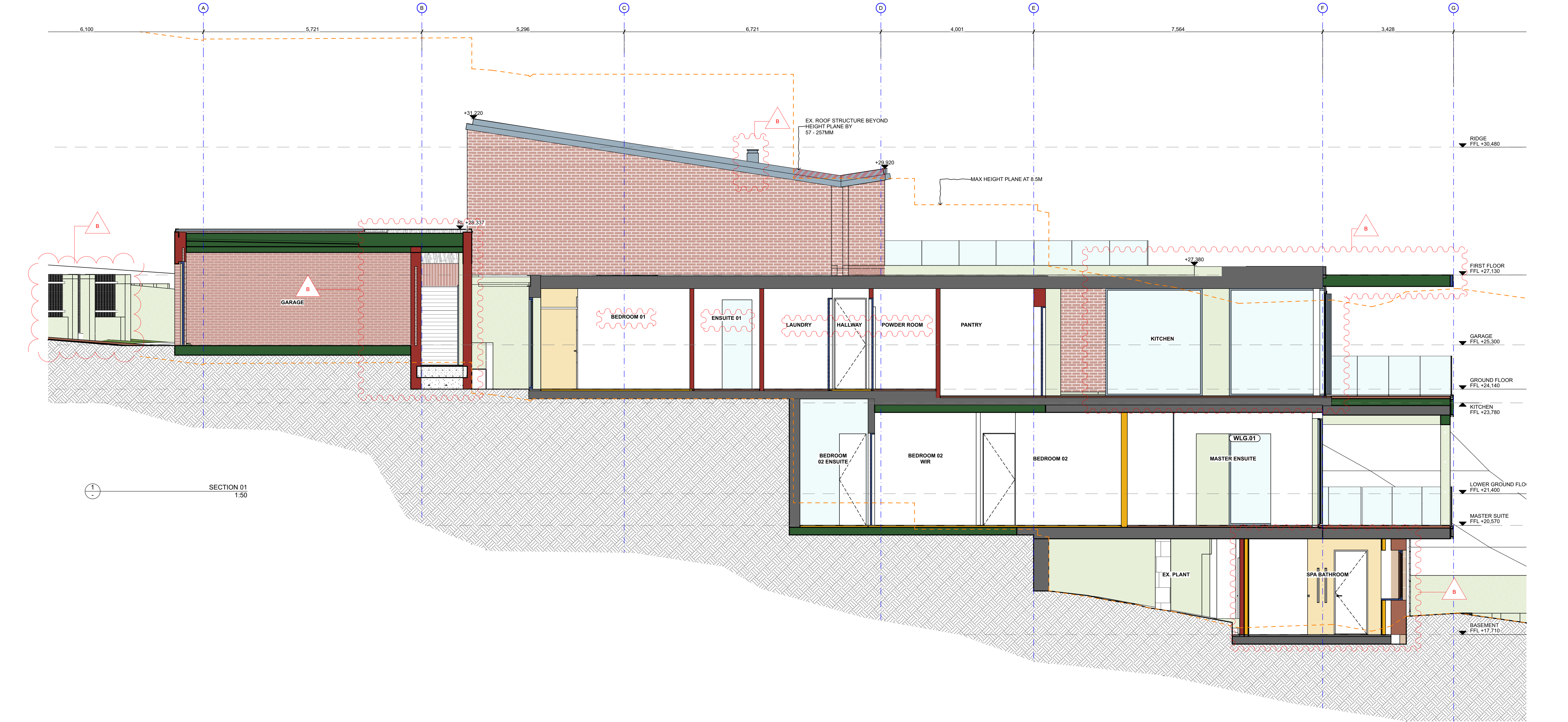
SCALE 1:100 @ A1

CHECKED **KK**

PROJECT NO. - DWG NO._REV.
0567-3101-[B]



DATE		DESCRIPTION	ATHR	GENERAL NOTES: 1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT 2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED 3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS 4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK DISCLAIMER: THE COPYRIGHT OF THIS DRAWING TOGETHER WITH ANY DOCUMENTS PREPARED BY AS&CO PTY LTD REMAINS THE PROPERTY OF AS&CO PTY LTD. AS&CO PTY LTD GRANTS LICENCE FOR THE USE OF THIS DOCUMENT FOR THE PURPOSE FOR WHICH IT IS INTENDED. THE LICENCE IS NOT TRANSFERABLE WITHOUT THE PERMISSION OF AS&CO PTY LTD	LEGEND - DA [REDACTED] TO BE DEMOLISHED [REDACTED] EXISTING BUILDING FABRIC TO BE DEMOLISHED [REDACTED] EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	DA COMPLIANCE LEGEND [REDACTED] EXISTING OPEN SPACE AREA [REDACTED] PROPOSED OPEN SPACE AREA [REDACTED] EXISTING LEP AREA [REDACTED] PROPOSED LEP AREA [REDACTED] PROPOSED GFA AREA [REDACTED] GFA AREA EXCLUDED	DA MATERIAL CUT HATCHING [REDACTED] EXISTING BUILDING FABRIC [REDACTED] BRICKWORK [REDACTED] CONCRETE [REDACTED] STONE [REDACTED] TILE [REDACTED] GLASS [REDACTED] METAL [REDACTED] MAX. HEIGHT PLANE 8.5M 3D [REDACTED] MAX. HEIGHT PLANE 8.5M 2D [REDACTED] MAX. SHEAR WALL PLANE 7M 3D [REDACTED] MAX. SHEAR WALL PLANE 8.5M 2D [REDACTED] SETBACK CONTROLS	DA MATERIAL SURFACE HATCHING [REDACTED] BRICKWORK [REDACTED] CONCRETE [REDACTED] RENDER [REDACTED] STONE FLOORING [REDACTED] TIMBER FLOORING [REDACTED] TILE - MOSAIC [REDACTED] TILE - STANDARD [REDACTED] MARBLE [REDACTED] LANDSCAPE - STONE [REDACTED] LANDSCAPE - TILE [REDACTED] WATERPROOFING MEMBRANE [REDACTED] GLAZING [REDACTED] METAL [REDACTED] GRASS/ GREEN ROOF [REDACTED] ROCK	DA SHADOW STUDY [REDACTED] PROPOSED SHADOW [REDACTED] EXISTING SHADOW [REDACTED] NO LONGER SHADOW	ALEXANDER & CO.	ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029	CLIENT: TRACEY & JAMES SMALL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095  SCALE 1:100 @ A1 PROJECT NO. - DWG NO._REV. 0567-3102-[B]	DRAWING TITLE SITE ELEVATIONS - ELEVATION E07_PROPOSED CHECKED KK
A	25/7/2024	FOR DA SUBMISSION FOR \$4.55 SUBMISSION	CS KK										



REV	DATE	DESCRIPTION	ATHR	GENERAL NOTES:	LEGEND - DA	DA COMPLIANCE LEGEND	DA MATERIAL CUT HATCHING	DA MATERIAL SURFACE HATCHING	DA SHADOW STUDY	ALEXANDER & CO.	ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderandco ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029	CLIENT: TRACEY & JAMES SMALL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095	DRAWING TITLE GENERAL ARRANGEMENT - SECTION 01_PROPOSED SCALE 1:50 @ A1 PROJECT NO. - DWG NO._REV. 0567-4100-[B]	CHECKED KK
A	25/7/2023	FOR DA SUBMISSION	CS	1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT.	TO BE DEMOLISHED	EXISTING OPEN SPACE AREA	EXISTING BUILDING FABRIC	BRICKWORK	PROPOSED SHADOW					
B	19/7/2024	FOR DA SUBMISSION	KK	2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED IN DOCUMENTS FROM ALL CONSULTANTS	EXISTING BUILDING FABRIC TO BE DEMOLISHED	PROPOSED OPEN SPACE AREA	BRICKWORK	CONCRETE	EXISTING SHADOW					
				3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS	EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	EXISTING LEP AREA	CONCRETE	RENDER	NO LONGER SHADOW					
				4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK		PROPOSED LEP AREA	STONE	STONE FLOORING						
				DISCLAIMER:		PROPOSED LEP AREA	TILE	TIMBER FLOORING						
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						GFA AREA EXCLUDED	METAL	TILE - STANDARD						



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25/7/2024

FOR DA SUBMISSION

CS

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16/7/2024

FOR S450 SUBMISSION

KK

GENERAL NOTES:

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LEGEND - DA

TO BE DEMOLISHED

EXISTING BUILDING FABRIC TO BE DEMOLISHED

EXISTING OPENINGS TO BE REBUILT INCLUDING FRAMES AND ARCHITRAVES MAKE GOOD OPENING INCLUDING FINISHES

EXISTING OPEN SPACE AREA

PROPOSED OPEN SPACE AREA

EXISTING LEP AREA

PROPOSED LEP AREA

PROPOSED GFA AREA

GFA AREA EXCLUDED

DA COMPLIANCE LEGEND

EXISTING OPEN SPACE AREA

PROPOSED OPEN SPACE AREA

EXISTING LEP AREA

PROPOSED LEP AREA

PROPOSED GFA AREA

GFA AREA EXCLUDED

DA MATERIAL CUT HATCHING

EXISTING BUILDING FABRIC

EXISTING TERRAIN

CONCRETE

STONE

TILE

GLASS

METAL

DA MATERIAL SURFACE HATCHING

BRICKWORK

CONCRETE

RENDER

STONE FLOORING

TIMBER FLOORING

TILE - MOSAIC

TILE - STANDARD

MARBLE

LANDSCAPE - STONE

LANDSCAPE - TILE

WATERPROOFING MEMBRANE

GLAZING

METAL

GRASS/ GREEN ROOF

DA SHADOW STUDY

PROPOSED SHADOW

EXISTING SHADOW

NO LONGER SHADOW

ROCK

ALEXANDER HOUSE

63 BRISBANE STREET, BONDI JUNCTION

NSW 2022

T +61 (02) 8394 9838

www.alexanderand.co

ABN 11 162 041 929

NOMINATED ARCHITECT: JEREMY BULL

NSW REGISTRATION NO. 788

CLASS 2 DESIGN PRACTITIONER:

JEREMY BULL / NUMBER DEP0001029

CLIENT:

TRACEY & JAMES SMAIL

PROJECT:

BOWER HOUSE

38 BOWER ST

MANLY

NSW 2095

SCALE 1:50 @ A1

PROJECT NO. - DWG NO _REV.

0567-4101-[B]

CHECKED

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DRAWING TITLE

GENERAL ARRANGEMENT - SECTION 02_PROPOSED

ALEXANDER & CO.



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PROPOSED LEP AREA

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MARBLE

LANDSCAPE - STONE

LANDSCAPE - TILE

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ALEXANDER HOUSE

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38 BOWER ST

MANLY

NSW 2095

SCALE 1:50 @ A1

PROJECT NO. - DWG NO. _REV.

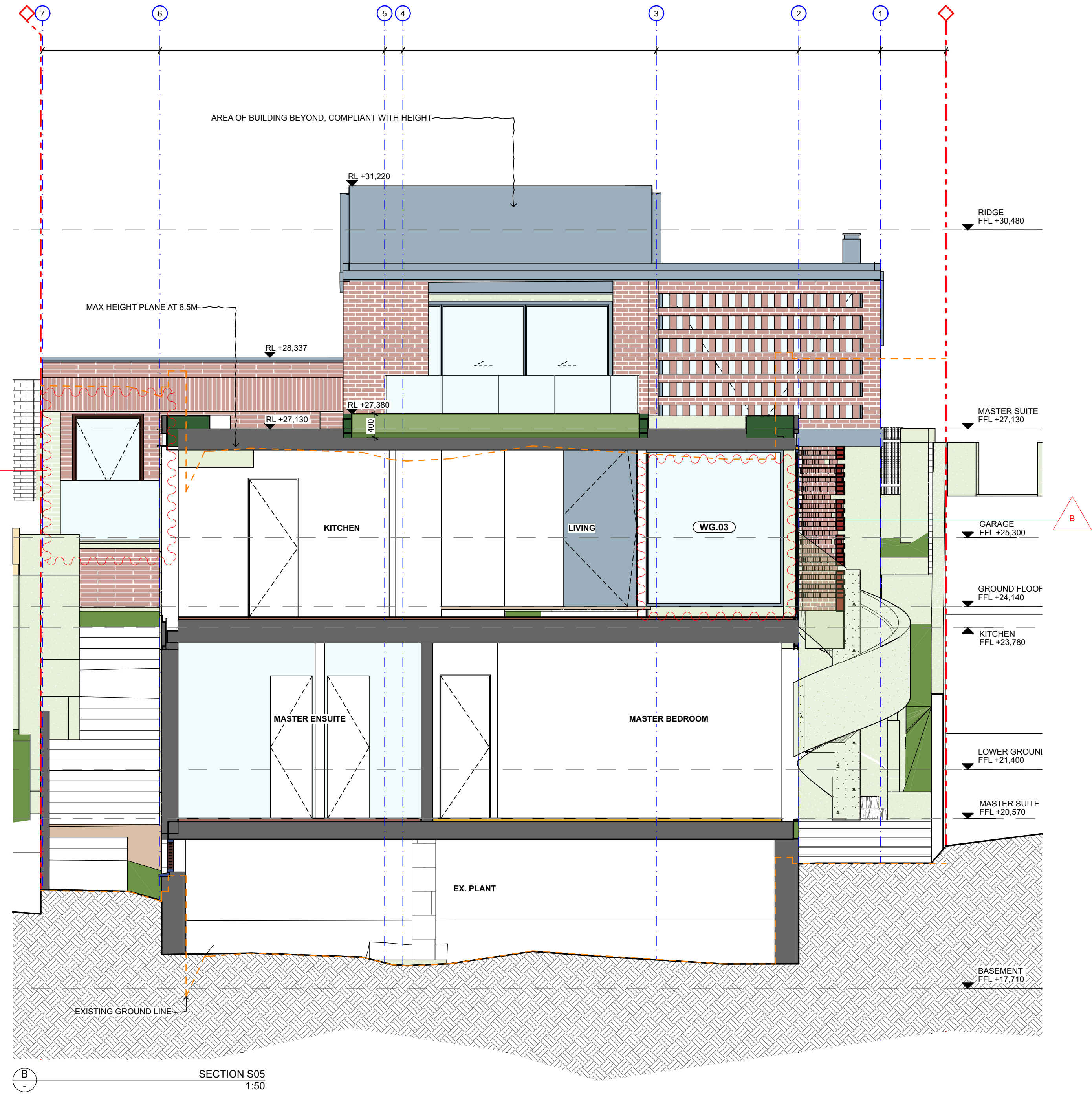
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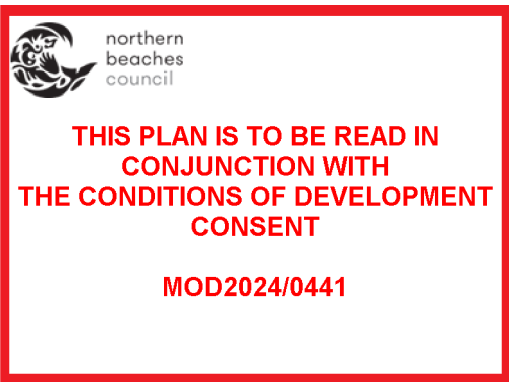
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&CO.



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2024/0441

REV	DATE	DESCRIPTION	ATHR	GENERAL NOTES:	LEGEND - DA	DA COMPLIANCE LEGEND	DA MATERIAL CUT HATCHING	DA MATERIAL SURFACE HATCHING	DA SHADOW STUDY	ALEXANDER & CO.	ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderandco.com.au ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029	CLIENT: TRACEY & JAMES SMAIL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095	DRAWING TITLE GENERAL ARRANGEMENT - SECTION 04 & 05_PROPOSED SCALE 1:50 @ A1 PROJECT NO. - DWG NO._REV. 0567-4103-[B]	CHECKED KK
A	25/7/2023	FOR DA SUBMISSION	CS	1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT. 2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED DOCUMENTS FROM ALL CONSULTANTS 3. A&CO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS 4. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF WORK DISCLAIMER: THE COPYRIGHT OF THIS DRAWING TOGETHER WITH ANY DOCUMENTS PREPARED BY A&CO PTY LTD REMAINS THE PROPERTY OF A&CO PTY LTD. A&CO PTY LTD GRANTS LICENCE FOR THE USE OF THIS DOCUMENT FOR THE PURPOSE FOR WHICH IT IS INTENDED. THE LICENCE IS NOT TRANSFERABLE WITHOUT THE PERMISSION OF A&CO PTY LTD	TO BE DEMOLISHED EXISTING BUILDING FABRIC TO BE DEMOLISHED EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES	EXISTING OPEN SPACE AREA PROPOSED OPEN SPACE AREA EXISTING LEP AREA PROPOSED LEP AREA PROPOSED GFA AREA GFA AREA EXCLUDED	MAX. HEIGHT PLANE 8.5M 3D MAX. HEIGHT PLANE 8.5M 2D MAX. SHEAR WALL PLANE 7M 3D MAX. SHEAR WALL PLANE 8.5M 2D SETBACK CONTROLS	EXISTING BUILDING FABRIC BRICKWORK CONCRETE STONE TILE GLASS METAL	BRICKWORK CONCRETE RENDER STONE FLOORING TIMBER FLOORING TILE - MOSAIC TILE - STANDARD MARBLE LANDSCAPE - STONE LANDSCAPE - TILE WATERPROOFING MEMBRANE GLAZING METAL GRASS/ GREEN ROOF ROCK	PROPOSED SHADOW EXISTING SHADOW NO LONGER SHADOW				



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A	25/7/2023	FOR DA SUBMISSION	CS	1. ALL WORKS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING COUNCIL CONDITIONS OF CONSENT	1. TO BE DEMOLISHED	EXISTING PROPOSED OPEN SPACE AREA	EXISTING BUILDING OPEN SPACE AREA BRICKWORK CONCRETE TOPSOIL/NEW GROUND INFILL	EXISTING BUILDING BRICKWORK CONCRETE RENDER STONE FLOORING TIMBER FLOORING TILE - MOSAIC TILE - STANDARD	PROPOSED FABRIC EXISTING SHADOW NO LONGER SHADOW	T +61 (02) 8394 9838 www.alexanderand.co ABN 11 162 041 929	PROJECT: BOWER HOUSE 38 BOWER ST MANLY NSW 2095	SCALE 1:100 @ A1 CHECKED KK
B	18/7/2024	FOR DA SUBMISSION	CK	2. DO NOT SCALE OFF THIS DRAWING. USE ONLY DIMENSIONS PROVIDED	EXISTING BUILDING TO BE REMOVED	PROPOSED OPEN SPACE AREA PROPOSED LEP AREA PROPOSED LEP AREA PROPOSED GFA AREA GFA AREA EXCLUDED	MAX. HEIGHT PLANE 5.8M 3D MAX. HEIGHT PLANE 5.5M 2D MAX. SHEAR WALL PLANE 7M 3D MAX. SHEAR WALL PLANE 5.8M 2D SETBACK CONTROLS	MARBLE LANDSCAPE - STONE LANDSCAPE - TILE WATERPROOFING MEMBRANE GLAZING METAL GRASS/ GREEN ROOF		NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL / NUMBER DEP0001029		PROJECT NO. - DWG NO. REV. 0567-4200-[B]
				3. ACO DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS	EXISTING OPENINGS TO BE REMOVED INCLUDING FRAMES AND ARCHITRAVES MAKE GOOD OPENING AND REVEALS INCLUDING FINISHES							
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1 BRONZE FINISH STANDING SEEM ROOF



2 SAND CEMENT RENDER



3 VERTICAL TIMBER BATTENS



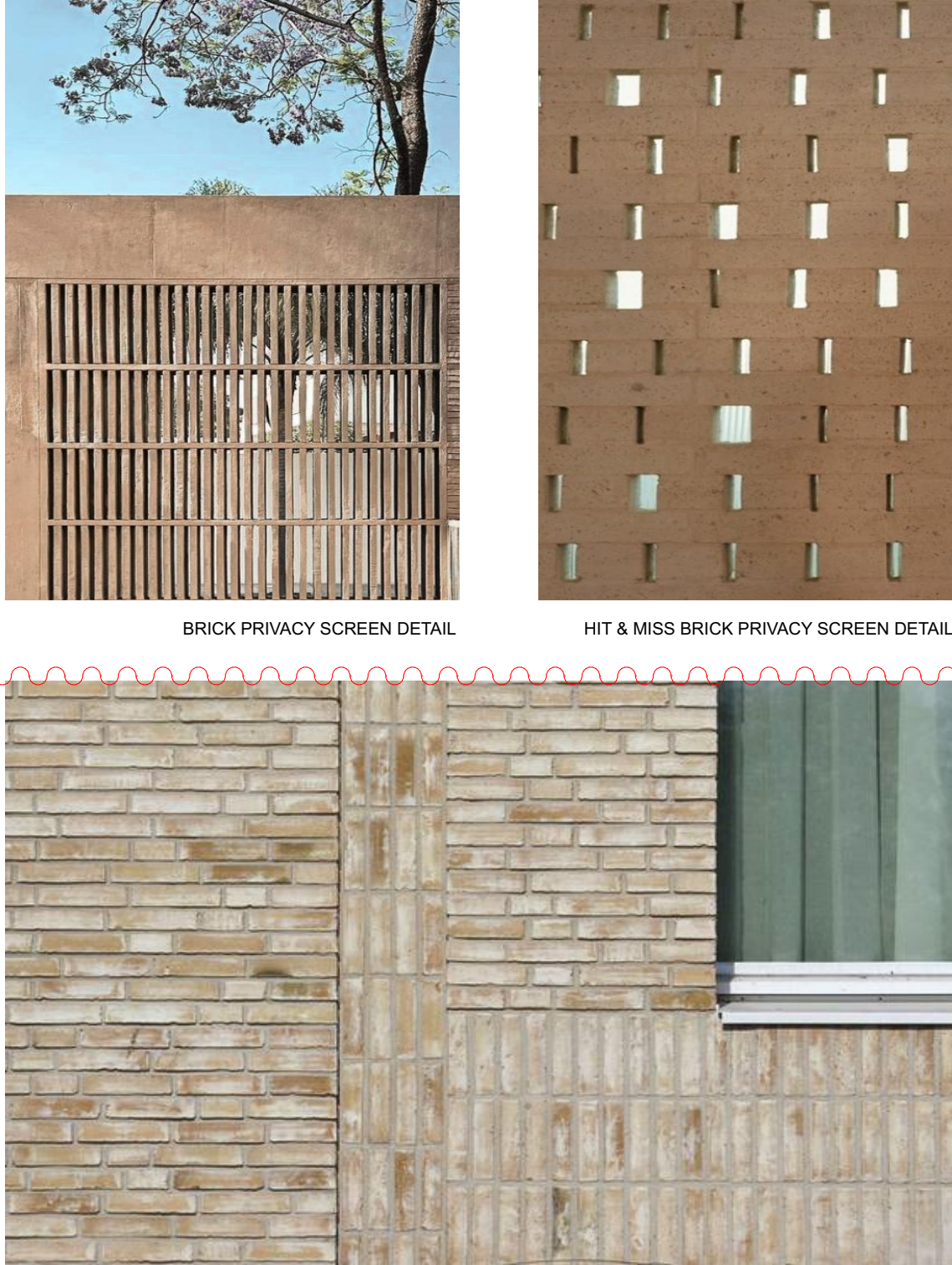
4 FRAMELESS GLASS BALUSTRADE WITH BRONZE CAPPING



5 NATURAL STONE



6 BRONZE FINISH ALUMINIUM WINDOWS AND DOORS



7 BRICK DETAILS



8 HANGING PLANTS TO FLAT ROOF SECTIONS

REV	DATE	DESCRIPTION	ATHR
A	25/7/2023	FOR DA SUBMISSION	CS
B	19/7/2024	FOR DA SUBMISSION	JK

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LEGEND - DA	DA COMPLIANCE LEGEND	DA MATERIAL CUT HATCHING	DA MATERIAL SURFACE HATCHING
TO BE DEMOLISHED EXISTING BUILDING FABRIC TO BE DEMOLISHED EXISTING OPENINGS TO BE REMOVED, INCLUDING FRAMES AND ARCHITRAVES. MAKE GOOD OPENING AND REVEALS, INCLUDING FINISHES	EXISTING OPEN SPACE AREA PROPOSED OPEN SPACE AREA EXISTING LEP AREA PROPOSED LEP AREA PROPOSED GFA AREA EXCLUDED	MAX. HEIGHT PLANE 8.5M 3D MAX. HEIGHT PLANE 8.5M 2D MAX. SHEAR WALL PLANE 7M 3D MAX. SHEAR WALL PLANE 8.5M 2D SETBACK CONTROLS	EXISTING BUILDING FABRIC BRICKWORK CONCRETE STONE TILE GLASS METAL TIMBER EXISTING TERRAIN TOPSOIL/NEW GROUND INFILL CONCRETE STONE FLOORING TIMBER FLOORING TILE - MOSAIC TILE - STANDARD MARBLE LANDSCAPE - STONE LANDSCAPE - TILE WATERPROOFING MEMBRANE GLAZING METAL GRASS/ GREEN ROOF ROCK

DA SHADOW STUDY
EXISTING SHADOW PROPOSED SHADOW NO LONGER SHADOW

ALEXANDER & CO.

ALEXANDER HOUSE 63 BRISBANE STREET, BONDI JUNCTION NSW 2022 T +61 (02) 8394 9838 www.alexanderandco.com.au ABN 11 162 041 929 NOMINATED ARCHITECT: JEREMY BULL NSW REGISTRATION NO. 7881 CLASS 2 DESIGN PRACTITIONER: JEREMY BULL NUMBER DEP0001029	CLIENT: TRACEY & JAMES SMAIL PROJECT: BOWER HOUSE 38 BOWER ST MANLY, NSW 2095	DRAWING TITLE MATERIAL PALETTE SCALE @ A1 PROJECT NO. - DWG NO._REV. 0567-8000-[B]	CHECKED SG
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38 BOWER STR., MANLY, STORMWATER ENGINEERING

General Hydraulic

- G1. All work shall be carried out in accordance with relevant authority requirements, Council's regulations, Superintendent's approval, Hydraulic Specification and National Plumbing Codes AS.3500, AS.1221, AS.2441 and AS.2419.1.
- G2. This plan shall be read in conjunction with approved architectural, structural, mechanical and electrical plans and specifications.
- G3. Drains to be supported on or from solid ground. Location and depth/invert level of branch shall be verified on site prior to commencement of work.
- G4. Drains under buildings shall be re-tested where directed by superintendent.
- G5. Inspection openings shall be provided:
-on the property boundary
-on each w.c. or branch
-at a max. of 30m intervals, spread equidistant where possible
-immediately upstream and downstream of all jump-ups
-as required by the authority for inspection and maintenance.
- G6. Existing services have been plotted from supplied data. The Superintendent does not guarantee their accuracy and it is the contractor's responsibility to establish the location of all existing services prior to commencement of any work. Clearances shall be obtained from the relevant authority.
- G7. The contractor shall arrange all survey setouts by a registered surveyor.
- G8. Contractor shall verify all levels and ensure all falls are attainable prior to commencing work.
- G9. All services that cross pavements, footings etc. shall be backfilled with approved granular material to upgrade level and compacted to 100% standard maximum dry density in accordance with AS.1289.E1.1.
- G10. On completion of pipe installation, all disturbed areas must be restored to original condition including kerbs, footpaths, concrete areas, gravel areas, grassed areas and road pavements.
- G11. Trenches through existing road and concrete areas shall be sawcut to full depth of concrete and a minimum of 50mm in bituminous paving. Reinstlate to equivalent of original road and concrete area.
- G12. Where new work abuts existing, the contractor shall ensure that a smooth, even profile, free from abrupt changes, is obtained.
- G13. Care shall be taken when excavating near existing services. No mechanical excavation shall be taken over Telstra or electrical services. Excavate by hand in these areas.
- G14. All pipe penetrations at walls shall be fitted with a puddle flange and made good and watertight.
- G15. All suspended slab pipes shall be supported with adjustable hanging brackets similar to "Abey" in accordance with AS.3500.
- G16. All core hole locations shall be approved by the superintendent prior to commencement of coring.
- G17. Contractor shall allow for all timbering, shoring and shuttering as necessary to construct pipework and include the removal of same upon completion of pipework.
- G18. Provide 80mm compressible material over pipework where clearance to underside of footing is less than 150mm (U.N.O.)
- G19. Contractor shall obtain all authority approvals and pay all fees.
- G20. All uPVC pipe exposed to sunlight shall be DWV.
- G21. Contractor to allow for all associated fees, charges, applications and inspections (Section 50, Hydraulic Design Assessment etc.) for water, sewer and gas services installations required by authorities.

Supplied data

Existing services have been plotted from supplied data. It is the Contractor's responsibility to establish the location of all existing services prior to commencing any work.

Existing services servicing other operational areas must be retained. Contractor to modify/relocate existing services as required. This drawing is to be used as a guide only.

Existing Services and Features

- E1. The contractor shall allow for the capping off, excavation and removal if required, of all existing services in areas affected by works within the contract area and as shown on the drawings, unless directed otherwise by the Superintendent.
- E2. The contractor shall ensure that at all times services to all buildings are not affected by the works and are not disrupted.
- E3. Prior to commencement of any works the contractor shall gain approval of his programme for the relocation/construction of temporary services.
- E4. Existing buildings, external structures and trees shown on these drawings are features existing prior to any demolition works.
- E5. Contractor shall construct temporary services to maintain existing supply to buildings remaining in operation during works to the satisfaction and approval of the superintendent. Once diversion is complete and commissioned the contractor shall remove all such temporary services and make good to the satisfaction of the Superintendent.
- E6. Interruption to supply of existing services shall be done so as not to cause any inconvenience to the principal. Contractor to gain approval of Superintendent for time of interruption.

Demolition

- D1. Unless noted otherwise in these hydraulic drawings, refer to Architect's drawings, existing conditions drawings and demolition drawings for extent of demolition works associated with these works.
- D2. Disconnect and remove existing services to and from existing fixtures and plant areas affected by the proposed works.
- D3. Contractor to undertake independent survey of all areas to determine extent of existing services to be disconnected and removed.
- D4. Existing services required for the operation of other buildings are to be diverted/extended as required.

Water, Gas and Fire services

1. All pipework to be copper type "B" unless noted otherwise. For fire services, material pipe shall be galvanized steel pipe.
2. Piping materials proposed for installation shall be suitable for the soil conditions existing on site. Confirm soil conditions prior to laying metal piping through soils.
3. Where piping is concealed in wall or chased in floor, Kemlag insulation to both hot and cold water pipework shall be provided as a minimum.
4. All metal pipework penetrating fire rated elements shall be sealed to maintain required fire rating

Erosion and Sediment Control

General instructions:

- All references to details, testing and procedures are to be followed as specified in the Department of Housing "Managing Urban Stormwater Soils and Construction" manual (March 2004).
- This plan is to be read in conjunction with the engineering plans and any other plans or written instructions that may be issued and relating to development at the subject site.
- The contractor will ensure that all soil and water management works are located as shown in this specification.
- All contractors shall be aware of their responsibilities in minimising the potential for soil erosion and pollution to downslope lands and waterways.
- These plans represent concepts only, the contractor shall be responsible for the establishment and management of a detailed scheme meeting council's approval.

Construction sequence:

6. The soil erosion potential on this site shall be minimised. Hence initial works shall be undertaken in the following sequence prior to commencing construction:
- install all temporary sediment fences and barrier fences. Where fences are adjacent to each other the sediment fence can be incorporated into the barrier fence.
 - construct temporary stabilised site access.
 - install sediment traps.
7. Undertake site development works so that land disturbance is confined to areas of minimum workable size.

Erosion control:

8. At all times and in particular during windy and dry weather, large, unprotected areas will be kept moist (not wet) by sprinkling with water to keep dust under control.
9. Any sand used in the concrete curing process (spread over the surface) will be removed as soon as possible and within ten working days from placement.
10. Water will be prevented from entering the permanent drainage system unless it is relatively sediment free i.e. the catchment area has been permanently landscaped/stabilised and/or any likely sediment has been filtered through an approved structure.

11. Temporary soil and water management structures will be removed only after the lands they are protecting are stabilised/rehabilitated.

Other matters:

12. Acceptable receptors will be constructed for concrete and mortar slurries, paints, acid washings, light-weight waste materials and litter.
13. Any existing trees which form part of the final landscaping plan, will be protected from construction activities by:
- protecting them with barrier fencing or similar materials installed outside the drip line.
 - ensuring that nothing is nailed to them.
 - prohibiting paving, grading, sediment wash or placing of stockpiles within the drip line except under the following conditions:
 - encroachment only occurs on one side and no closer to the trunk than either 1.5m or half the distance between the outer edge of the drip line and the trunk, whichever is the greater.
 - a drainage system that allows air and water to circulate through the root zone (e.g. a gravel bed) is placed under all fill layers of more than 300mm depth.
 - care is taken not to cut roots unnecessarily nor to compact the soil around them.

Site inspection and maintenance:

14. Allow for grass stabilisation of unstable areas, open channels and rock batters as and where directed.
15. Allow for establishment of other erosion protection measures as directed.
16. Receptors for concrete and mortar slurries, paints, acid washings, light-weight waste materials and litter are to be emptied as necessary. Disposal of waste shall be in a manner approved by the site superintendent.
17. Erosion and sediment control measures shall be inspected to ensure that they operate effectively immediately after each storm. Repairs and or maintenance shall be undertaken after each event and as required on a weekly basis.
18. The contractor shall provide all monitoring controls and testing.

Stormwater

SW1. All stormwater lines shall be sewer grade uPVC with solvent weld joints. (U.N.O.)

SW2. Minimum grade to stormwater lines to be 1% (U.N.O.)

SW3. Contractor to supply and install all fittings and specials including various pipe adapters to ensure proper connection between dissimilar pipework.

SW4. All connections to existing drainage pits shall be made in a tradesman-like manner and the internal wall of the pit at the point of entry shall be cement rendered to ensure a smooth finish.

SW5. Where trenches are in rock, the pipe shall be bedded on a minimum 50mm concrete bed (or 75mm thick bed of 12mm blue metal) under the barrel of the pipe. the pipe collar at no point shall bear on the rock. in other than rock, pipes shall be laid on a 75mm thick sand bed. In all cases backfill the trench with sand to 200mm above the pipe. Where the pipe is under pavements, backfill remainder of trench with approved granular material to subgrade level in 150mm layers compacted to 100% standard maximum dry density. A minimum pavement of 125mm thick dg520 base and 25mm thick ac10 wearing course shall be provided.

SW6. Where stormwater lines pass under floor slabs, sewer grade rubber ring joints are to be used.

SW6. All metal downpipes connecting to gutters are to be separated by non-conducting gasket or similar approved device to prevent electro chemical corrosion.

Minimum grades piping materials

N.B. Alternatives to materials listed hereunder will only be considered by written submission to the Engineer.

Stormwater

225(dia.)mm and under -uPVC DWV SH to AS.1415

Downpipes

-all exposed downpipes to be in material as specified by architect
-all concealed downpipes to be uPVC to A.S.3500.2.2 Section 2

Legend

Pipework

—SW— Existing stormwater service
—SW— Proposed stormwater service

Symbols

Existing riser
Existing service type
Existing size
Existing dropper
Riser
Service type
Service size
Dropper
Note reference

Pipe Riser
Pipe Dropper
End Cap
Continuation
Stop Valve
Direction of overland flow
Rainwater spreader
Hose tap

Temporary sediment fence

Sandbag sediment trap
Temporary geotextile filter fabric drop inlet sediment trap

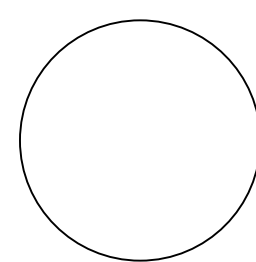
Abbreviations

@ H/L At High Level
Ø Diameter
Approx. Approximately
Cu Copper
Dia Diameter
DN Nominal Size
DP Downpipe
Drg Drawing
Ex./Exist. Existing
F.F.L. Finished Floor Level
F.G.L. Finished Ground Level
F.S.L. Finished Surface Level
G.L. Ground Level
HL High Level
I.L. Invert Level
l/sec. Litres per Second
m Metre
mm Millimetre
N.T.S. Not to Scale
OF Overflow
PVC Poly Vinyl Chloride
RHS Rectangular hollow section
R.L. Reduced Level
RRJ Rubber Ring Jointed
SPRD Spreader
STW Stormwater
SWP Stormwater Pit
TBC To Be Confirmed
TOK Top of Kerb
U.N.O. Unless Noted Otherwise
uPVC Unplasticised Poly Vinyl Chloride
uv Ultraviolet



NOT FOR CONSTRUCTION

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Revision	Amendment or reason for issue	Issue date	Drawing Completed by	Designed & dwg. checked by



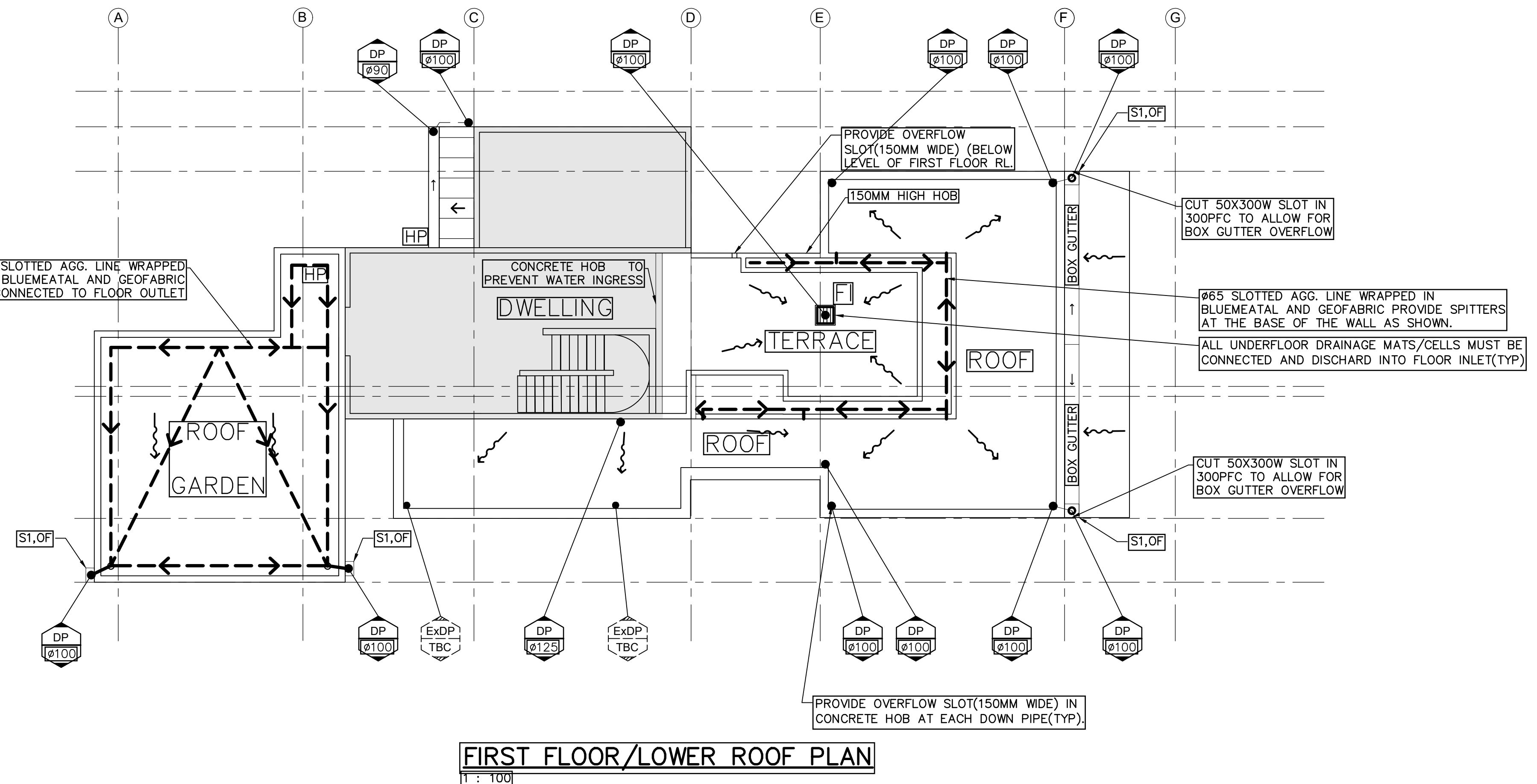
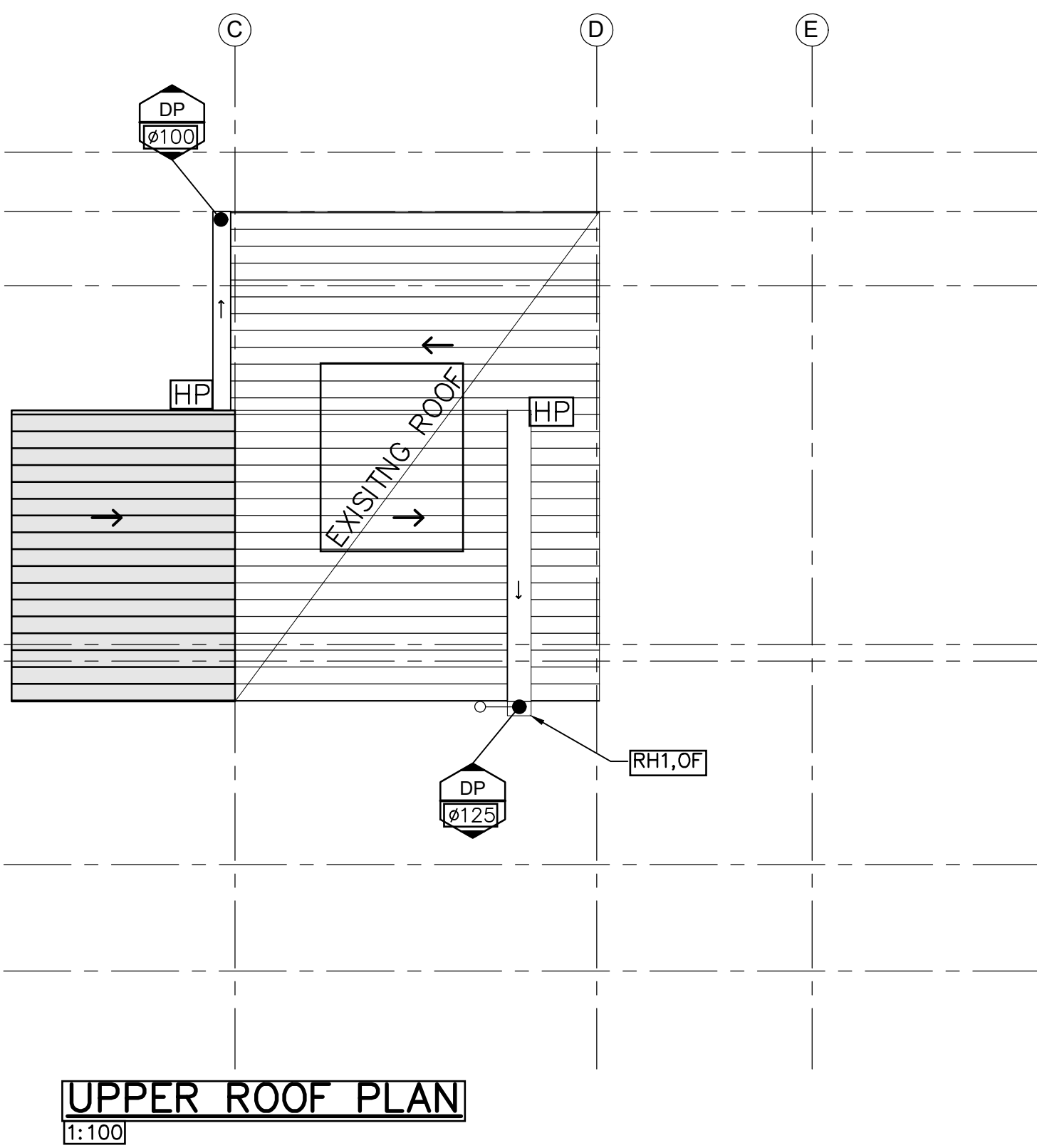
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Project	ALTERATIONS AND ADDITIONS 38 BOWER STR MANLY	Drawing Title	COVER SHEET AND NOTES.
Client	TRACEY & JAMES SMAIL	Scales	INTS
Architect	A&Co.	Drawing No.	23S255 -H01
		Client Project No.	
		Sheet	1 of 5
		Revision	2

A1 SHEET

200mm

100mm



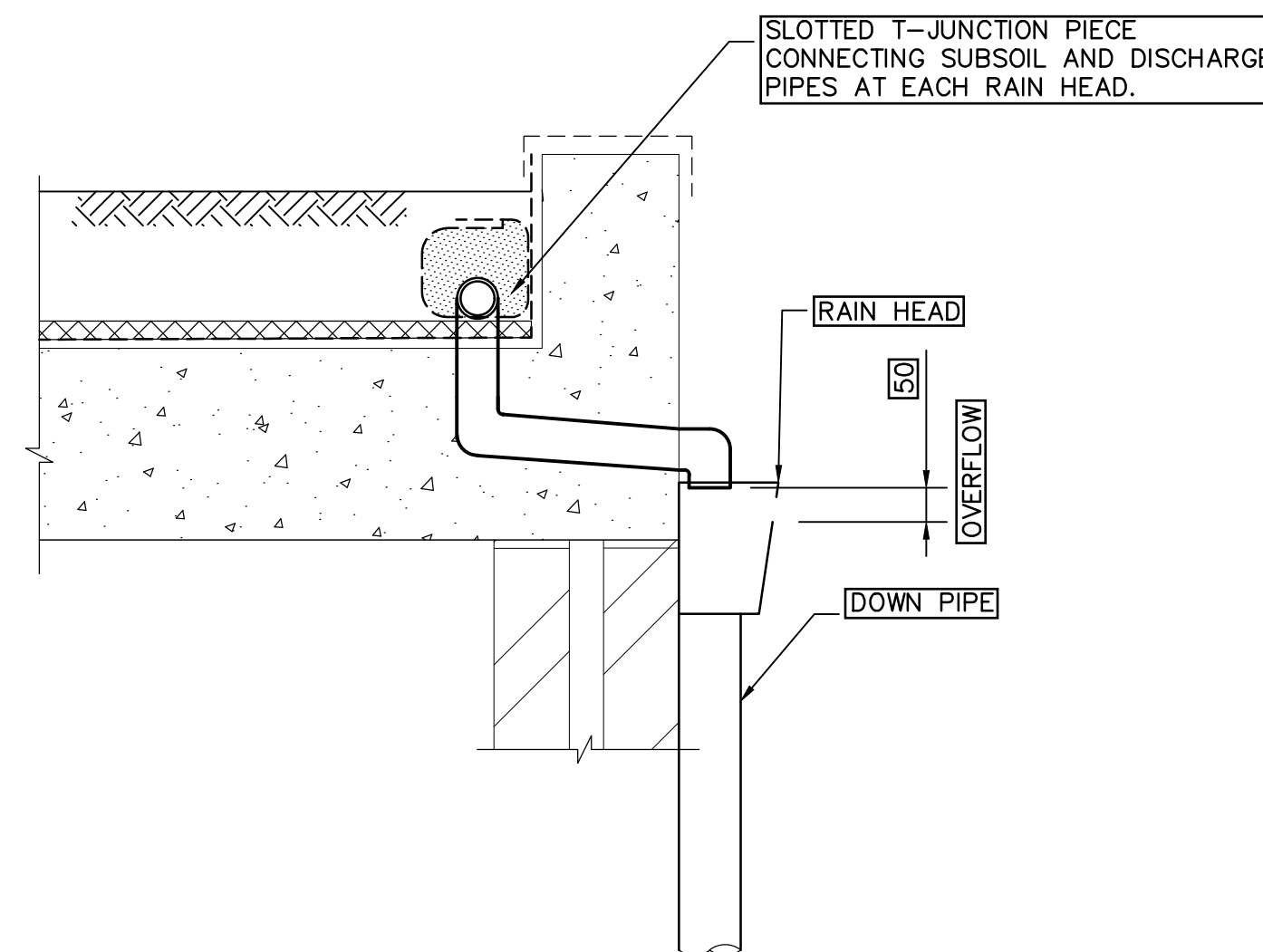
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
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- LEGEND**
- SURFACE RUN OFF
 - GUTTER/DRAINAGE HIGH POINT
 - DOWN PIPE
 - RAIN HEAD (200X300X110D(MIN.))+OVER FLOW SPREADER
 - INLET/INSPECTION PIT
 - FLOOR INLET
 - NEW PROPOSED PIPE (TBC ON SITE)
- HP
DP
S1, OF (REFER DETAILS)
SPRD
IP
FI
SW

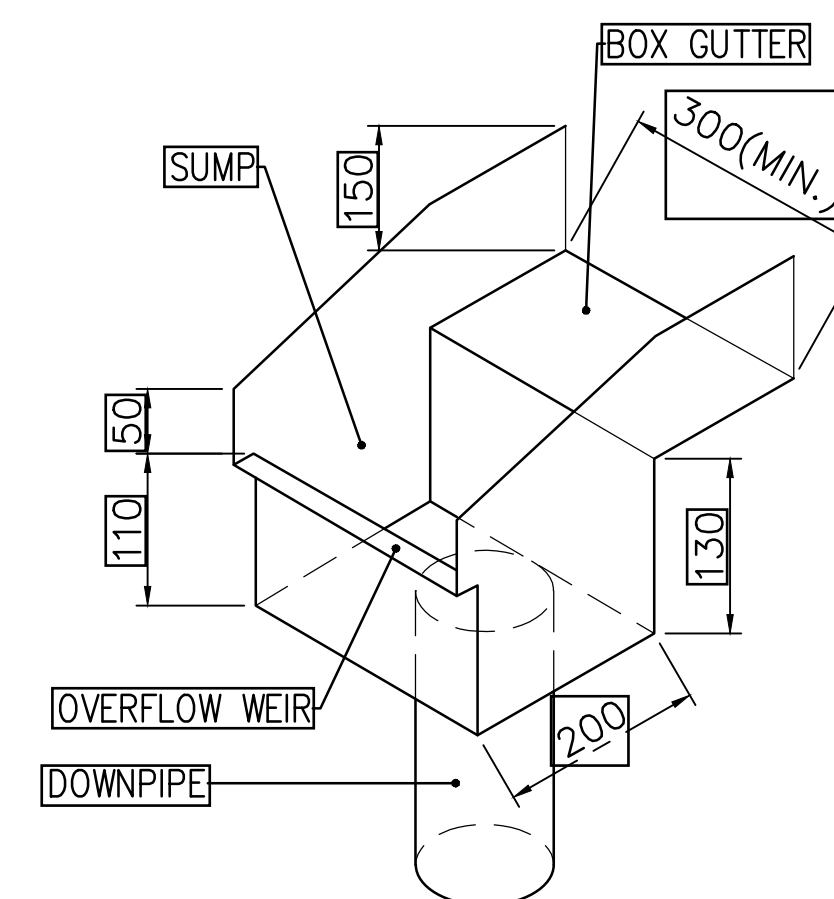
NOTE: ROOF OVERFLOW LOCATIONS TO BE CONFIRMED ON SITE DURING CONSTRUCTION

LEAF GUARDS
TO BE INSTALLED TO ALL GUTTERS

EXISTING STORMWATER PIPES AND LOCATION SHOWN ON THESE DRAWINGS ARE ASSUMPTION ONLY AND SUBJECT TO FINAL CONFIRMATION DURING DEMOLITION/OPENING UP WORKS. ADDITIONAL STORMWATER PIPES MIGHT BE REQUIRED, SUBJECT TO LOCAL SITE CONSTRAINTS. QUALIFIED PLUMBER TO LOCATE, INSPECT AND UPGRADE OR REPLACE ALL USED EXISTING STORMWATER PIPES/PITS AS REQUIRED. (ALL WORKS TO COMPLY WITH AS3500.3 AND COUNCIL'S SPECIFICATIONS, FINAL LAYOUT TO BE CONFIRMED BY ENGINEER PRIOR TO CONSTRUCTION.



TYPICAL SUMP(S1) AND GARAGE ROOF FLOOR INLET
NTS



TYPICAL SUMP(S1) AND BOX GUTTER
NTS

TYPICAL BOX GUTTERS SPECIFICATION

THE MINIMUM WIDTH OF BOX GUTTERS USED FOR COMMERCIAL CONSTRUCTION IS 300 MM. BOX GUTTERS 200 MM WIDE MAY BE USED FOR DOMESTIC CONSTRUCTION, BUT THEY ARE MORE PRONE TO BLOCKAGES AND SHOULD BE SUBJECT TO FREQUENT INSPECTIONS AND MAINTENANCE. ADDITIONAL HEIGHT IS RECOMMENDED WHERE POSSIBLE.

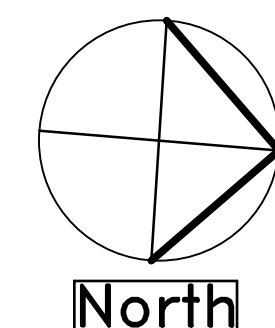
BOX GUTTERS SHALL:

- (I) BE STRAIGHT (WITHOUT CHANGE IN DIRECTION);
- (II) IN A CROSS-SECTION HAVE A HORIZONTAL CONSTANT WIDTH BASE (SOLE) WITH VERTICAL SIDES;
- (III) HAVE A CONSTANT LONGITUDINAL SLOPE BETWEEN 1:200 AND 1:40;
- (IV) DISCHARGE AT THE DOWNSTREAM END WITHOUT CHANGE OF DIRECTION (I.E., NOT TO THE SIDE); AND
- (V) BE SEALED TO THE RAINHEADS AND SUMPS.

3.7.6 DOWNPIPES
DOWNPIPES SHALL BE FITTED VERTICALLY TO THE BASE OF A RAINHEAD OR SUMP

NOT FOR CONSTRUCTION

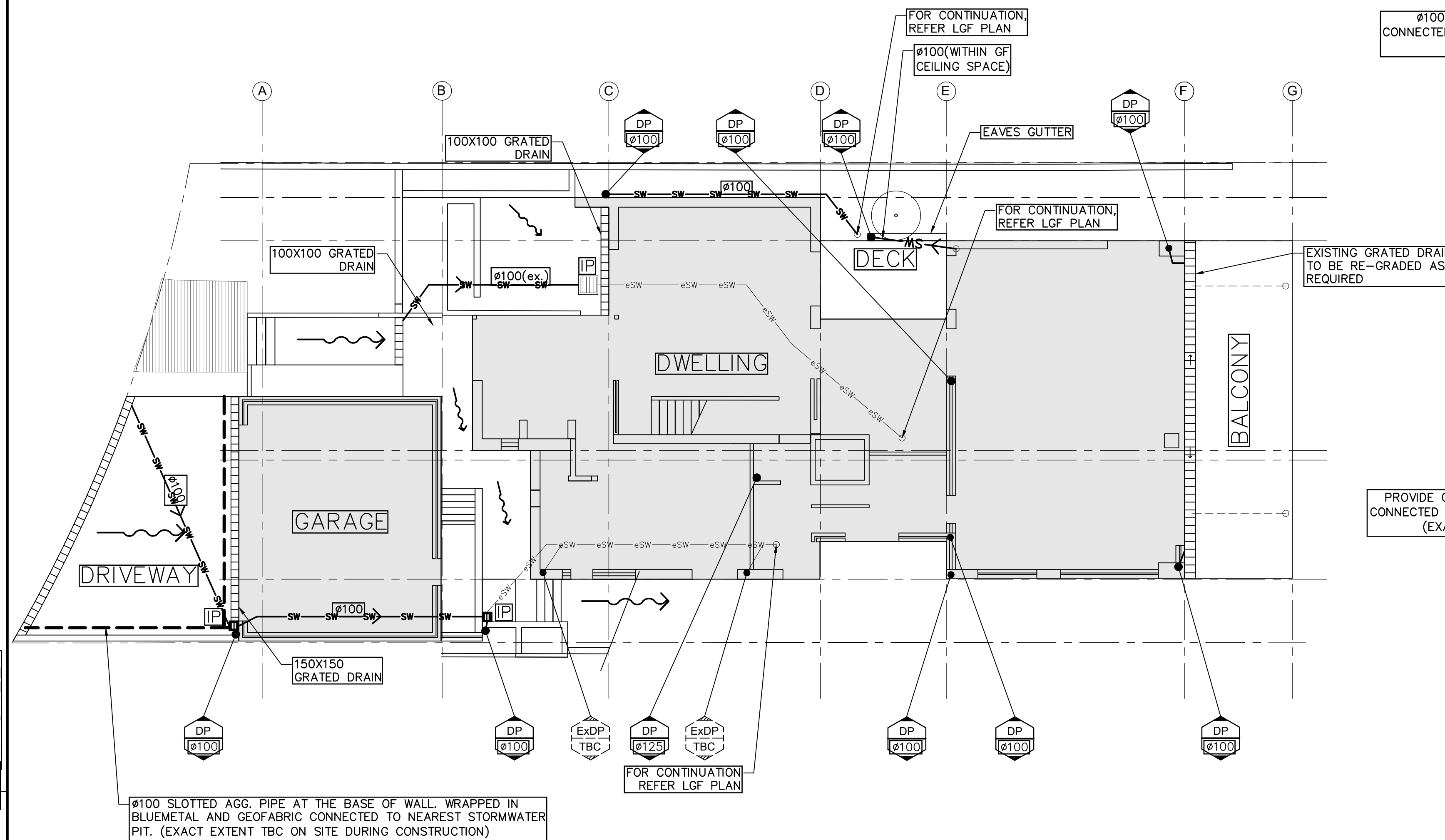
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A	CONCEPT STORMWATER PLAN (FOR DA)	29/6/23	RH	RH



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Project	ALTERATIONS AND ADDITIONS 38 BOWER STR MANLY
Client	TRACEY & JAMES SMAIL
Architect	A&Co.

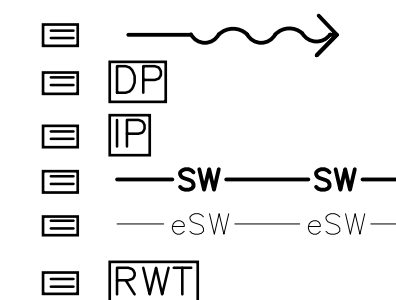
Drawing Title	STORMWATER PLANS AND DETAILS.
Scales	1:100
Drawing No.	23S255-H02
Client Project No.	
Sheet	2 of 5
Revision	2

**GROUND FLOOR SLAB PLAN**
1 : 100

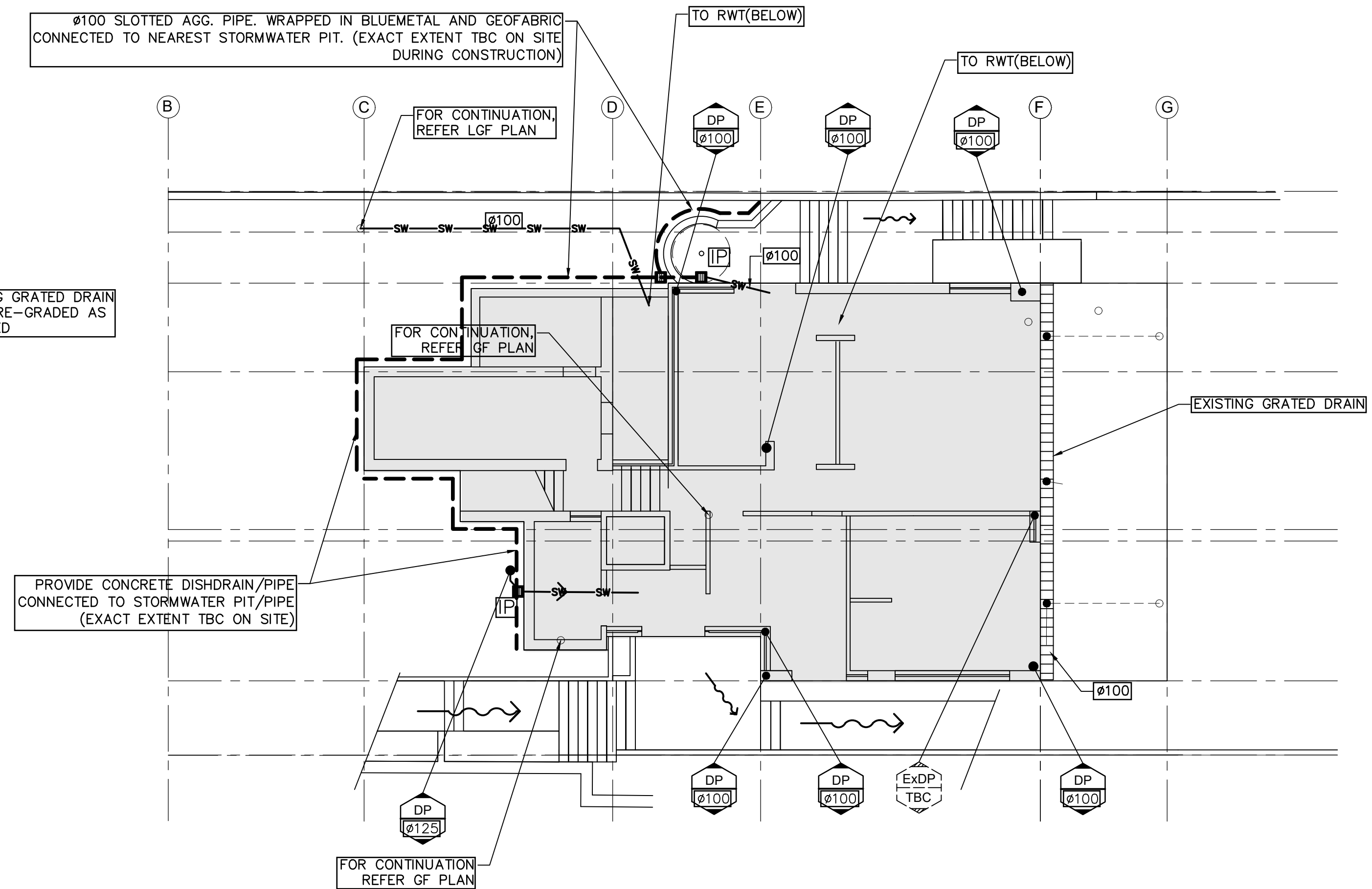
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LEGEND

SURFACE RUN OFF
DOWN PIPE
NEW INLET/INSPECTION PIT
NEW PROPOSED PIPE(TBC ON SITE)
EXISTING PIPE(TBC ON SITE)
RAIN WATER TANK



LEAF GUARDS
TO BE INSTALLED TO ALL GUTTERS

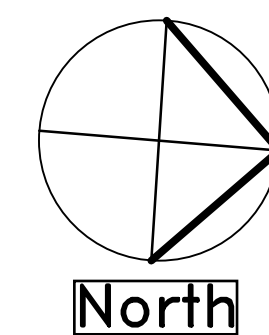
**LOWER GROUND FLOOR SLAB PLAN**
1 : 100

* - TO ARCH. DETAIL
NOTE: FINAL STORMWATER PIPES LAYOUT TO BE CONFIRMED BY ENGINEER AFTER DEMOLITION WORKS.



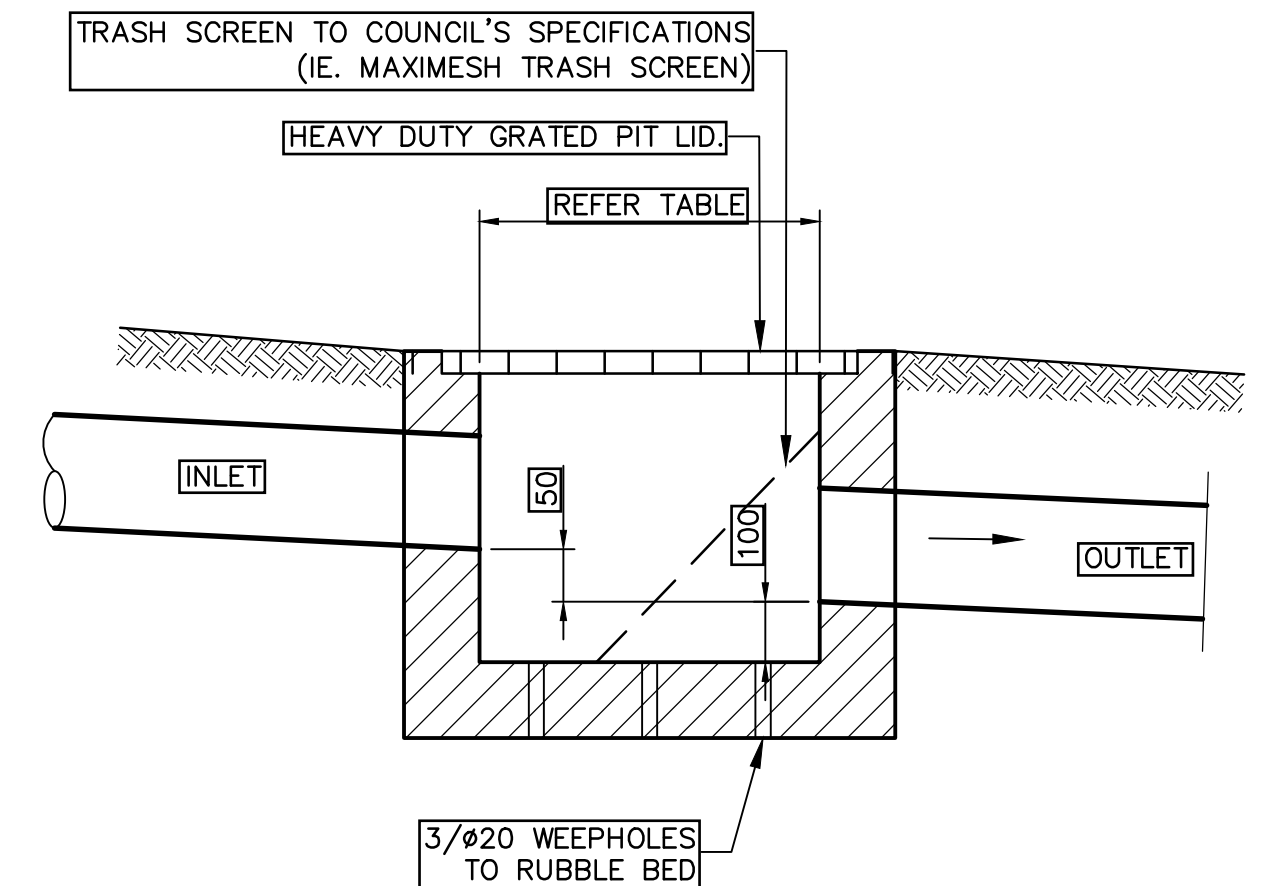
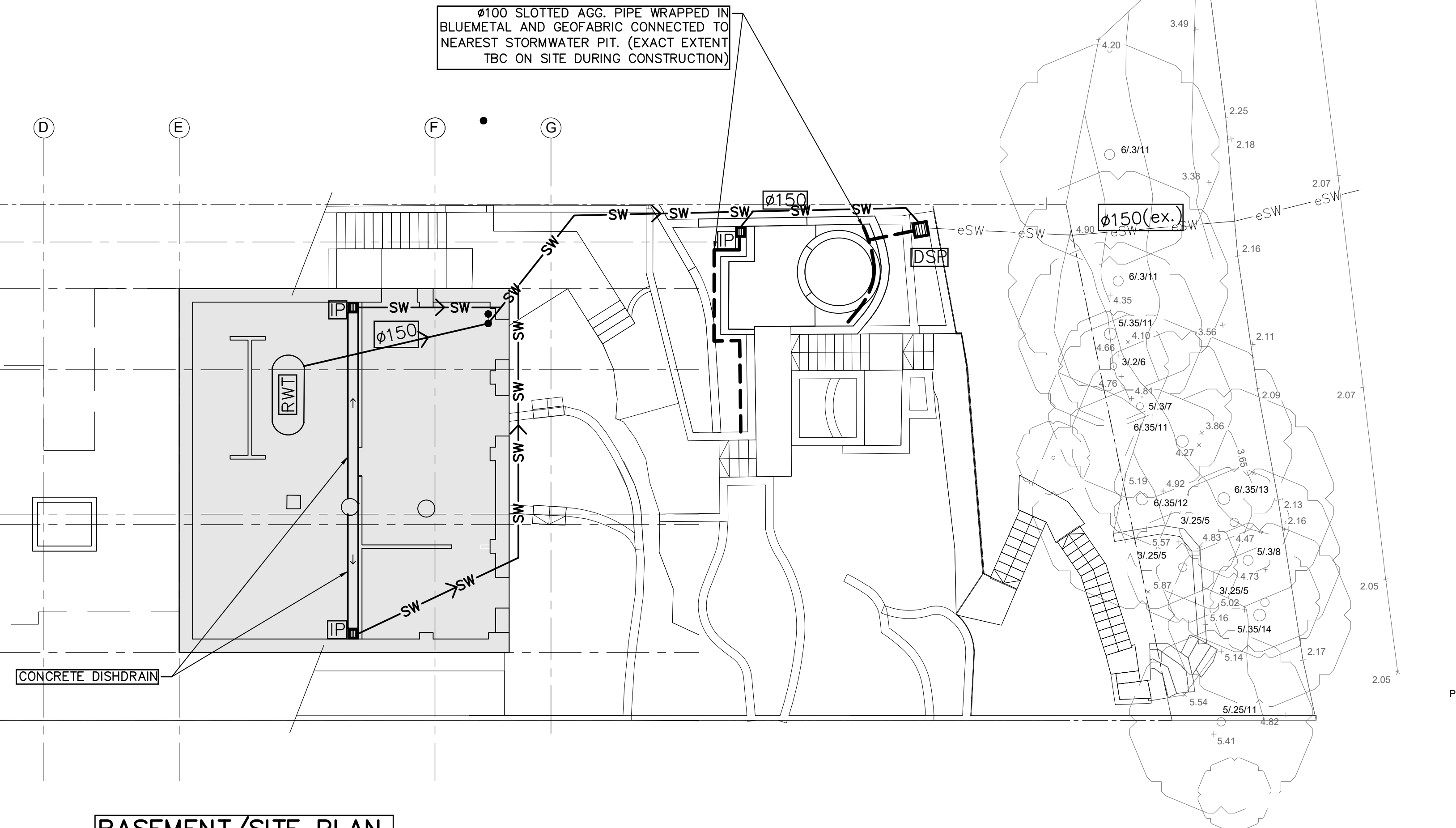
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Client	TRACEY & JAMES SMAIL	Scales	1:100
Architect	A&Co.	Drawing No.	23S255-H03
		Client Project No.	
		Sheet	3 of 5
		Revision	2



SITE DISCHARGE CONTROL PIT(DSP)
1:10

LEGEND

SURFACE RUN OFF

DOWN PIPE

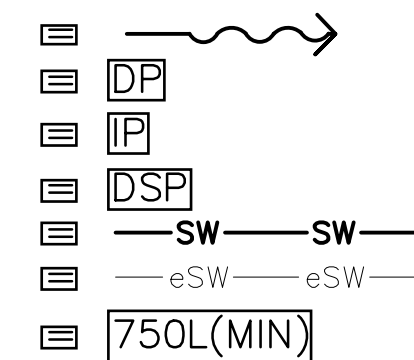
NEW INLET/INSPECTION PIT

DISCHARGE PIT

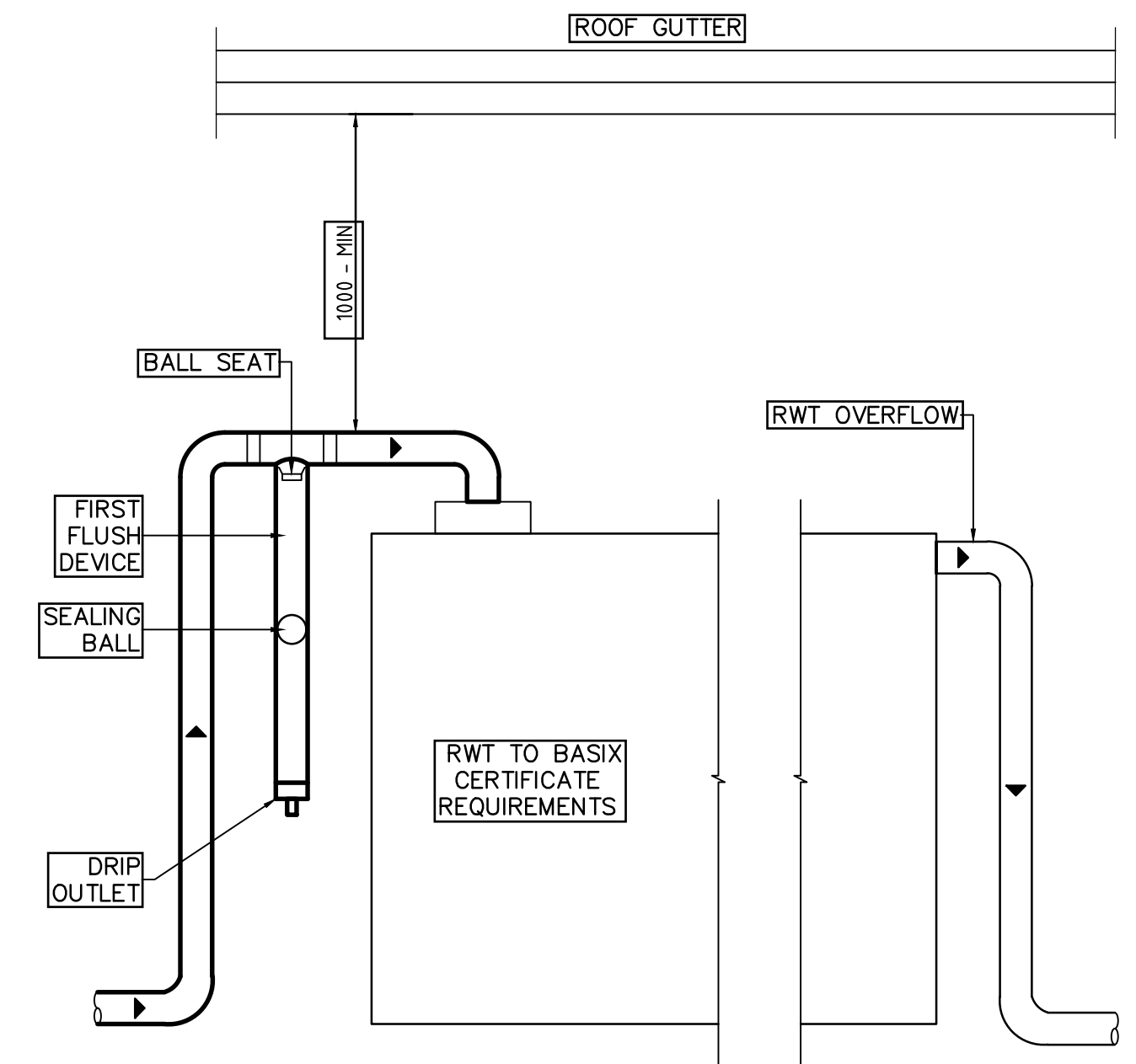
NEW PROPOSED PIPE(TBC ON SITE)

EXISTING PIPE(SUSPENDED UNDER CEILING,TBC ON SITE)

RAIN WATER TANK(RWT, COLLECTING 160SQM OF ROOF)



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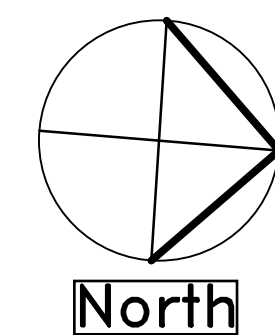
RWT TANK SECTION (TYPICAL)

1:20

NOTES: RAIN WATER TANK AND INSTALLATION TO COMPLY WITH AS3500, COUNCIL'S RAINWATER TANK POLICY AND RELEVANT REGULATIONS AND REQUIREMENTS.

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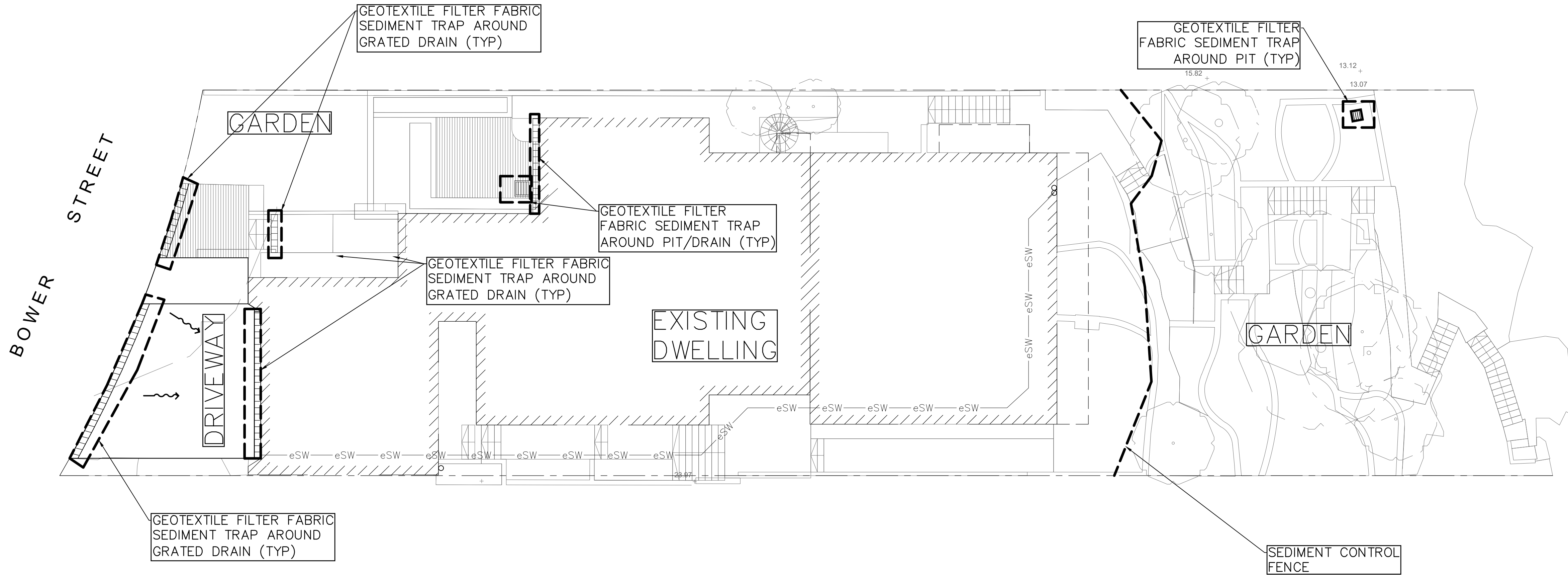
PH: 0404-770980

Project	ALTERATIONS AND ADDITIONS 38 BOWER STR MANLY	Drawing Title	STORMWATER PLANS AND DETAILS.
Client	TRACEY & JAMES SMAIL	Scales	1:100
Architect	A&C Co.	Drawing No.	23S255-H04
		Client Project No.	
		Sheet	4 of 5
		Revision	2

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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT

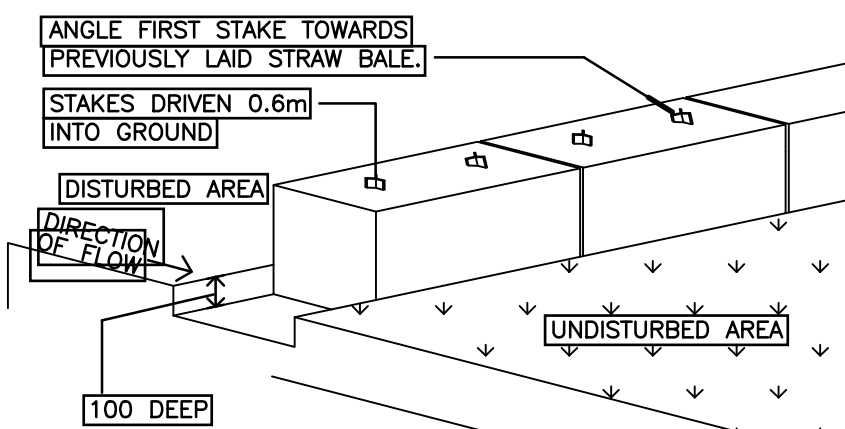
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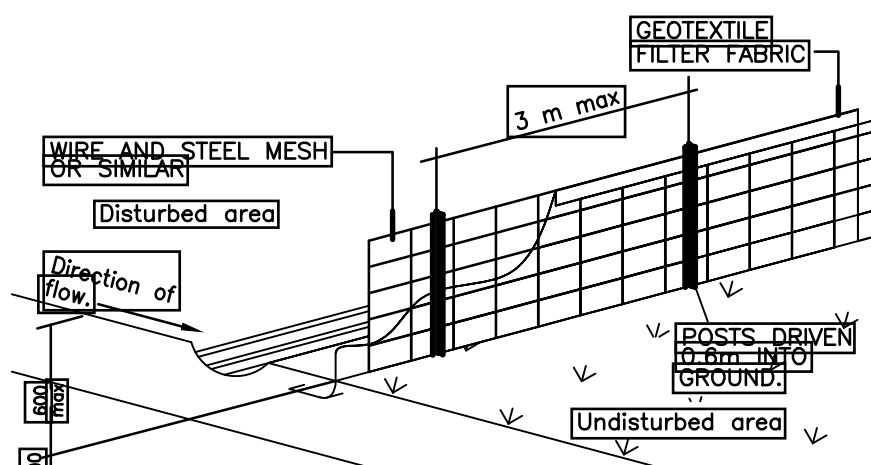
SEDIMENT CONTROL PLAN

1:100

DRAINAGE AREA 0.4ha MAX. SLOPE GRADIENT 1:2 MAX.
SLOPE LENGTH 40m MAX.



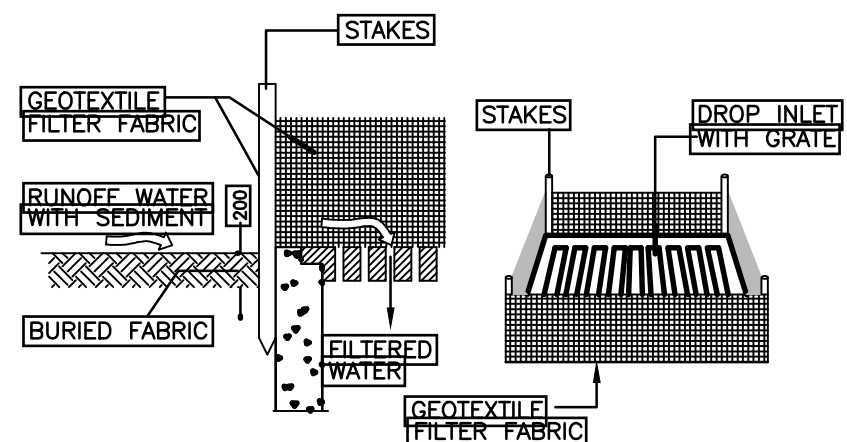
STRAW BALE SEDIMENT FILTER



SEDIMENT CONTROL FENCE

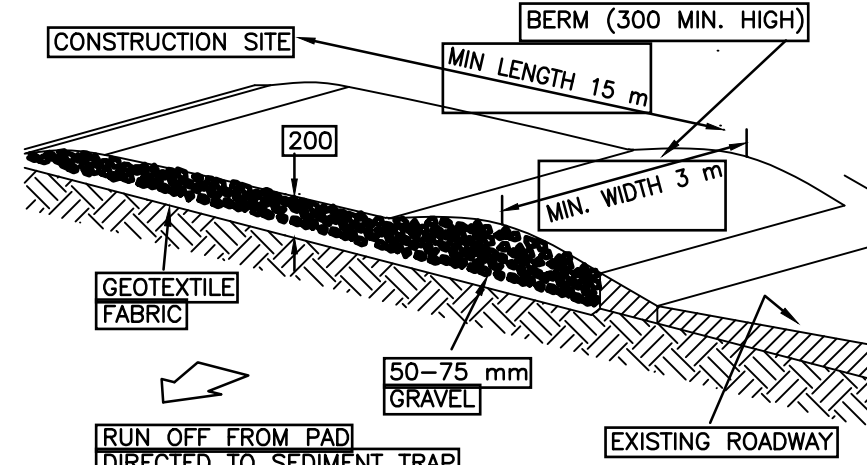
TYPICAL SEDIMENT CONTROL DETAILS

NTS



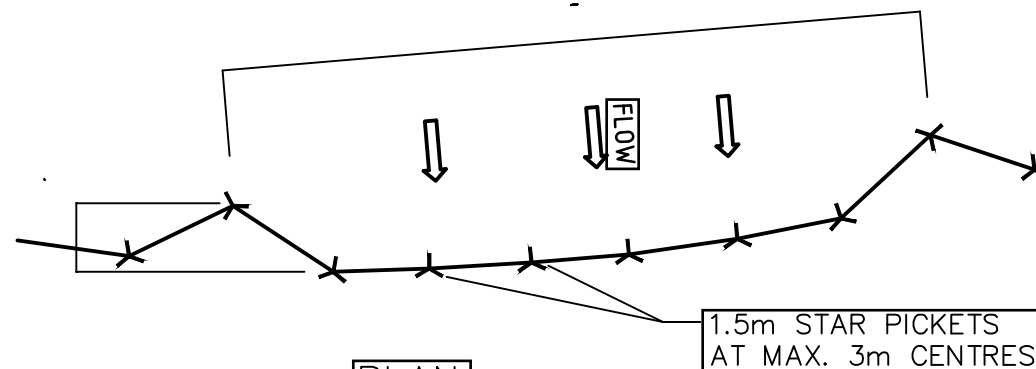
GEOTEXTILE FILTER FABRIC
DROP INLET SEDIMENT TRAP

SCALE: NTS



TEMPORARY CONSTRUCTION EXIT

SCALE: NTS

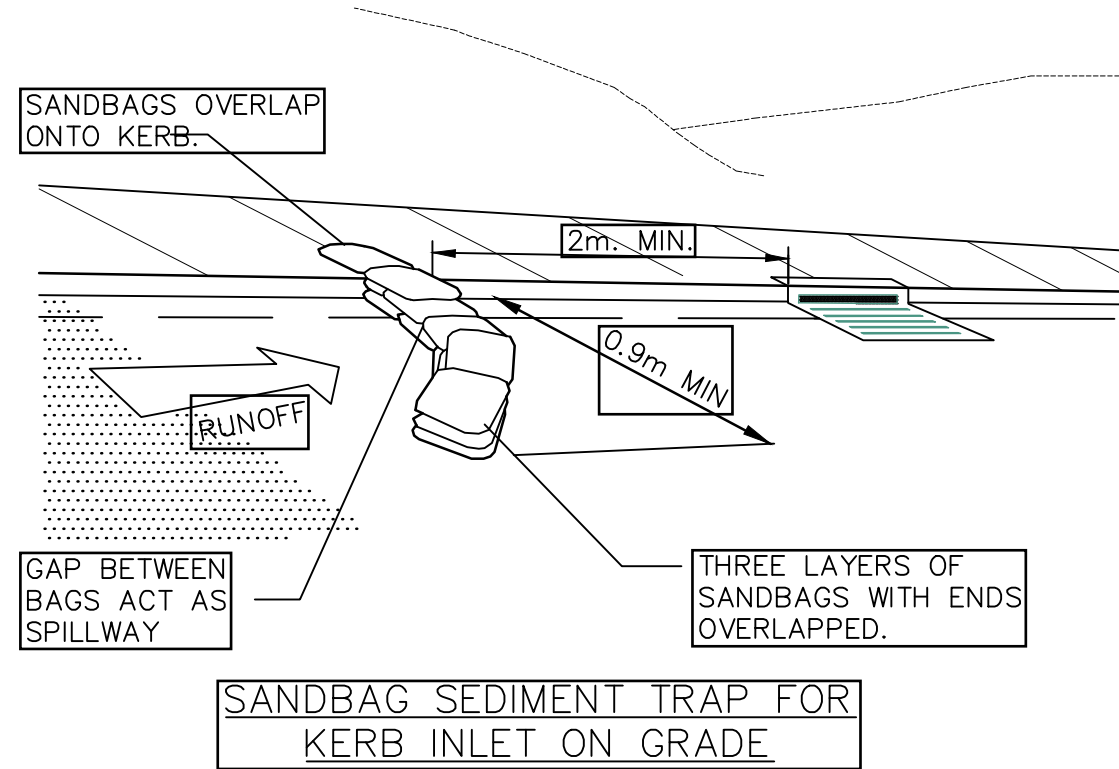


PLAN

SEDIMENT CONTROL FENCE

CONSTRUCTION NOTES -

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND, 3 METRES APART.
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. SELF SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
7. EXACT EXTENT OF SEDIMENT FENCE IS TO BE CONFIRMED DURING CONSTRUCTION WORKS.



SANDBAG SEDIMENT TRAP FOR
KERB INLET ON GRADE

SOIL CONSERVATION NOTES

A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

(PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.)

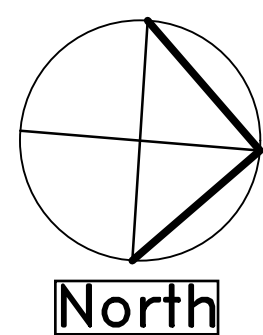
CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED.

B. DURING CONSTRUCTION

- 1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
- 2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.
- 3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.
- 4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.
- 5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.

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Client	TRACEY & JAMES SMAIL
Architect	A&Co.

Drawing Title	EROSION AND SEDIMENT CONTROL PLAN AND DETAILS.
Scales	1:100
Drawing No.	23S255-H05
Client Project No.	
Sheet	5 of 5
Revision	2

LEGEND

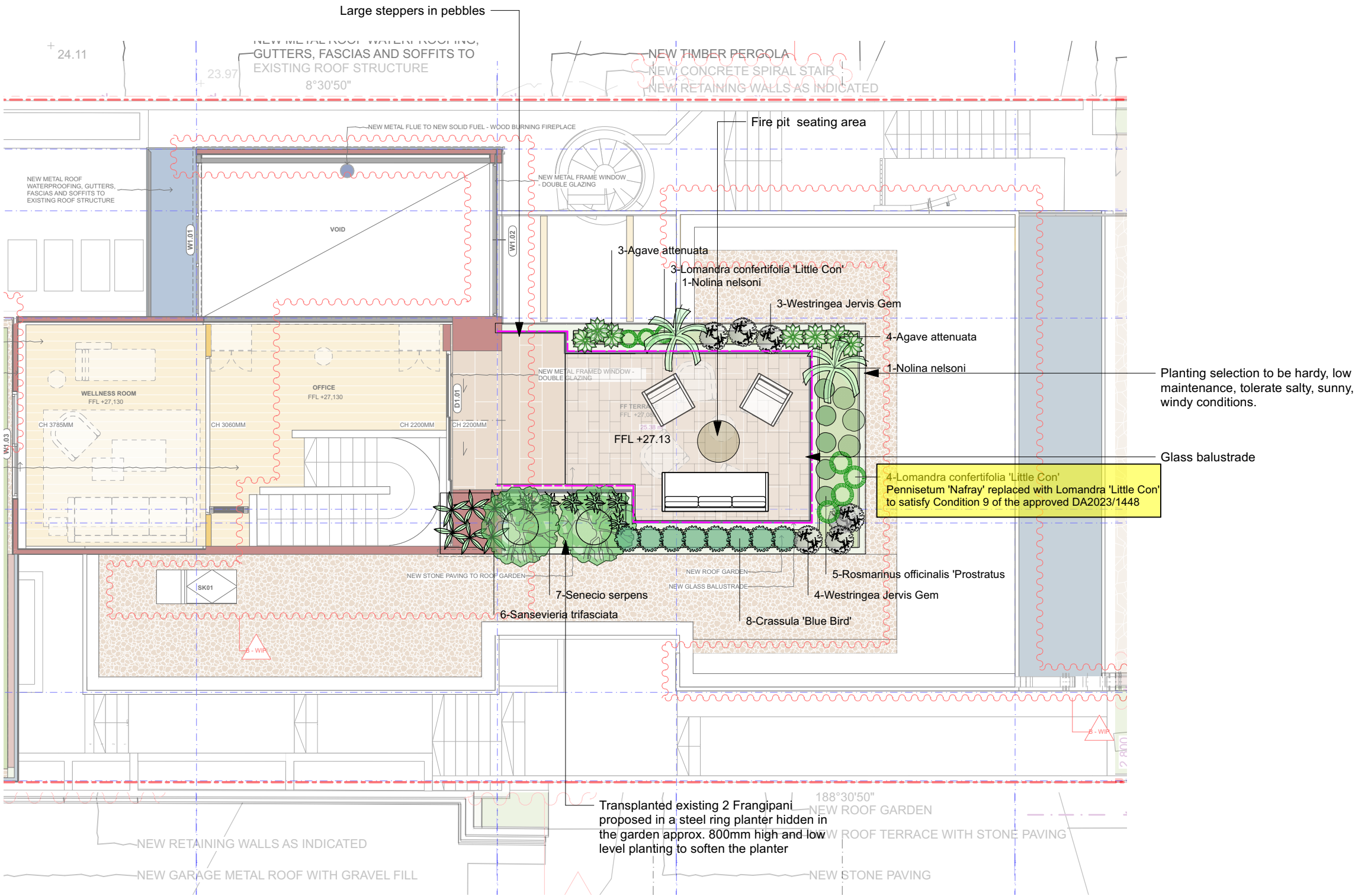
- BOUNDARY
- RL +10.00 EXISTING LEVEL
- RL +10.00 PROPOSED LEVEL



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NOTES Figure dimensions shall take precedence over scale. All figures are to be verified on site. This drawing is protected by copyright.		EDWINA STUART Landscape Design Landscape Design Consultants edwina@edwinastuart.com www.edwinastuartlandscapedesign.com	Project: Tracey & James Smail 38 Bower St, Manly	Dwg No: LP 01	Scale: 1:100 @ A3	Drawn By: ES	Date: 16.07.24
				Title: LANDSCAPE PLAN - LEVEL 1		REV: B	