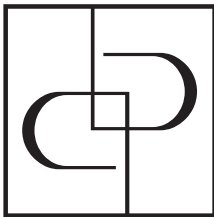


DEVELOPMENT APPLICATION

ALTERATIONS AND ADDITIONS TO
37 HALL AVENUE
COLLARROY PLATEAU, NSW, 2097
LOT 3 / DP 11733

PROGRESSIVE PLANS
BUILDING DESIGN



NO:	SHEET NAME	DATE
DA01	TITLE PAGE	9/9/21
DA02	AREA CALCULATIONS	9/9/21
DA03	SITE ANALYSIS	9/9/21
DA04	SITE - WASTE - SEDIMENT PLAN	9/9/21
DA05	EXISTING GROUND FLOOR PLAN	9/9/21
DA06	PROPOSED GROUND FLOOR PLAN	9/9/21
DA07	EXISTING FIRST FLOOR PLAN	9/9/21
DA08	PROPOSED FIRST FLOOR PLAN	9/9/21
DA09	EXISTING ROOF PLAN	9/9/21
DA10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	9/9/21
DA11	ELEVATIONS - NORTH & SOUTH	9/9/21
DA12	ELEVATIONS - EAST & WEST	9/9/21
DA13	SECTIONS - A & B	9/9/21
DA14	CABANA - PROPOSED FLOOR / ROOF PLANS	9/9/21
DA15	CABANA - ELEVATIONS / SECTIONS	9/9/21
DA16	CABANA - PERSPECTIVES	9/9/21
DA17	SHADOW DIAGRAM - JUNE 21ST - 9AM	9/9/21
DA18	SHADOW DIAGRAM - JUNE 21ST - 12PM	9/9/21
DA19	SHADOW DIAGRAM - JUNE 21ST - 3PM	9/9/21
DA20	BASIX REQUIREMENTS	9/9/21
DA21	FINISHES BOARD	9/9/21

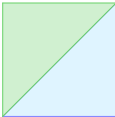




SITE AREA:
626.00 m²



DWELLING FOOTPRINT



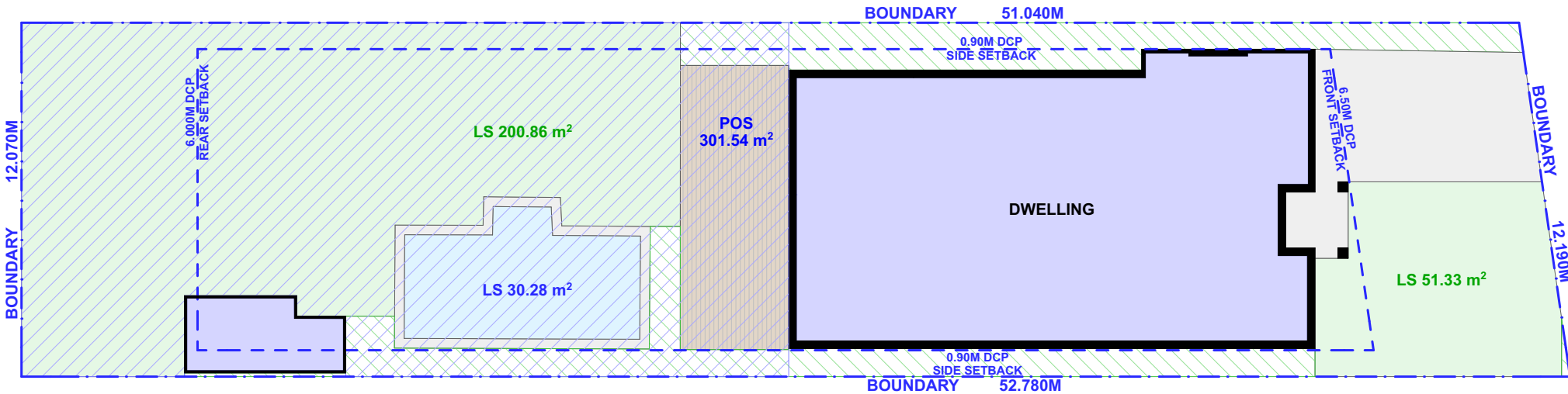
LANDSCAPE AREA:
REQUIRED 40.00% (250.40 m²)
EXISTING 45.12% (282.47 m²)
PROPOSED 41.26% (258.31m²)



EXCLUDED LANDSCAPED AREA:
AREAS LESS THAN 2.0m x 2.0m



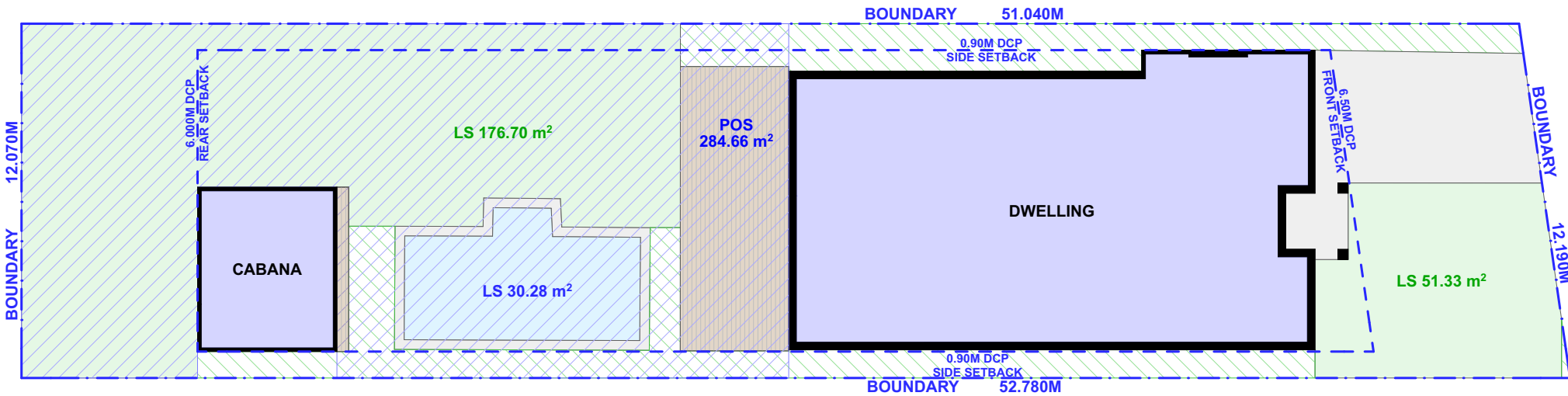
PRIVATE OPEN SPACE
REQUIRED 60.00 m²
EXISTING 301.54 m²
PROPOSED 284.66 m²



1

EXISTING AREA CALCULATIONS

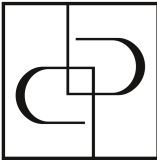
1:200



2

PROPOSED AREA CALCULATIONS

1:200



PROGRESSIVE PLANS
BUILDING DESIGN

CONTACT

LEON & HARMONY VARLEY
DIRECTORS

(02) 9997 3997
0400 699 850
2A/2C BUNGAN STREET
MONA VALE, NSW, 2103
HELLO@PROGRESSIVEPLANS.COM.AU
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.

NOTES.

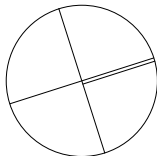
INITIAL

DATE

LEGEND

- DWELLING WALLS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER

NORTH POINT



CLIENTS:

TATIA & CHRIS PITTHAM

SITE ADDRESS:

**37 HALL AVENUE
COLLARROY PLATEAU, NSW, 2097**

DRAWING TITLE:

AREA CALCULATIONS

SCALE:

1:200 @A3

DATE:

9/9/21

PROJECT NO:

1010

DRAWING NO:

DA02



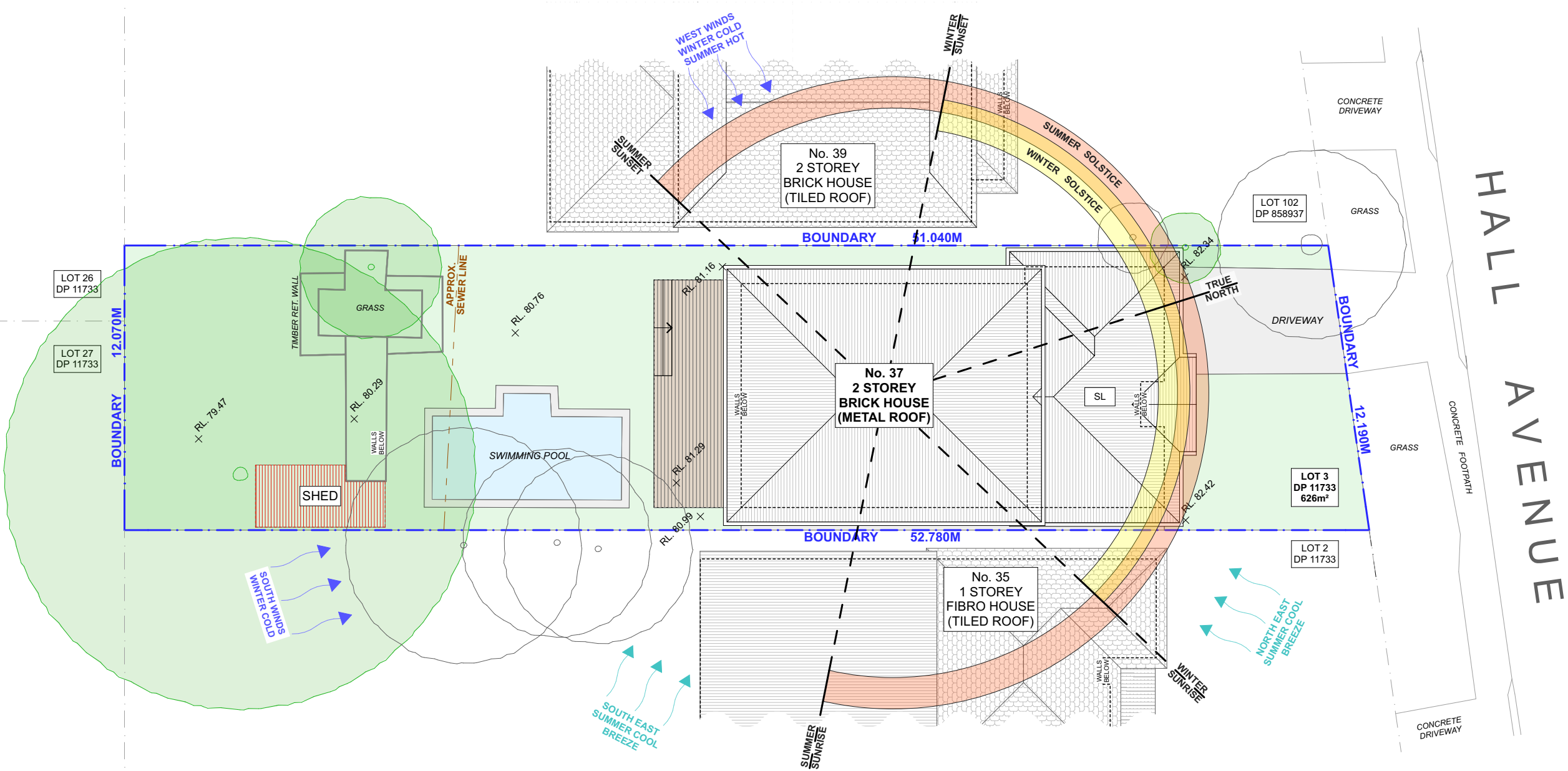
EXTERNAL VIEW



LOCATION MAP



AERIAL MAP



1

SITE ANALYSIS

1:200

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

AERIAL MAP

CONTACT

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REV.	NOTES.	INITIAL	DATE
A	DESIGN CONCEPTS	AF	20.08.21
B	DESIGN REVIEW	AF	23.08.21
C	DA SUBMISSION	AF	09.09.21

LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

PROPOSED ROOF

LANDSCAPE / GRASS

CONCRETE / PAVERS

TIMBER DECK

POOL / WATER

SEDIMENT EROSION FENCE

ABBREVIATIONS

DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN

NORTH POINT

CLIENTS:

TATIA & CHRIS PITTHAM

SITE ADDRESS:

37 HALL AVENUE
COLLARROY PLATEAU, NSW, 2097

DRAWING TITLE:

SITE ANALYSIS
1:200, 1:222,
1:223, 1:155,
SCALE: 1:242,
1:181 @A3

DATE:

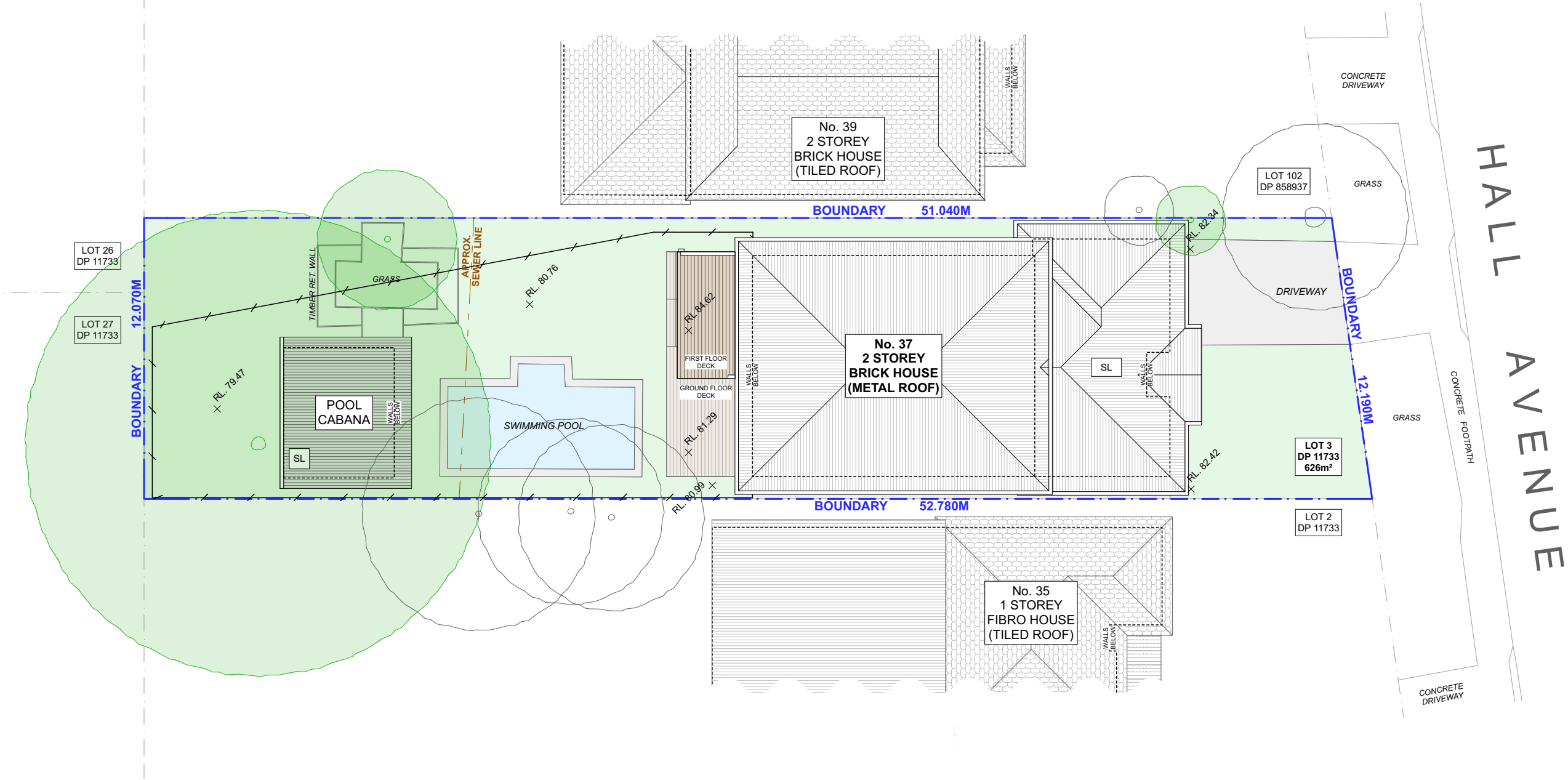
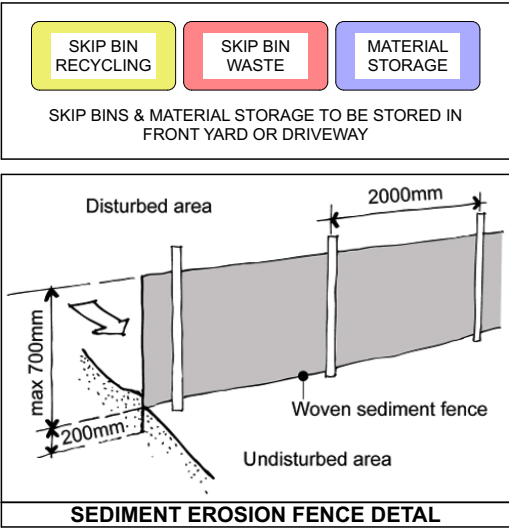
9/9/21

PROJECT NO:

1010

DRAWING NO:

DA03



1

SITE - WASTE - SEDIMENT PLAN

1:200

CONTACT
LEON & HARMONY VARLEY
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LEGEND

EXISTING

DEMOLISHED

EXISTING ROOF

PROPOSED ROOF

SEDIMENT EROSION FENCE

LANDSCAPE / GRASS

CONCRETE / PAVERS

TIMBER DECK

POOL / WATER

ABBREVIATIONS
DP: DEPOSIT PLAN
RL: REDUCED LEVEL
SP: STRATA PLAN

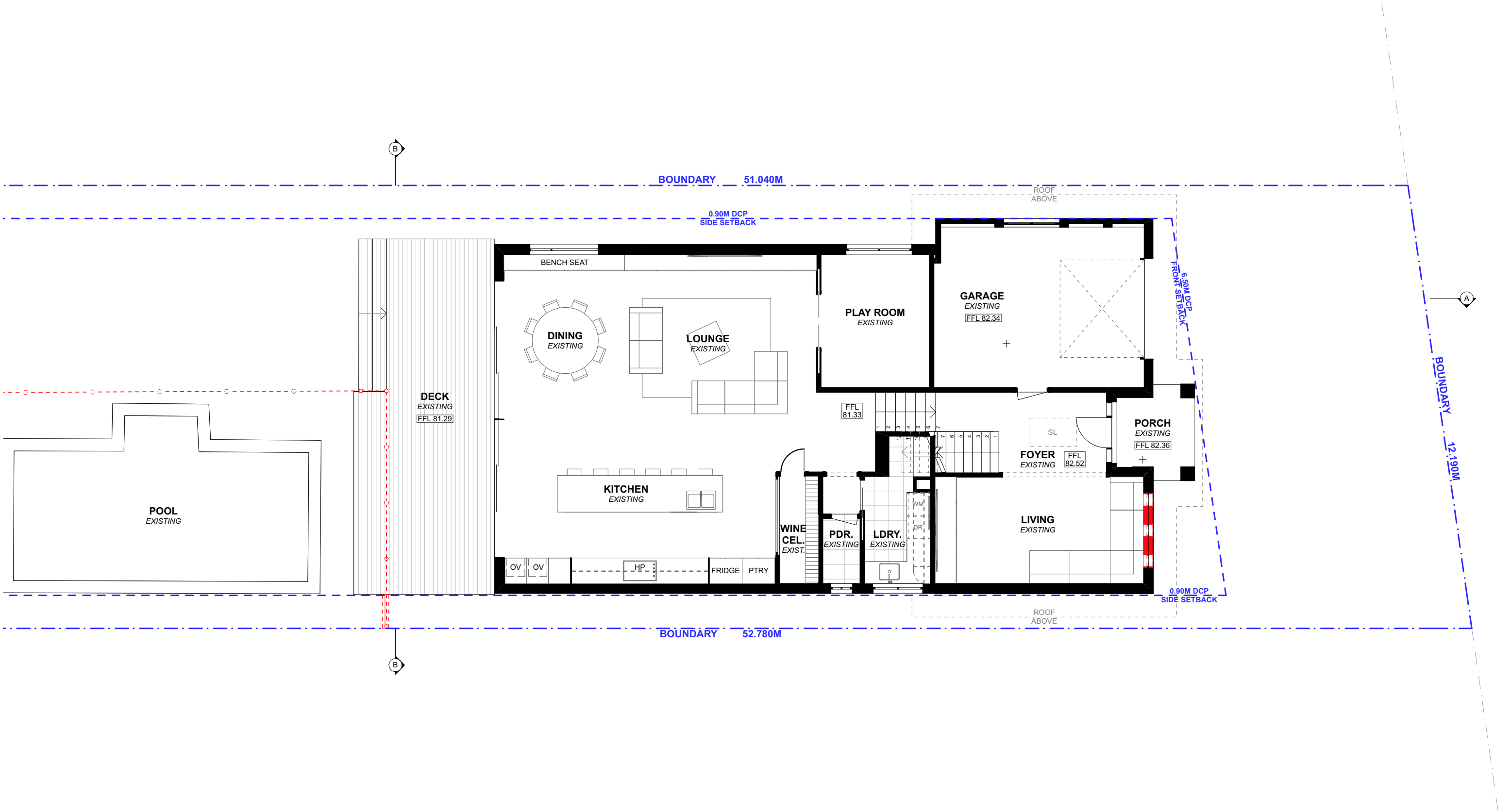
NORTH POINT

CLIENTS:
TATIA & CHRIS PITTHAM

SITE ADDRESS:
37 HALL AVENUE
COLLARROY PLATEAU, NSW, 2097

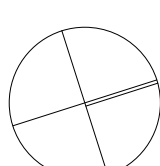
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SITE - WASTE - SEDIMENT PLAN

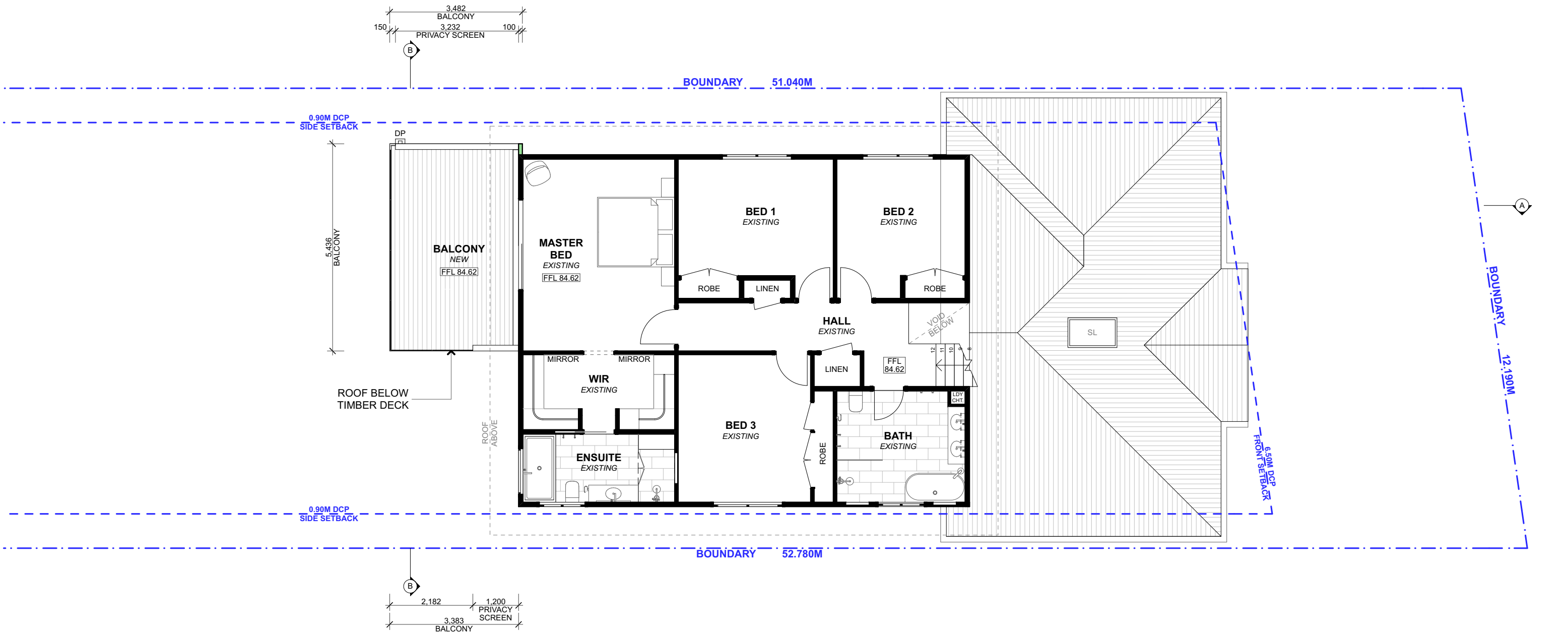
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PROJECT NO: 1010	DRAWING NO: DA04



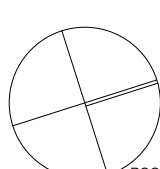
1 EXISTING GROUND FLOOR PLAN 1:100

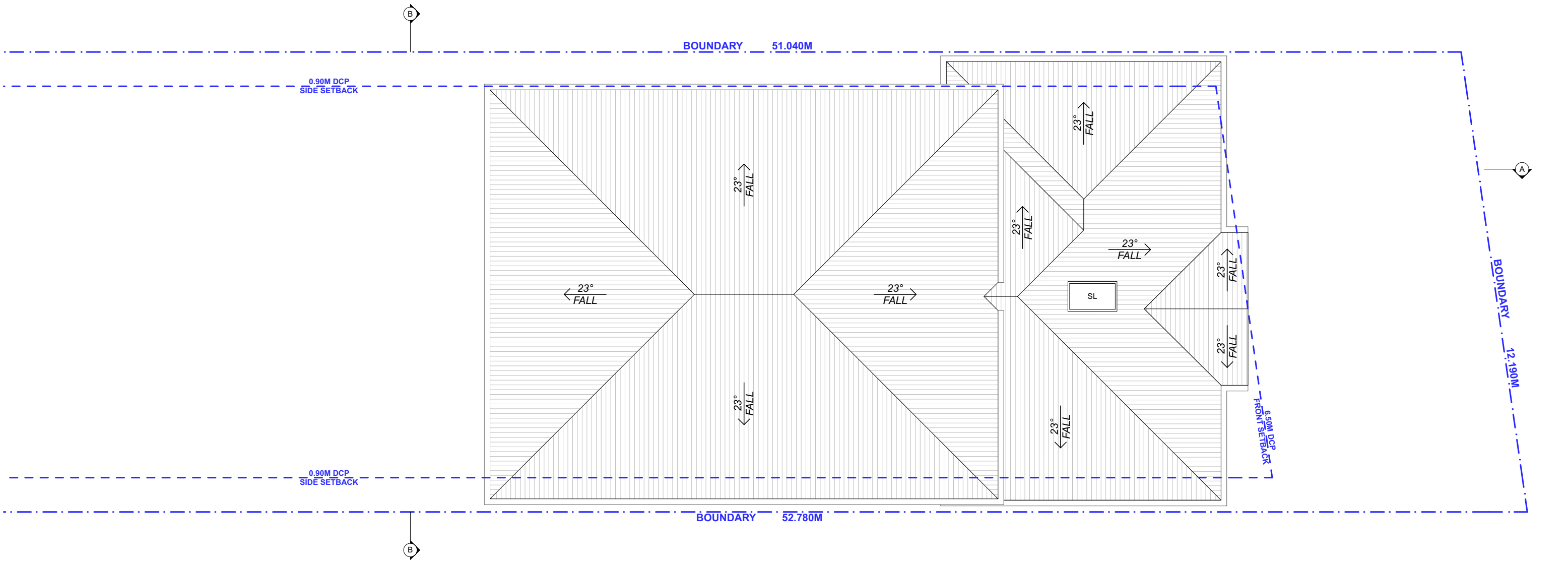
NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM CF: CEILING FAN	NORTH POINT 	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: EXISTING GROUND FLOOR PLAN	
			A	DESIGN CONCEPTS	AF	20.08.21					SCALE: 1:100 @A3	DATE: 9/9/21
			B	DESIGN REVIEW	AF	23.08.21					PROJECT NO: 1010	DRAWING NO: DA05
			C	DA SUBMISSION	AF	09.09.21						



1 PROPOSED FIRST FLOOR PLAN 1:100

 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>DESIGN CONCEPTS</td><td>AF</td><td>20.08.21</td></tr><tr><td>B</td><td>DESIGN REVIEW</td><td>AF</td><td>23.08.21</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>09.09.21</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	DESIGN CONCEPTS	AF	20.08.21	B	DESIGN REVIEW	AF	23.08.21	C	DA SUBMISSION	AF	09.09.21													LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM CF: CEILING FAN	NORTH POINT  ROOF PEAR	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: PROPOSED FIRST FLOOR PLAN
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PROJECT NO: 1010	DRAWING NO: DA08																																			

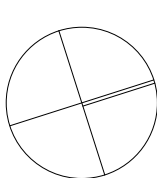


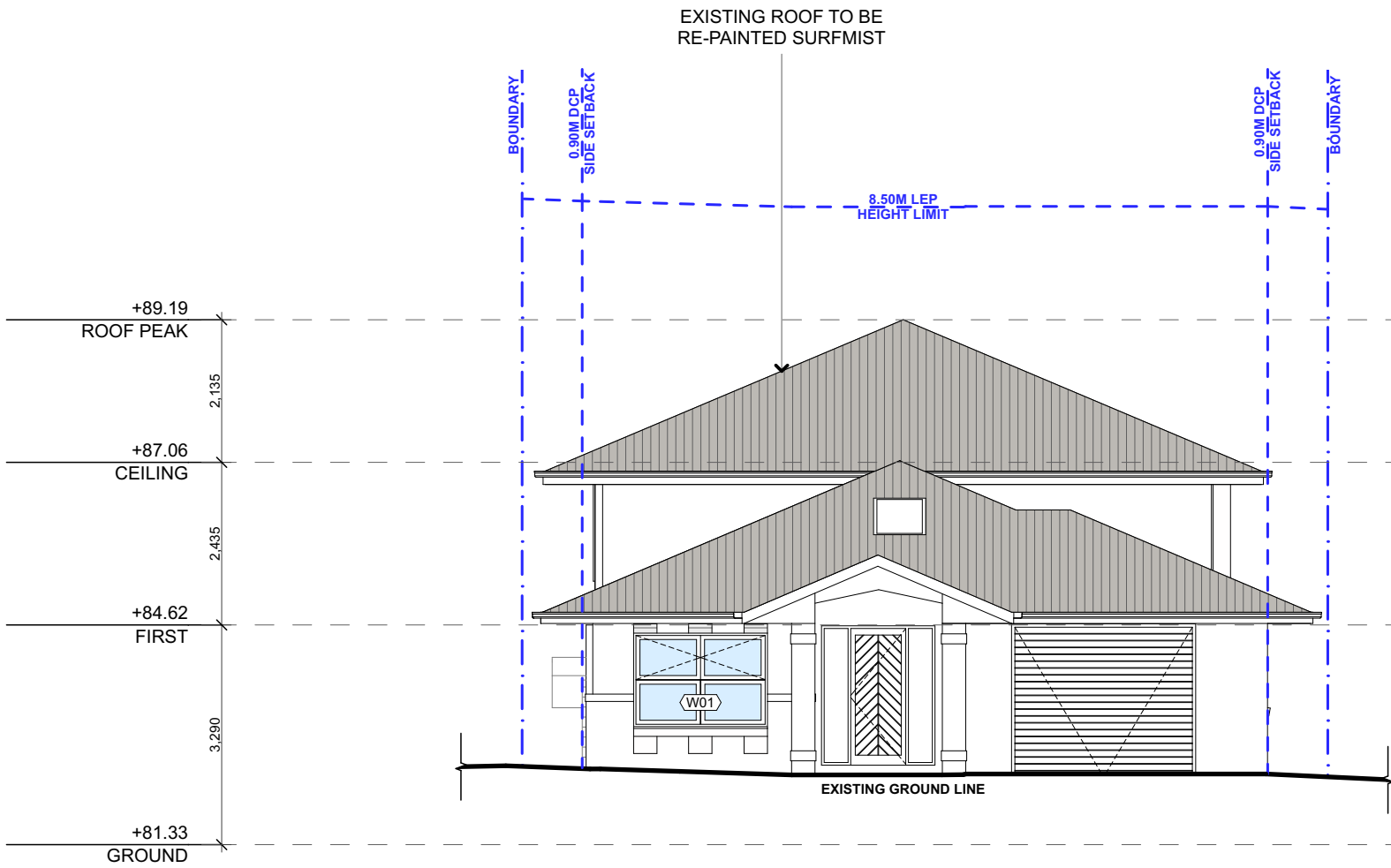
1

EXISTING ROOF PLAN

1:100

NOTE: NO DEMOLITION WORK PROPOSED

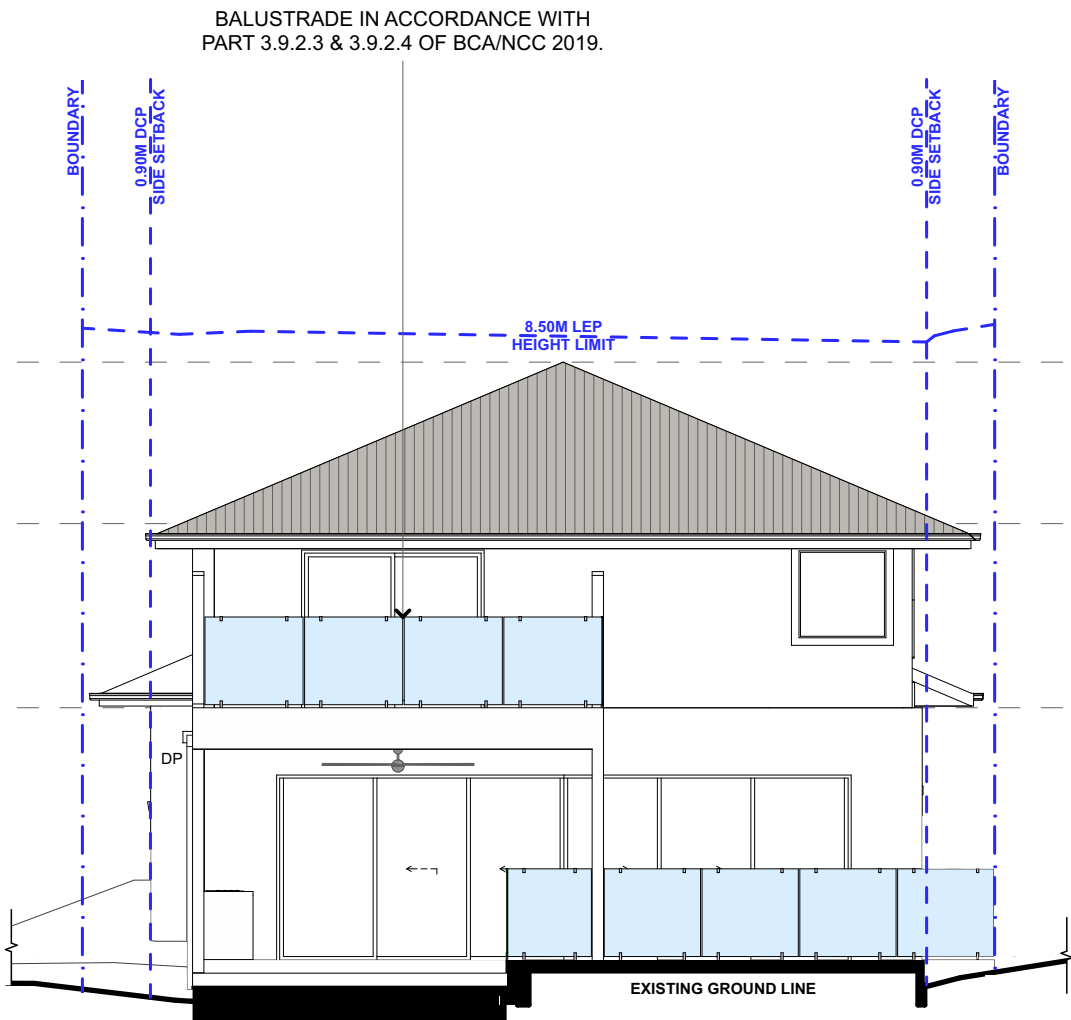
 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>DESIGN CONCEPTS</td><td>AF</td><td>20.08.21</td></tr><tr><td>B</td><td>DESIGN REVIEW</td><td>AF</td><td>23.08.21</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>09.09.21</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	DESIGN CONCEPTS	AF	20.08.21	B	DESIGN REVIEW	AF	23.08.21	C	DA SUBMISSION	AF	09.09.21													LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM CF: CEILING FAN	NORTH POINT 	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: EXISTING ROOF PLAN	
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SCALE: 1:100 @A3		DATE: 9/9/21																																			
PROJECT NO: 1010		DRAWING NO: DA09																																			



1

NORTH ELEVATION

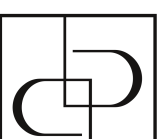
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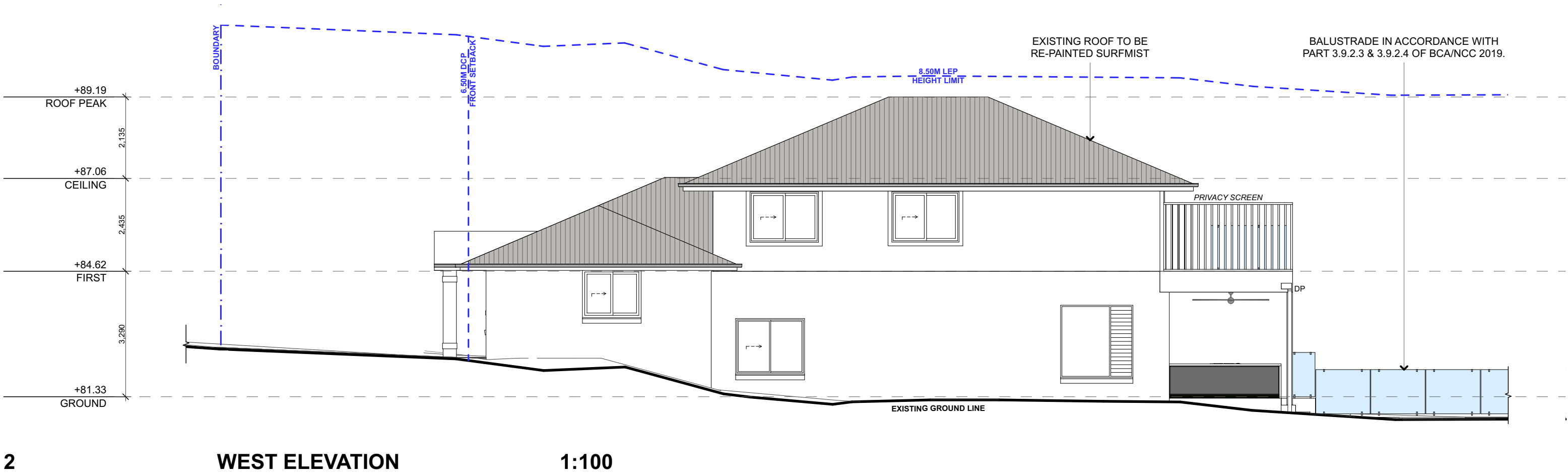
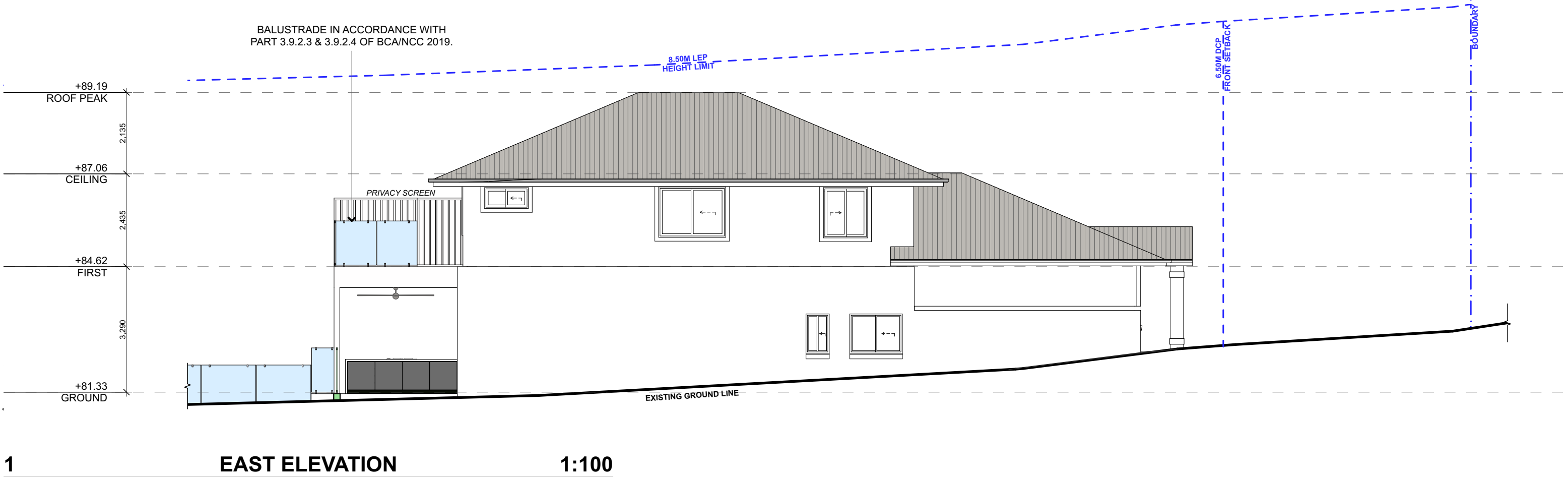


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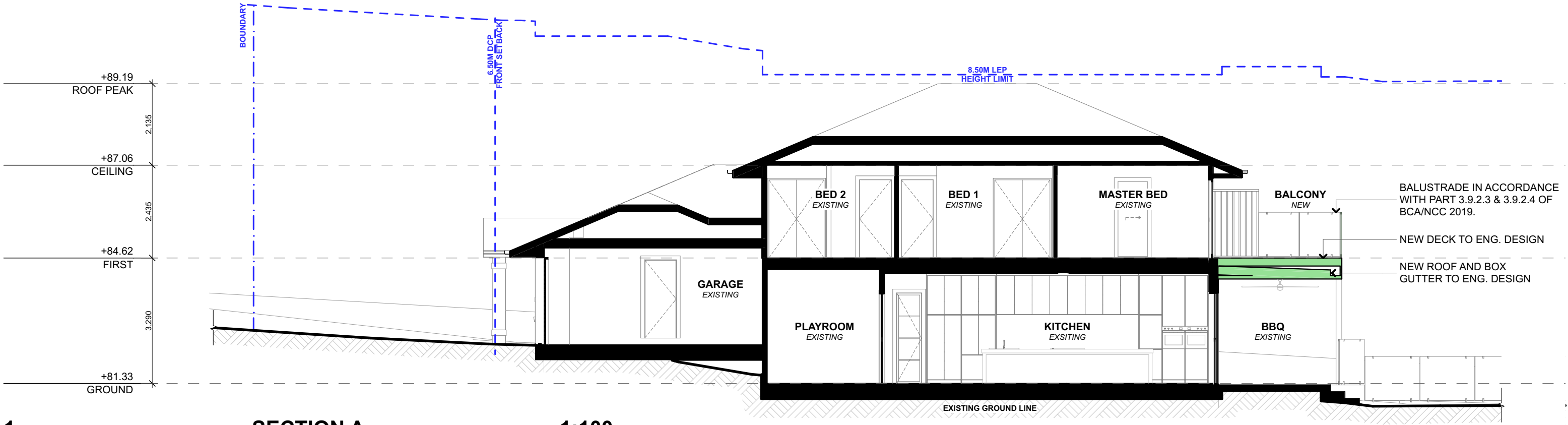
SOUTH ELEVATION

1:100

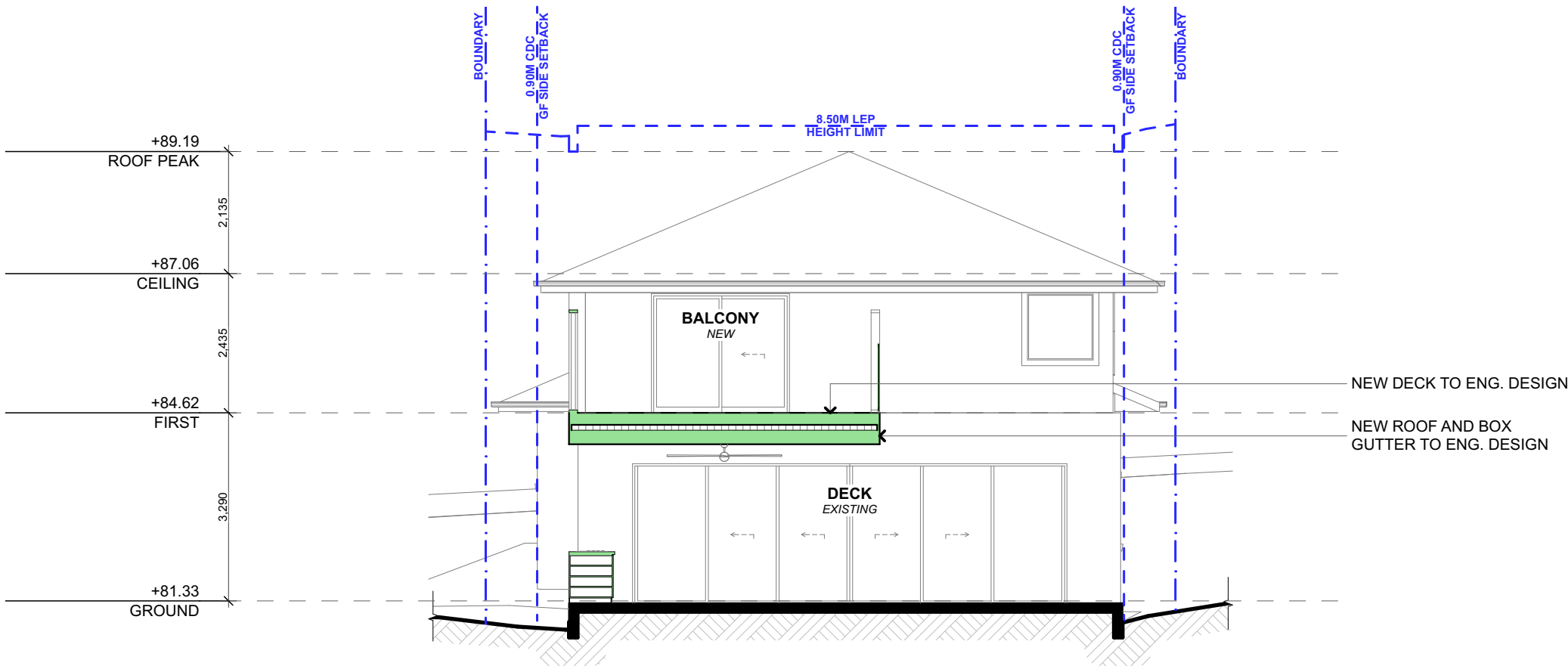
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	A		DESIGN CONCEPTS	AF	20.08.21	SCALE: 1:100 @A3				DATE: 9/9/21	
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	C		DA SUBMISSION	AF	09.09.21						

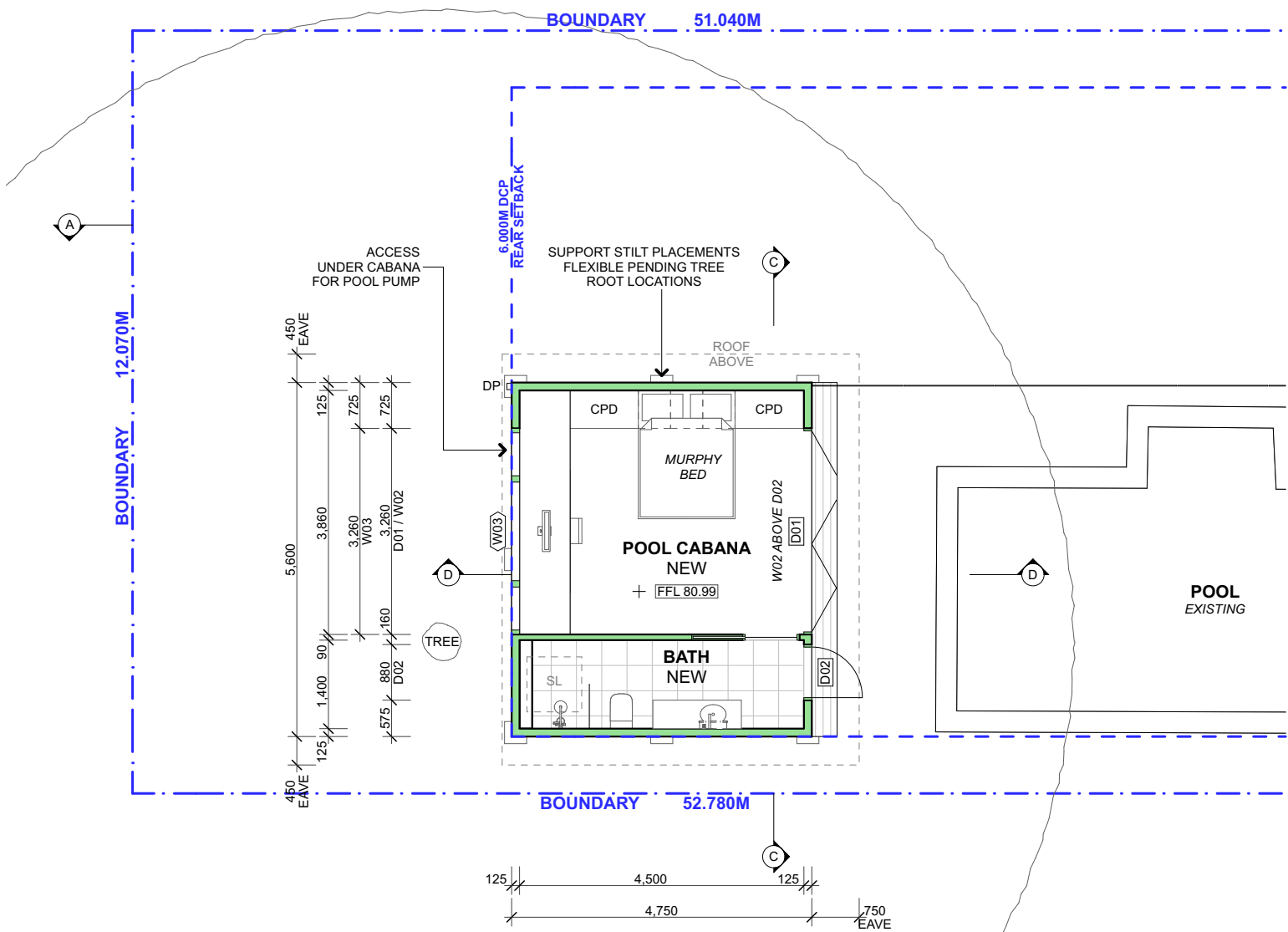


1 SECTION A 1:100

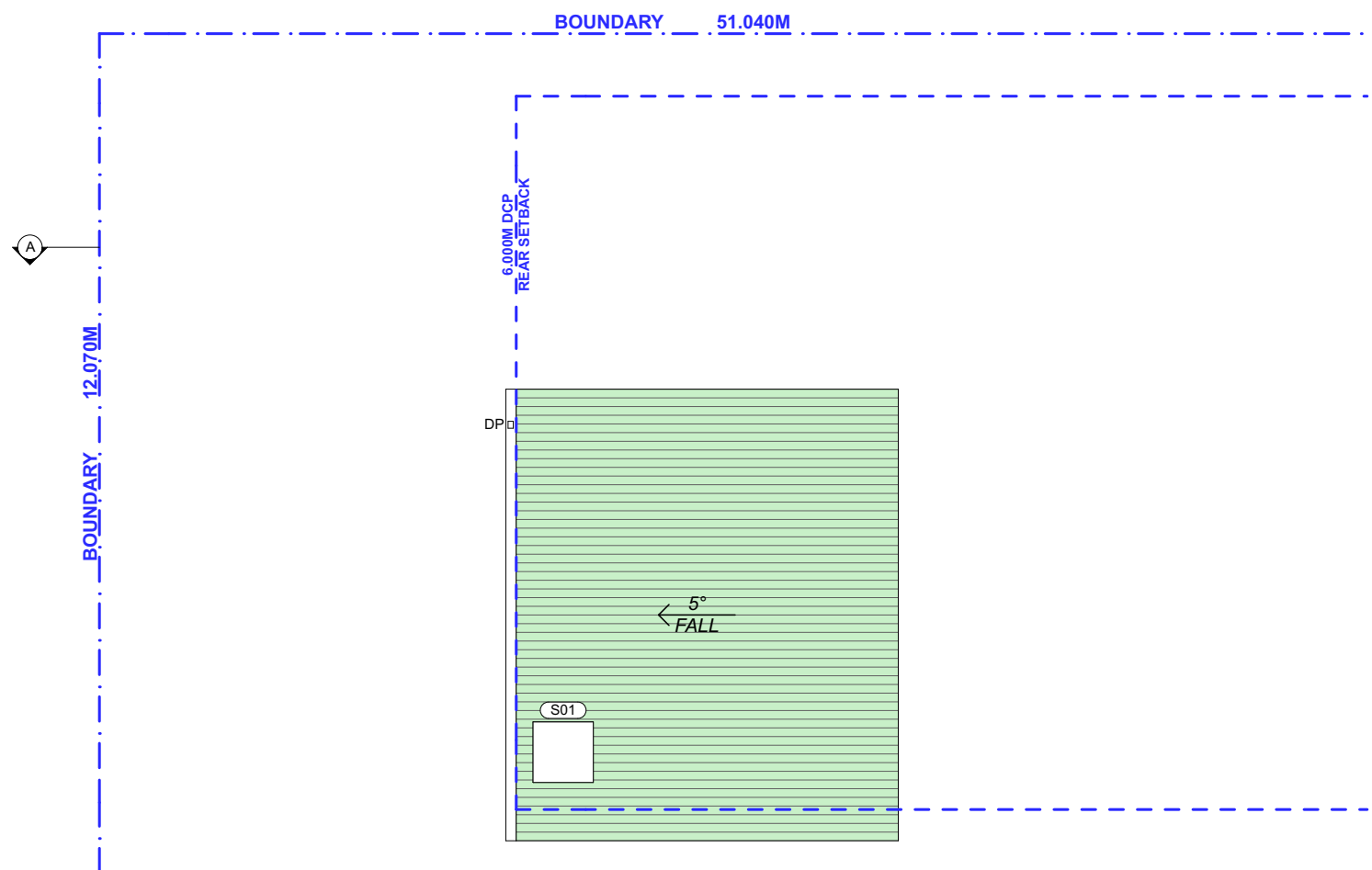


2 SECTION B 1:100

 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>DESIGN CONCEPTS</td><td>AF</td><td>20.08.21</td></tr><tr><td>B</td><td>DESIGN REVIEW</td><td>AF</td><td>23.08.21</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>09.09.21</td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td><td> </td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	DESIGN CONCEPTS	AF	20.08.21	B	DESIGN REVIEW	AF	23.08.21	C	DA SUBMISSION	AF	09.09.21													LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	<table><tr><td colspan="2">DRAWING TITLE: SECTIONS - A & B</td></tr><tr><td>SCALE: 1:100 @A3</td><td>DATE: 9/9/21</td></tr><tr><td>PROJECT NO: 1010</td><td>DRAWING NO: DA13</td></tr></table>	DRAWING TITLE: SECTIONS - A & B		SCALE: 1:100 @A3	DATE: 9/9/21	PROJECT NO: 1010	DRAWING NO: DA13
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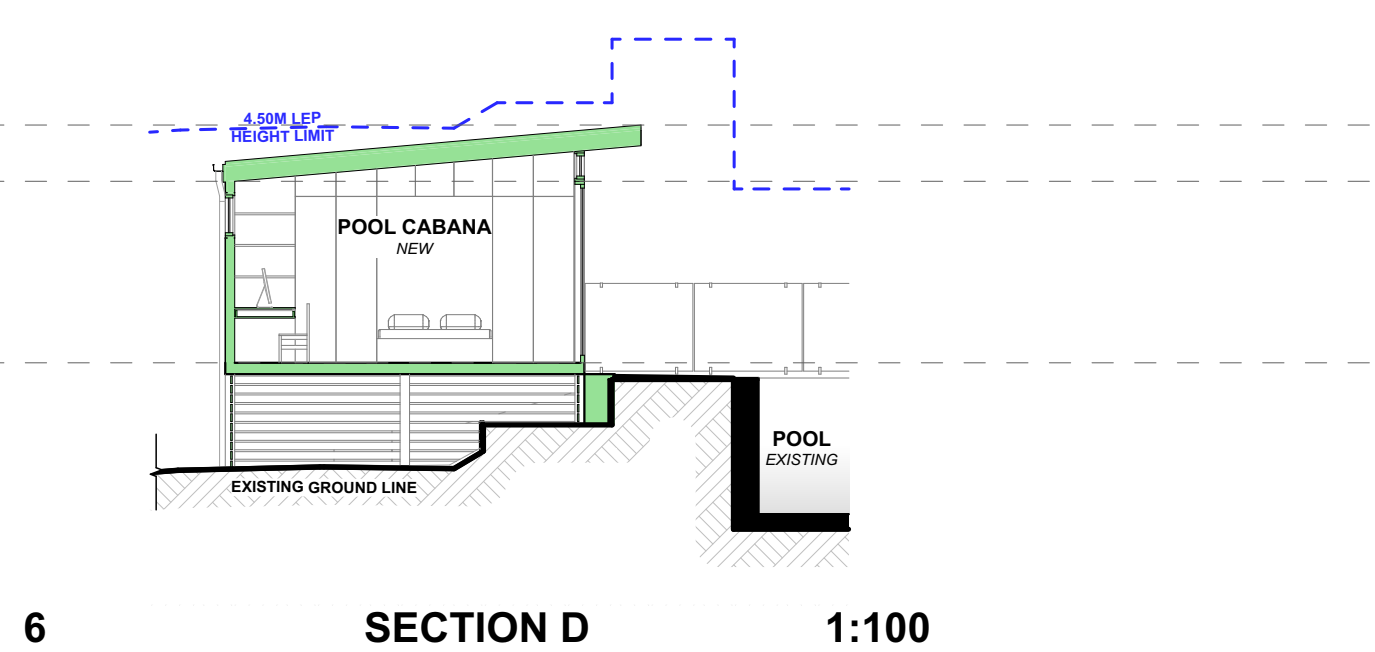
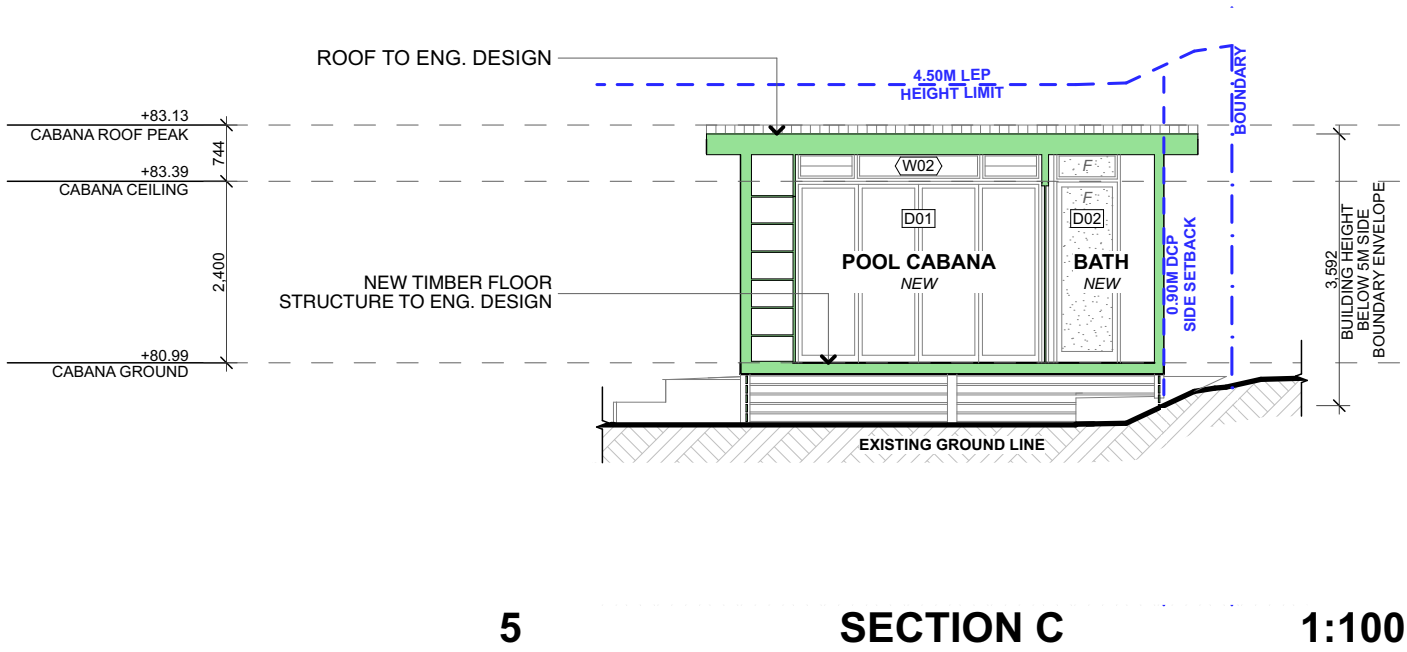
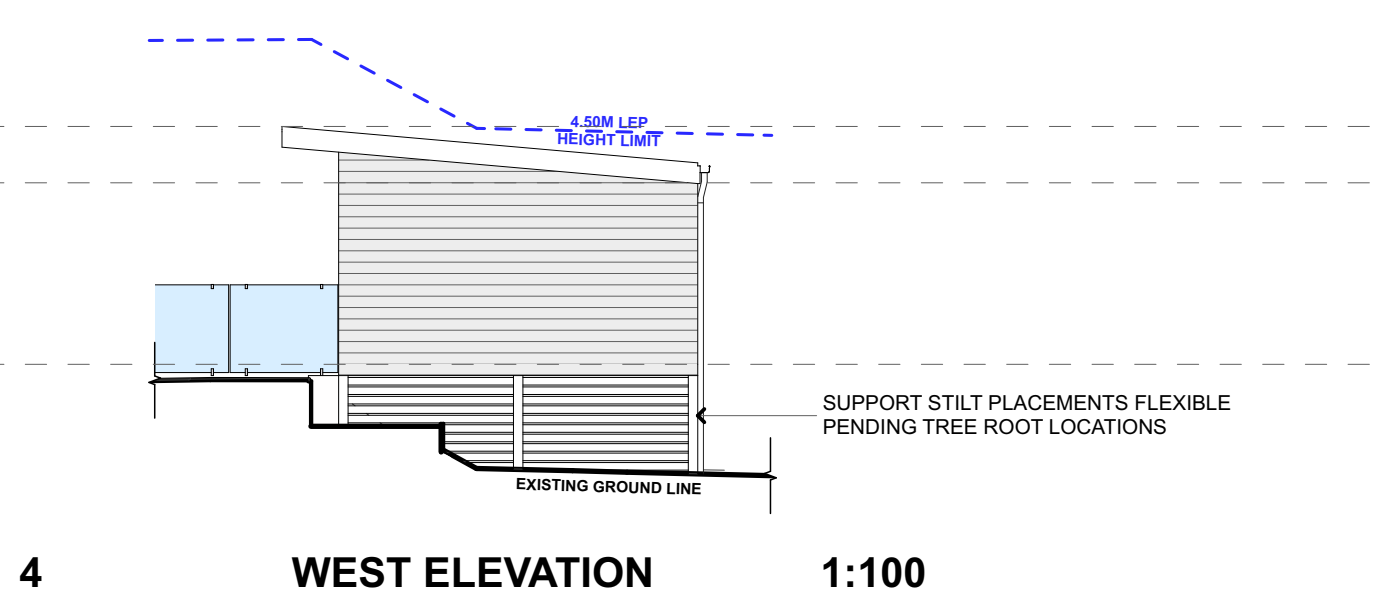
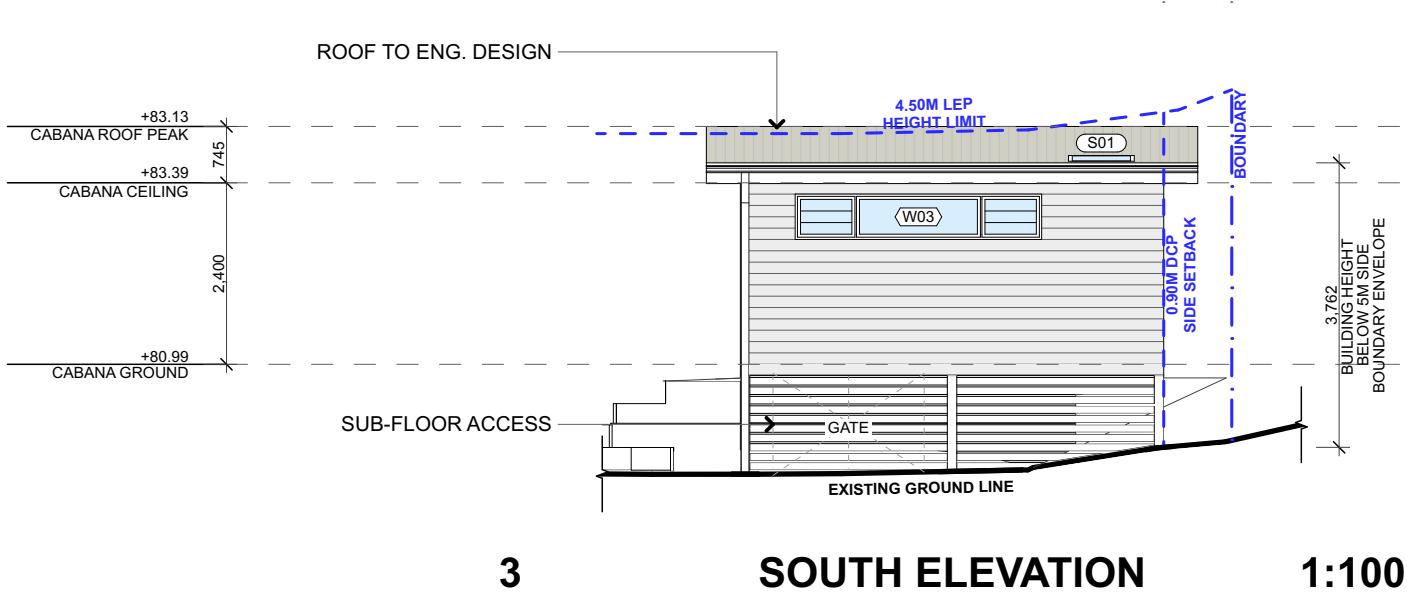
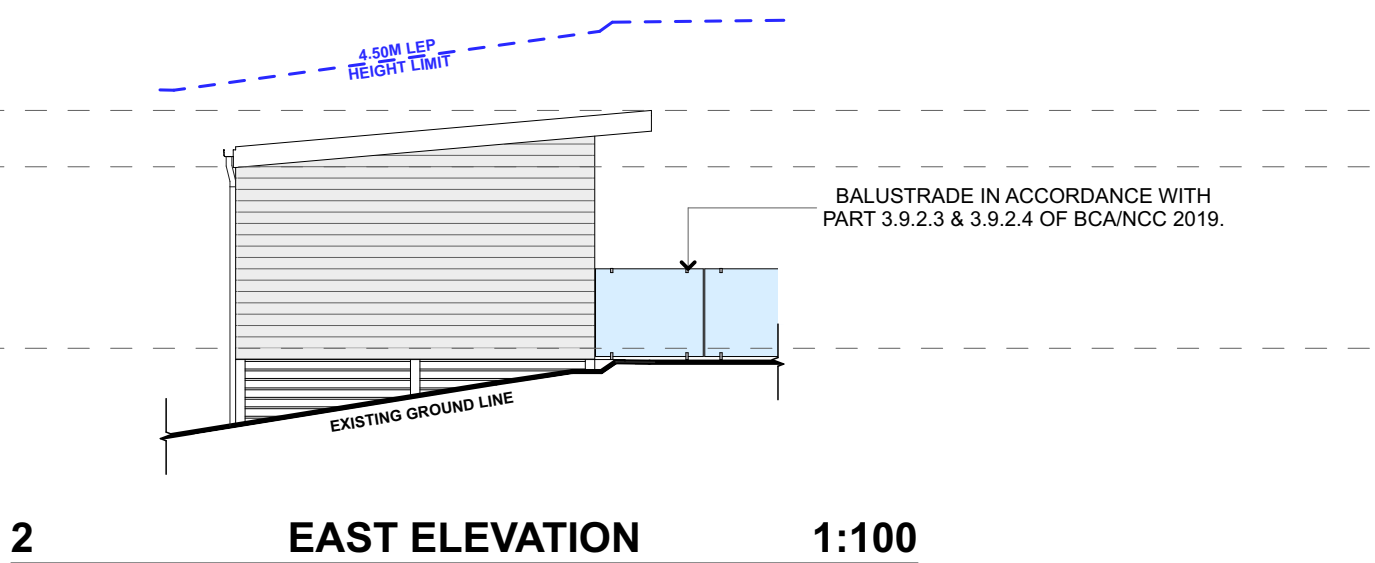
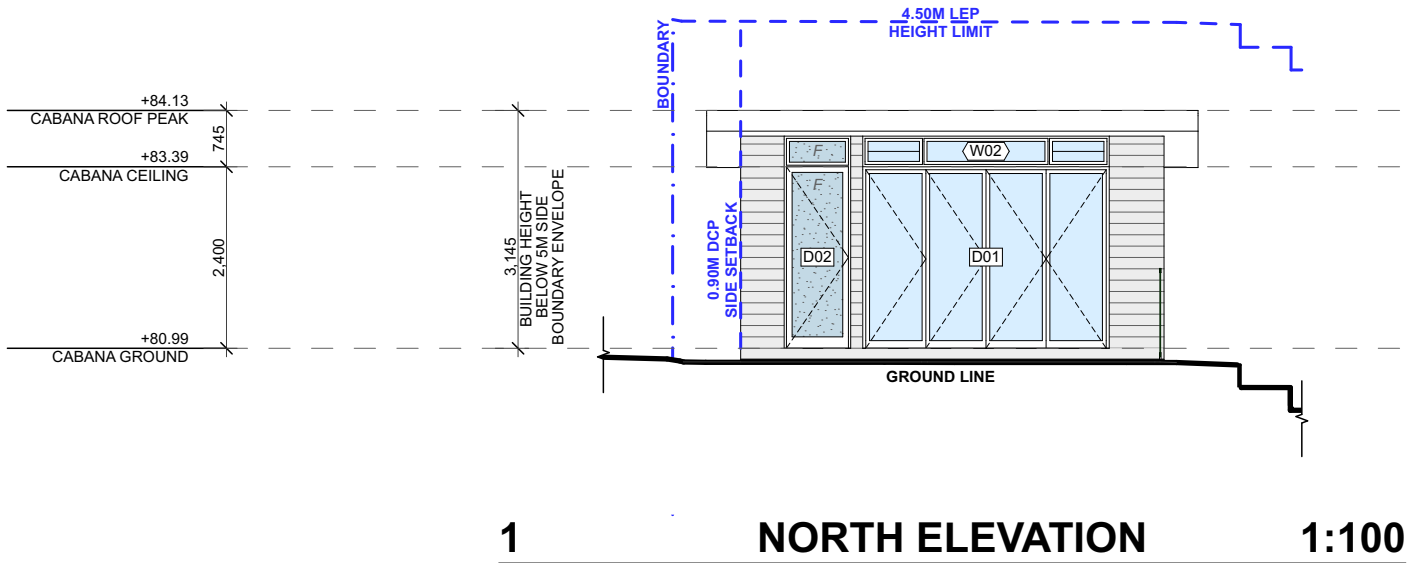


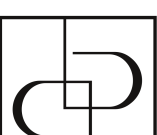
1 PROPOSED CABANA FLOOR PLAN 1:100



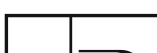
2 PROPOSED CABANA ROOF PLAN 1:100

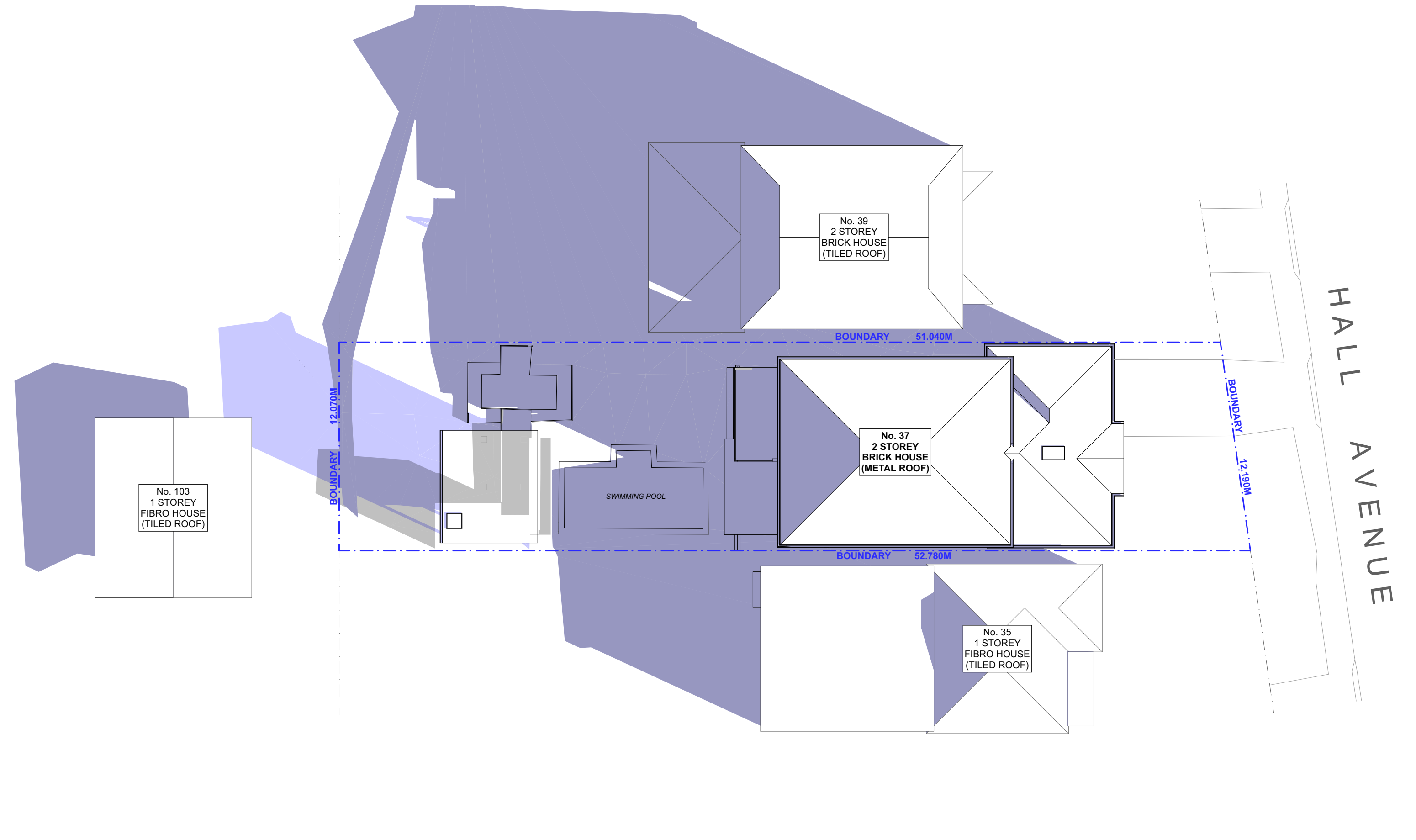
	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM CF: CEILING FAN	NORTH POINT 	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: CABANA - PROPOSED FLOOR / ROOF PLANS	
			A	DESIGN CONCEPTS	AF	20.08.21					SCALE: 1:100 @A3	DATE: 9/9/21
			B	DESIGN REVIEW	AF	23.08.21					PROJECT NO: 1010	DRAWING NO: DA14
			C	DA SUBMISSION	AF	09.09.21						



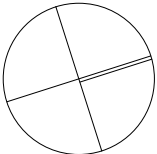
 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING DEMOLISHED PROPOSED	ABBREVIATIONS CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPRH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL F: FROSTED GLAZING	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: CABANA - ELEVATIONS / SECTIONS	
	A		DESIGN CONCEPTS	AF	20.08.21	ROOF - SURFMIST CLADDING - SNOWEY WHITE QTR. TRIMS / FRAMES - SNOWEY WHITE QTR. BALUSTRADE - CLEAR GLAZING				SCALE: 1:100 @A3	DATE: 9/9/21
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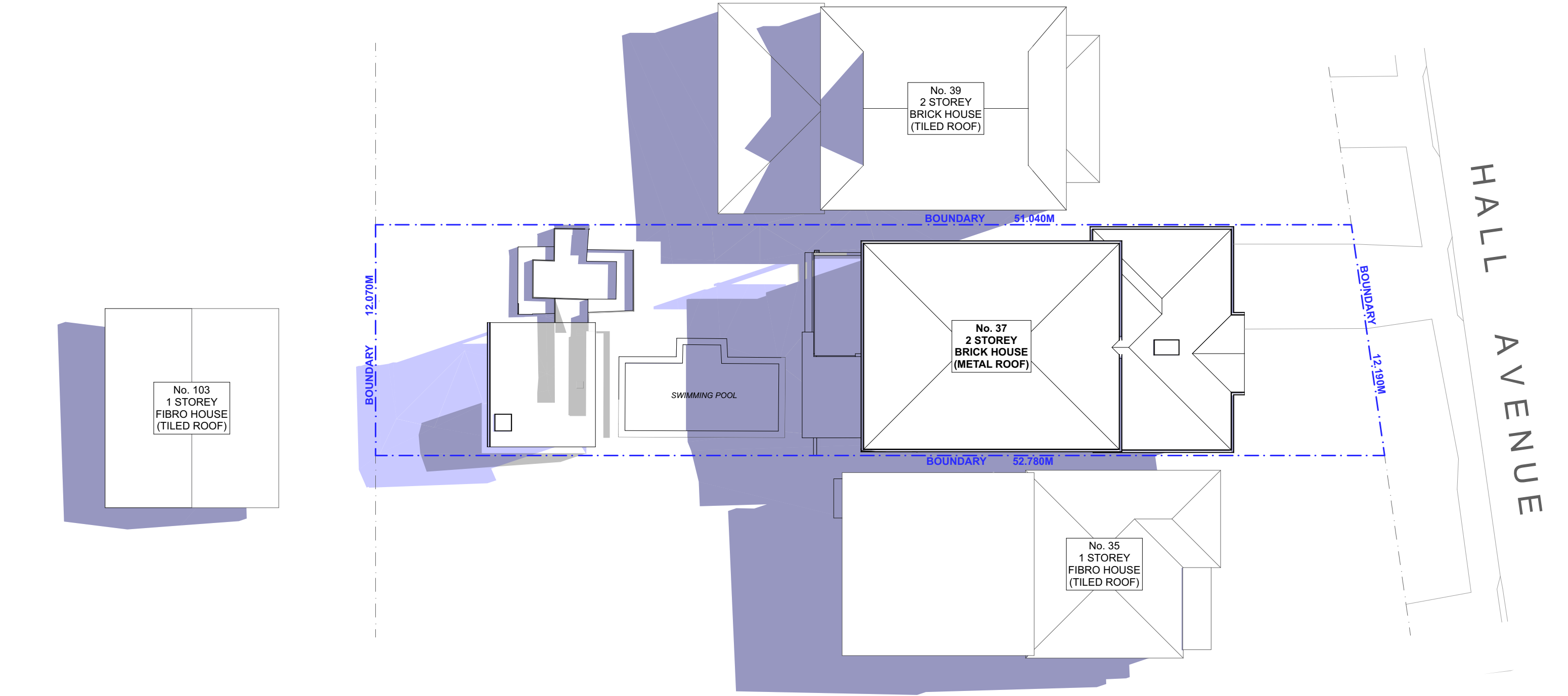


 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE
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CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097						
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					SCALE: NTS	DATE: 9/9/21
					PROJECT NO: 1010	DRAWING NO: DA16

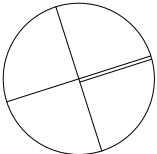


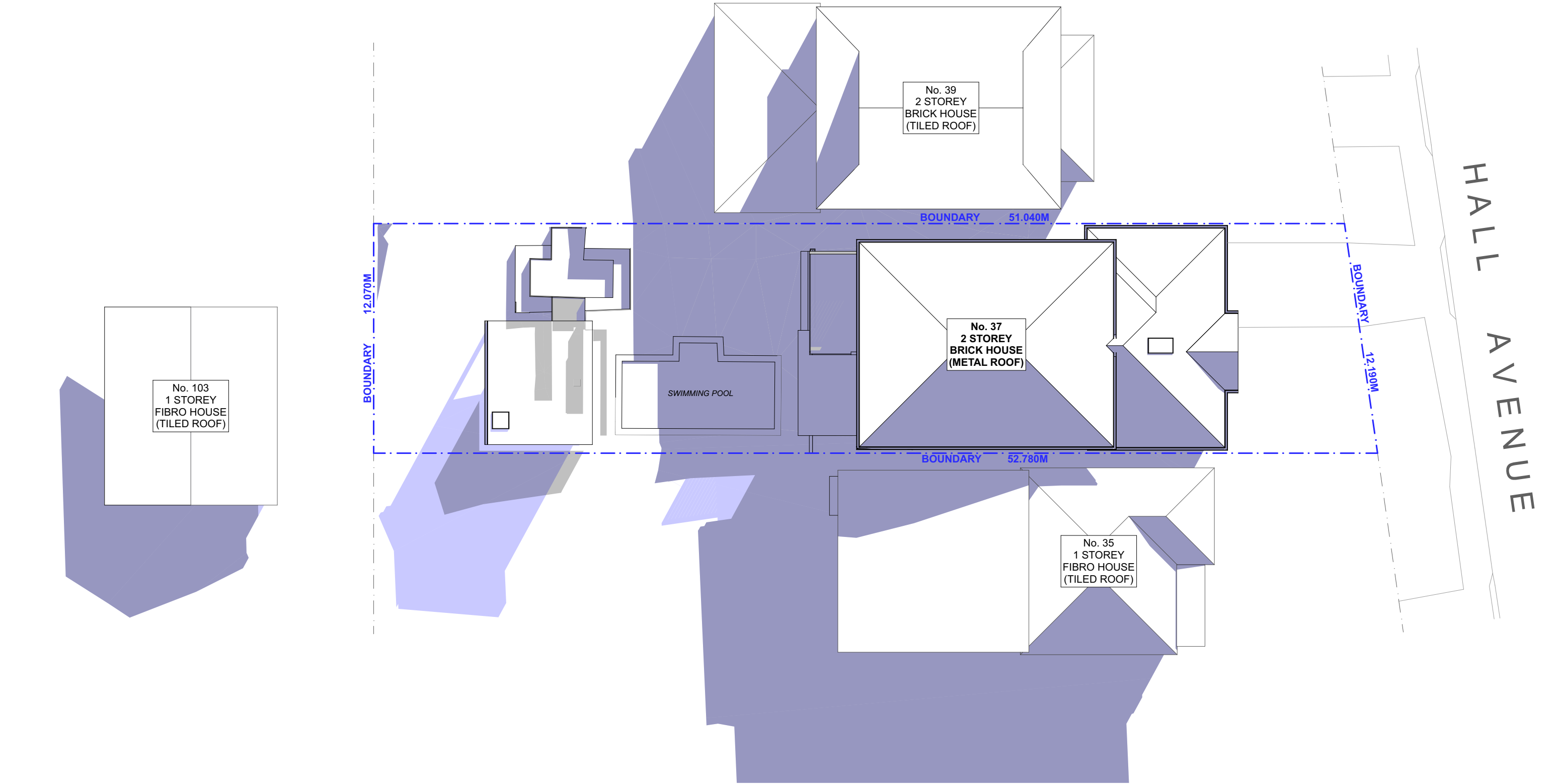
1 SHADOW DIAGRAM - JUNE 21 - 9AM 1:200

 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING SHADOWS PROPOSED SHADOW REDUCTIONS PROPOSED SHADOW ADDITIONS	ABBREVIATIONS DP: DEPOSIT PLAN SP: STRATA PLAN	NORTH POINT 	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 9AM	
			A	DESIGN CONCEPTS	AF	20.08.21					SCALE: 1:200 @A3	DATE: 9/9/21
			B	DESIGN REVIEW	AF	23.08.21					PROJECT NO: 1010	DRAWING NO: DA17
			C	DA SUBMISSION	AF	09.09.21						



1 SHADOW DIAGRAM - JUNE 21 - 12PM 1:200

 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT	NOTES	REV.	NOTES.	INITIAL	DATE	LEGEND EXISTING SHADOWS PROPOSED SHADOW REDUCTIONS PROPOSED SHADOW ADDITIONS	ABBREVIATIONS DP: DEPOSIT PLAN SP: STRATA PLAN	NORTH POINT 	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLAROY PLATEAU, NSW, 2097	DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 12PM	
	(02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	A	DESIGN CONCEPTS	AF	20.08.21					SCALE: 1:200 @A3	DATE: 9/9/21
			B	DESIGN REVIEW	AF	23.08.21					PROJECT NO: 1010	DRAWING NO: DA18
			C	DA SUBMISSION	AF	09.09.21						



1 SHADOW DIAGRAM - JUNE 21 - 3PM 1:200

CONTACT

LEON & HARMONY VARLEY
DIRECTORS

(02) 9997 3997
0400 699 850
2A/2C BUNGAN STREET
MONA VALE, NSW, 2103
HELLO@PROGRESSIVEPLANS.COM.AU
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

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C	DA SUBMISSION	AF	09.09.21

LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN
SP: STRATA PLAN

NORTH POINT

CLIENTS:
TATIA & CHRIS PITTHAM

SITE ADDRESS:
37 HALL AVENUE
COLLARROY PLATEAU, NSW, 2097

DRAWING TITLE:
SHADOW DIAGRAM - JUNE 21ST - 3PM

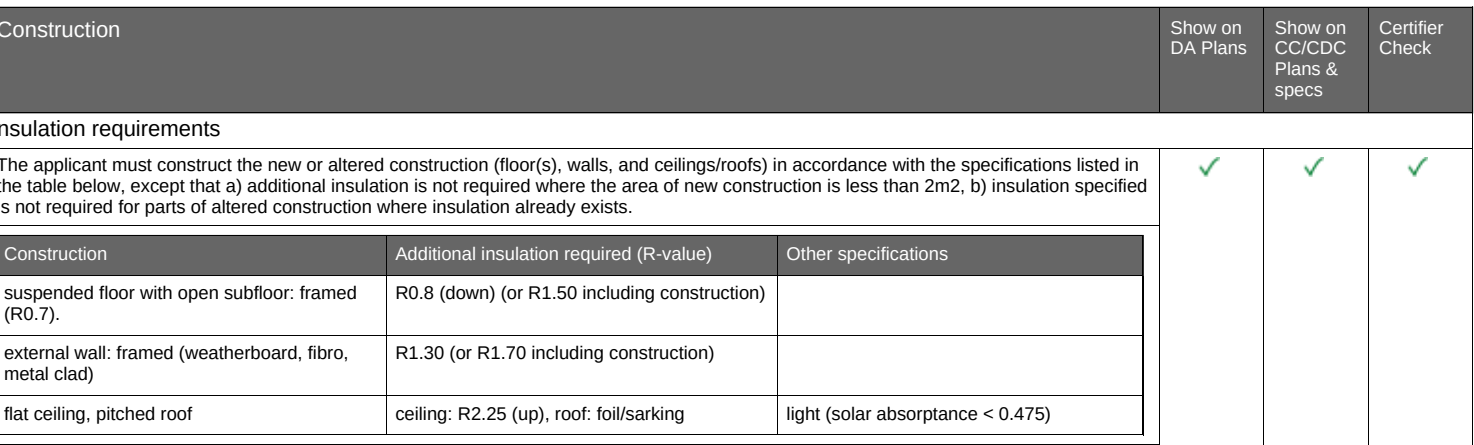
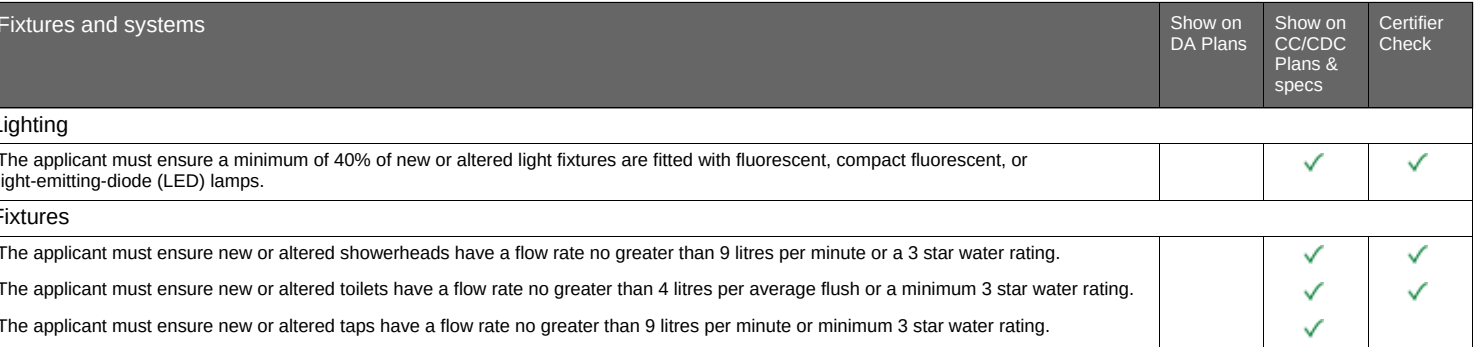
SCALE: 1:200 @A3	DATE: 9/9/21
PROJECT NO: 1010	DRAWING NO: DA19



Certificate number: A429572

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 30, August 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	Collaroy Plateau - 37 Hall Ave
Street address	37 Hall Avenue Collaroy Plateau 2097
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 11733
Lot number	3
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: Progressive Building Design
ABN (if applicable): 59879808402

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							✓	✓ ✓ ✓ ✓	✓ ✓ ✓ ✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	N	2.81	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W2	N	1.32	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	S	1.96	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D1	N	8.2	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	N	2.4	0	0	eave/verandah/pergola/balcony >=750 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight: Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.							✓	✓ ✓ ✓	✓ ✓ ✓
Skylights glazing requirements									
Skylight number	Area of glazing inc. frame (m2)	Shading device			Frame and glass type				
S1	0.76	no shading			timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)				

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✔" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

 PROGRESSIVE PLANS BUILDING DESIGN	CONTACT LEON & HARMONY VARLEY DIRECTORS (02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	<table><tr><th>REV.</th><th>NOTES.</th><th>INITIAL</th><th>DATE</th></tr><tr><td>A</td><td>DESIGN CONCEPTS</td><td>AF</td><td>20.08.21</td></tr><tr><td>B</td><td>DESIGN REVIEW</td><td>AF</td><td>23.08.21</td></tr><tr><td>C</td><td>DA SUBMISSION</td><td>AF</td><td>09.09.21</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td></tr></table>	REV.	NOTES.	INITIAL	DATE	A	DESIGN CONCEPTS	AF	20.08.21	B	DESIGN REVIEW	AF	23.08.21	C	DA SUBMISSION	AF	09.09.21													NOTES - DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS - DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER - NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH PART 3.9.2.6 OF NCC - NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH PART 3.9.2.7 OF NCC - D03 NOT INCLUDED IN BASIX AS THIS IS A GARAGE DOOR TO AN UNINHABITABLE ROOM - D04 & W03 ARE NOT INCLUDED IN THE BASIX CALCULATIONS AS THEY ARE INTERNAL ELEMENTS	CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLARROY PLATEAU, NSW, 2097	DRAWING TITLE: BASIX REQUIREMENTS SCALE: DATE: 9/9/21 PROJECT NO: 1010 DRAWING NO: DA20
	REV.	NOTES.	INITIAL	DATE																														
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	C	DA SUBMISSION	AF	09.09.21																														

DECKING
STAINED TIMBER

BALUSTRADE /
POOL FENCE
CLEAR GLAZING

PRIVACY SCREENS /
POSTS / DECK TRIMS
SNOWY MOUNTAIN QTR

ROOF / GUTTERS
COLORBOND SURFMIST

DOORS / WINDOWS
WHITE

JAMES HARDIE
LINEAR 180MM CLADDING
SNOWY MOUNTAIN QTR

SCREENING /
POSTS / GUTTERS
SNOWY MOUNTAIN QTR

