# DEVELOPMENT APPLICATION

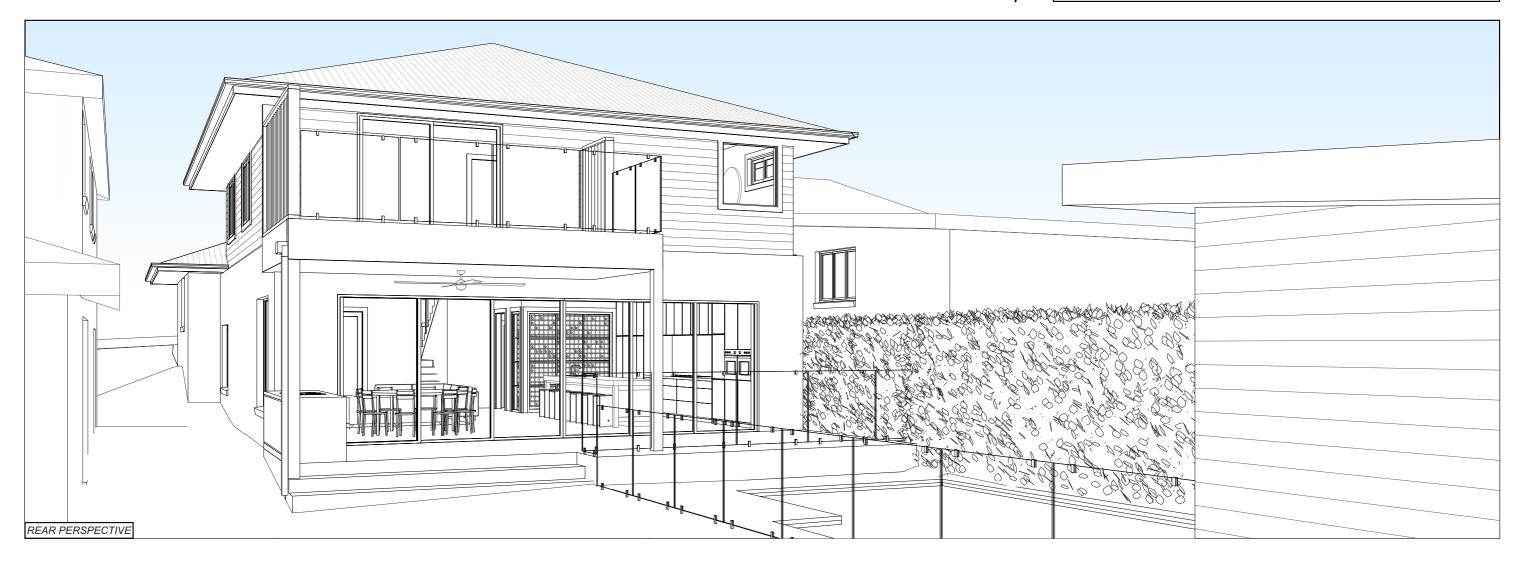
ALTERATIONS AND ADDITIONS TO

37 HALL AVENUE COLLAROY PLATEAU, NSW, 2097 LOT 3 / DP 11733

PROGRESSIVE PLANS
BUILDING DESIGN



NO:	SHEET NAME	DATE
DA01	TITLE PAGE	9/9/21
DA02	AREA CALCULATIONS	9/9/21
DA03	SITE ANALYSIS	9/9/21
DA04	SITE - WASTE - SEDIMENT PLAN	9/9/21
DA05	EXISTING GROUND FLOOR PLAN	9/9/21
DA06	PROPOSED GROUND FLOOR PLAN	9/9/21
DA07	EXISTING FIRST FLOOR PLAN	9/9/21
DA08	PROPOSED FIRST FLOOR PLAN	9/9/21
DA09	EXISTING ROOF PLAN	9/9/21
DA10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	9/9/21
DA11	ELEVATIONS - NORTH & SOUTH	9/9/21
DA12	ELEVATIONS - EAST & WEST	9/9/21
DA13	SECTIONS - A & B	9/9/21
DA14	CABANA - PROPOSED FLOOR / ROOF PLANS	9/9/21
DA15	CABANA - ELEVATIONS / SECTIONS	9/9/21
DA16	CABANA - PERSPECTIVES	9/9/21
DA17	SHADOW DIAGRAM - JUNE 21ST - 9AM	9/9/21
DA18	SHADOW DIAGRAM - JUNE 21ST - 12PM	9/9/21
DA19	SHADOW DIAGRAM - JUNE 21ST - 3PM	9/9/21
DA20	BASIX REQUIREMENTS	9/9/21
DA21	FINISHES BOARD	9/9/21



SITE AREA: 626.00 m<sup>2</sup>

DWELLING FOOTPRINT

LANDSCAPE AREA:

REQUIRED 40.00% (250.40 m<sup>2</sup>) 45.12% (282.47 m²) 41.26% (258.31m²) EXISTING PROPOSED



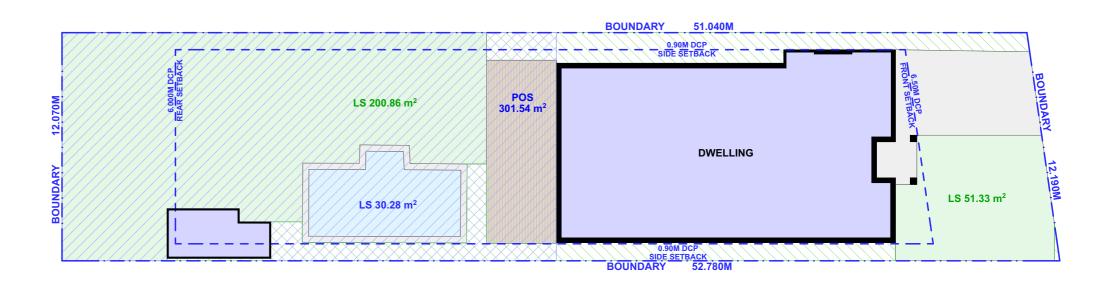
**EXCLUDED LANDSCAPED AREA:** 

AREAS LESS THAN 2.0m x 2.0m

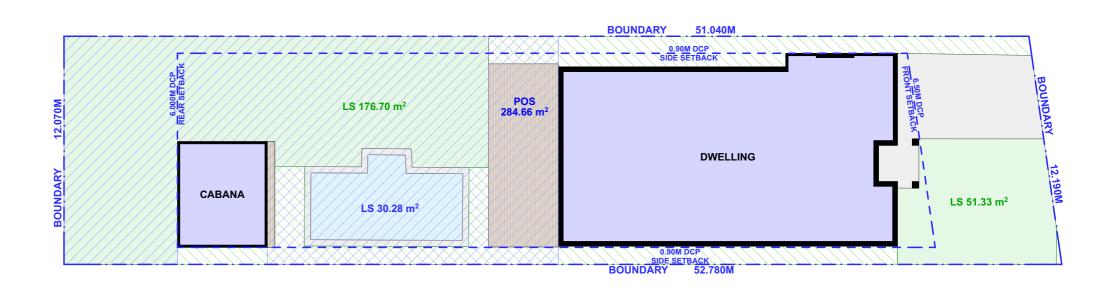


PRIVATE OPEN SPACE

REQUIRED 60.00 m<sup>2</sup> **EXISTING** 301.54 m<sup>2</sup> PROPOSED 284.66 m<sup>2</sup>



**EXISTING AREA CALCULATIONS** 1:200



**PROPOSED AREA CALCULATIONS** 1:200



LEON & HARMONY VARLEY DIRECTORS

(02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU

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REV.	NOTES.	INITIAL	DATE	LEGEND
А	DESIGN CONCEPTS	AF	20.08.21	DWELLING WALLS
В	DESIGN REVIEW	AF	23.08.21	CONCRETE / PAVERS
С	DA SUBMISSION	AF	09.09.21	TIMBER DECK
				POOL / WATER
				POOL/ WAILK



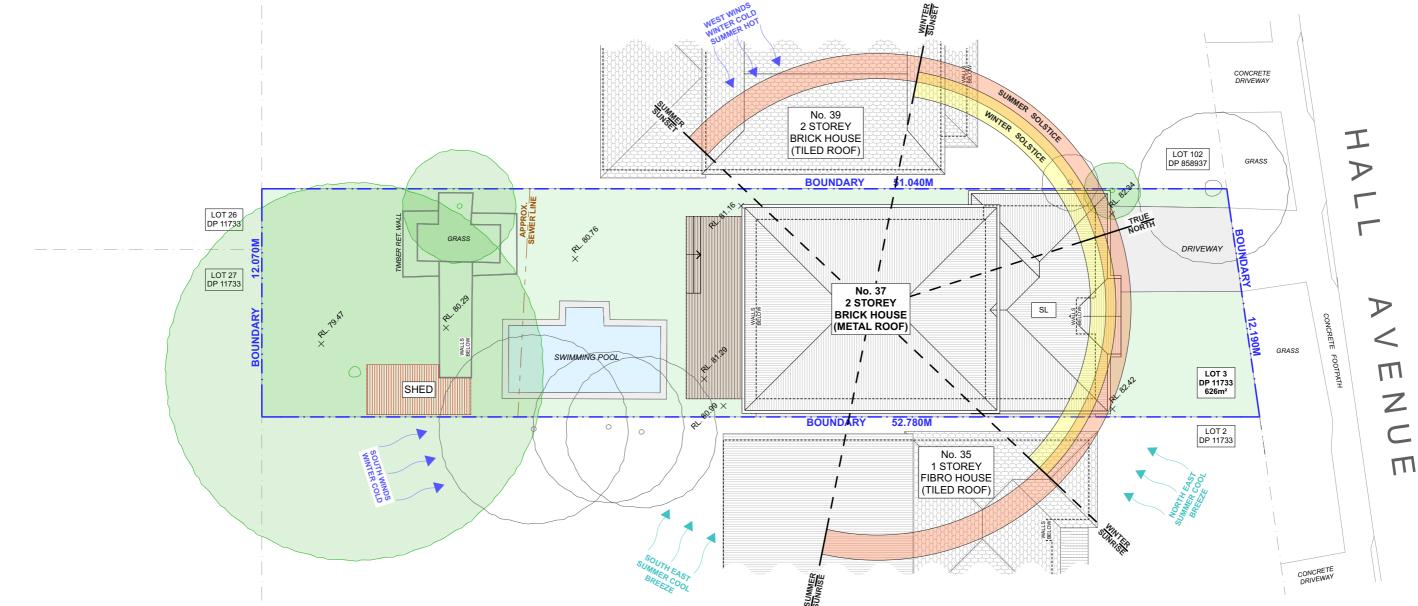
9/9/21

DA02









**SITE ANALYSIS** 1:200 NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001



**AERIAL MAP** 

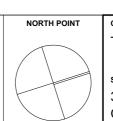
CONTACT

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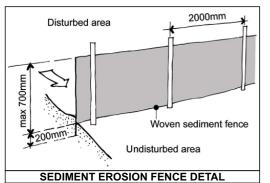
REV.	NOTES.	INITIAL	DATE	LEGEND	ABBREVIATIONS
Α	DESIGN CONCEPTS	AF	20.08.21	EXISTING LANDSCAPE / GRASS	DP: DEPOSIT PLAN
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED CONCRETE / PAVERS	RL: REDUCED LEVEL SP: STRATA PLAN
С	DA SUBMISSION	AF	09.09.21	EXISTING ROOF TIMBER DECK	
				PROPOSED ROOF POOL / WATER	
				SEDIMENT EROSION FEN	CE

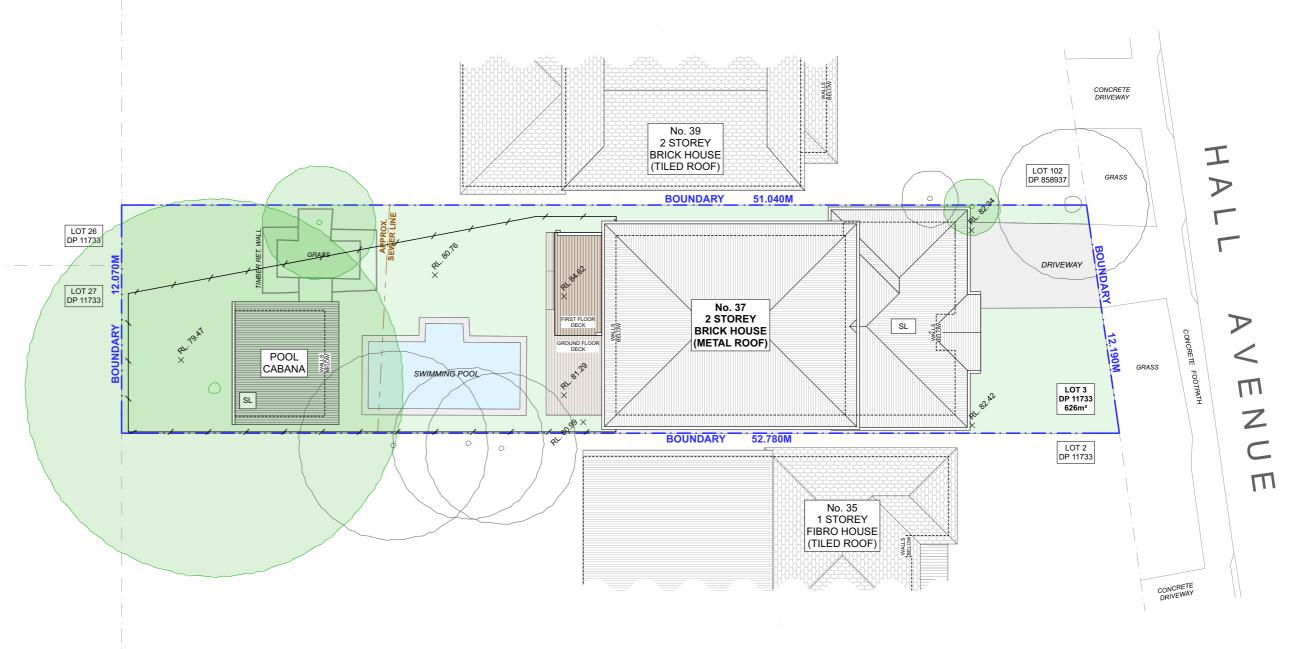


CLIENTS: TATIA & CHRIS PITTHAM

	DRAWING TITLE:				
	SITE ANALYSIS 1:200, 1:2.22, 1:2.23, 1:1.55,				
	<b>8.2.44</b> F; 1:2.42,	DATE:			
	1:1.81 @A3	9/9/21			
	PROJECT NO:	DRAWING NO:			
7	1010	DA03			







### 1 SITE - WASTE - SEDIMENT PLAN 1:200

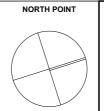


CONTACT
LEON & HARMONY VARLEY
DIRECTORS

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COMMENCES.

REV.	NOTES.	INITIAL	DATE	LEGEND	ABBREVIATIONS
Α	DESIGN CONCEPTS	AF	20.08.21	EXISTING LANDSCAPE / GRASS	DP: DEPOSIT PLAN
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED CONCRETE / PAVERS	RL: REDUCED LEVEL SP: STRATA PLAN
С	DA SUBMISSION	AF	09.09.21	EXISTING ROOF TIMBER DECK	
				PROPOSED ROOF POOL/WATER	
				SEDIMENT EROSION FEN	ICE



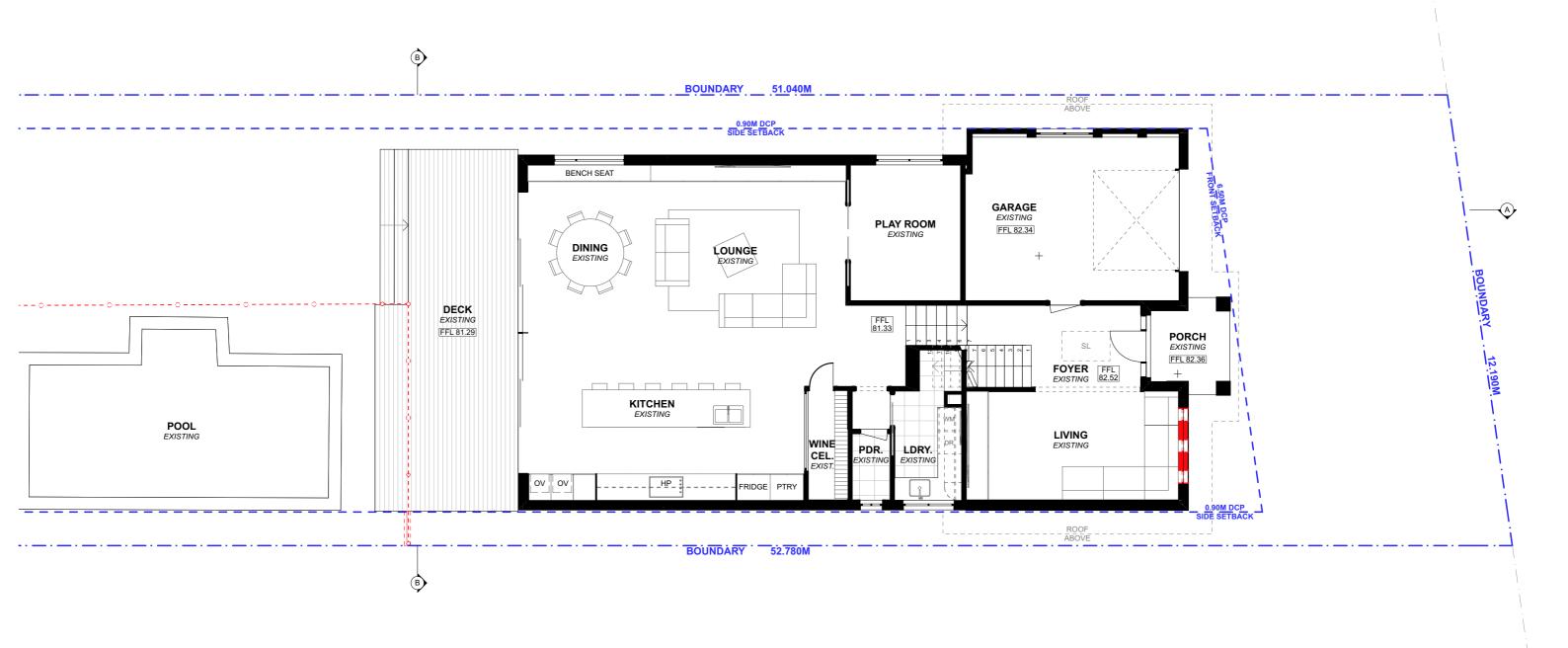
TATIA & CHRIS PITTHAM

SITE ADDRESS:
37 HALL AVENUE
COLLAROY PLATEAU, NSW, 2097

DRAWING TITLE:
SITE - WASTE - SEDIMENT PLAN

SCALE:
1200 @A3 9/9/21

PROJECT NO: DRAWING NO:
1010 DA04



### EXISTING GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001



CONTACT

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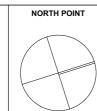
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KEV.	NOTES.	INITIAL	DAIL	LEGEN	ID.
Α	DESIGN CONCEPTS	AF	20.08.21		EXISTING
В	DESIGN REVIEW	AF	23.08.21		DEMOLISHED PROPOSED
С	DA SUBMISSION	AF	09.09.21		
					T NOT GOLD

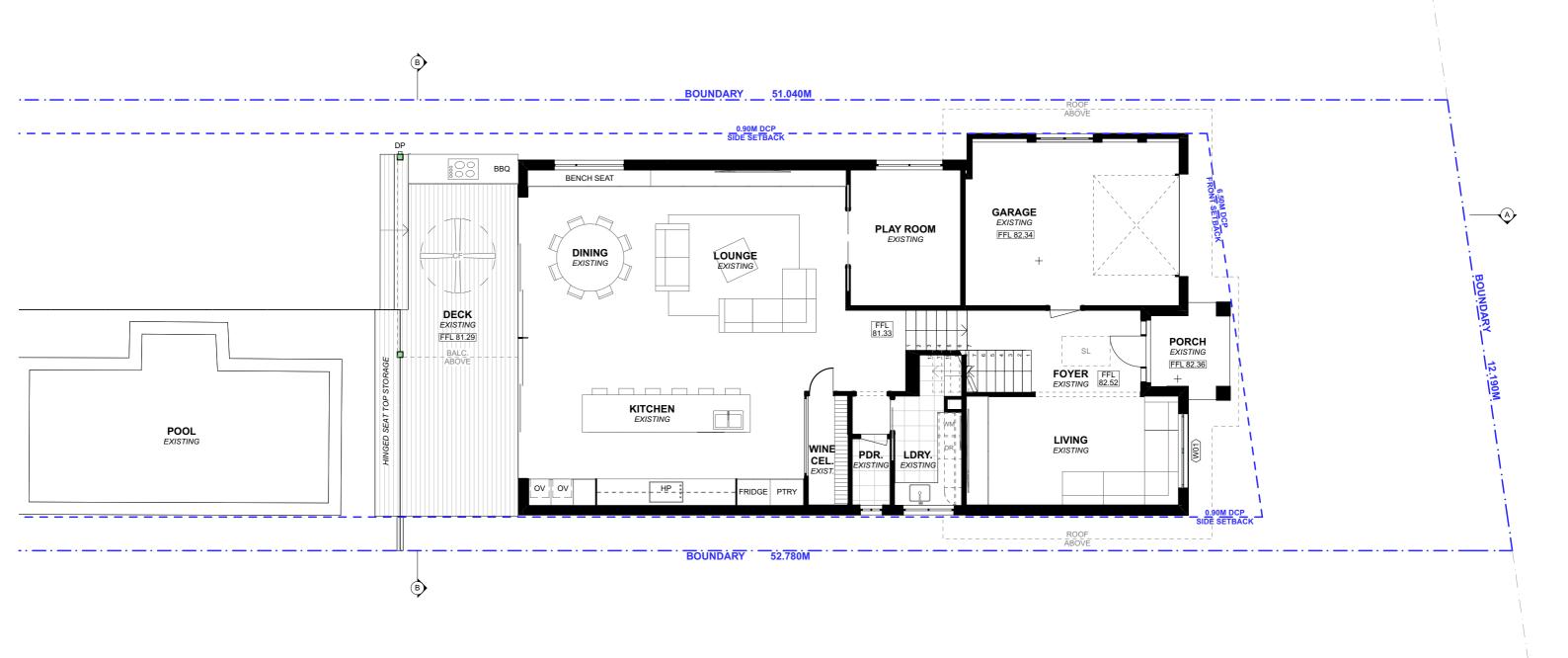
CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL
SA: SMOKE ALARM
CF: CEILING FAN

ABBREVIATIONS



TATIA & CHRIS PITTHAM

	DRAWING TITLE:					
	EXISTING GROUND FLOOR PLAN					
	SCALE:	DATE:				
	1:100 @A3	9/9/21				
	PROJECT NO:	DRAWING NO:				
097	1010	DA05				



#### PROPOSED GROUND FLOOR PLAN 1:100



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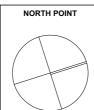
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COMMENCES.

REV.	NOTES.	INITIAL	DATE	LEGEND
А	DESIGN CONCEPTS	AF	20.08.21	EXISTING
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED
С	DA SUBMISSION	AF	09.09.21	PROPOSED
				PROPOSED

CPD: CUPBOARD
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FW: FLOOR WASTE
HWS: HOT WATER SYSTEM
RI: REDUCED LEVEL
SA: SMOKE AL ARM SA: SMOKE ALARM CF: CEILING FAN

ABBREVIATIONS



TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE

DRAWING TITLE: PROPOSED GROUND FLOOR PLAN 1:100 @A3 9/9/21 PROJECT NO: COLLAROY PLATEAU, NSW, 2097 1010 DA06



#### **EXISTING FIRST FLOOR PLAN** 1:100

NOTE: NO DEMOLITION WORK PROPOSED



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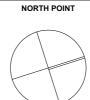
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EV.	NOTES.	INITIAL	DATE	LEGEND
A	DESIGN CONCEPTS	AF	20.08.21	EXISTING
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED
С	DA SUBMISSION	AF	09.09.21	PROPOSED
				TROFOGED
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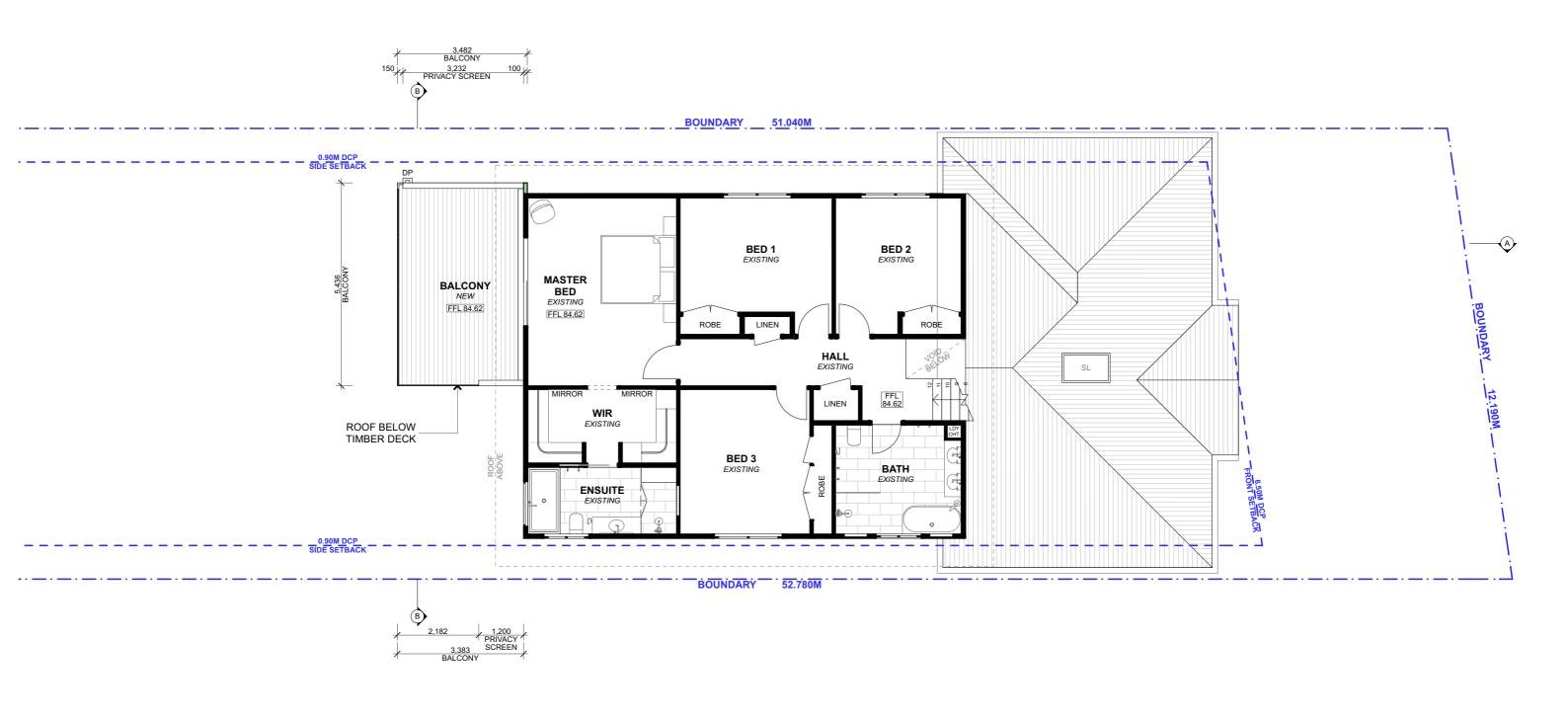
ABBREVIATIONS

CF: CEILING FAN



TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE

CLIENTS:	DRAWING TITLE:		
TATIA & CHRIS PITTHAM	EXISTING FIRST FLOOR PLAN		
	SCALE:	DATE:	
SITE ADDRESS:	1:100 @A3	9/9/21	
37 HALL AVENUE	PROJECT NO:	DRAWING NO:	
COLLAROY PLATEAU, NSW, 2097	1010	DA07	
	1010	DA07	



#### PROPOSED FIRST FLOOR PLAN 1:100



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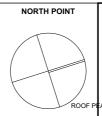
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REV.

V.	NOTES.	INITIAL	DATE	LEGENI	)
	DESIGN CONCEPTS	AF	20.08.21		EXISTING
	DESIGN REVIEW	AF	23.08.21	,	DEMOLISHED
	DA SUBMISSION	AF	09.09.21		PROPOSED
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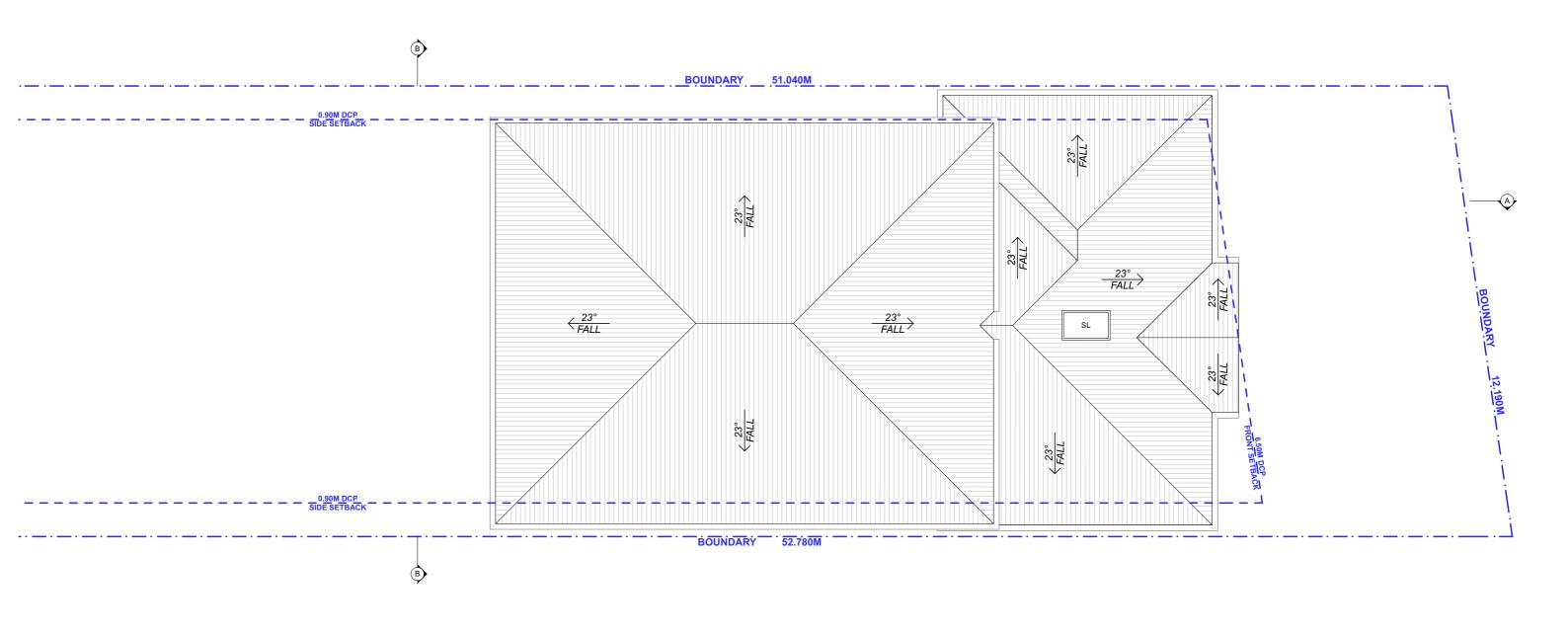
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SA: SMOKE ALARM
CF: CFILING FAN CF: CEILING FAN

ABBREVIATIONS



TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLAROY PLATEAU, NSW, 2097

DRAWING TITLE:			
PROPOSED FI	PROPOSED FIRST FLOOR PLAN		
SCALE:	DATE:		
1:100 @A3	9/9/21		
PROJECT NO:	DRAWING NO:		
1010	DA08		



**EXISTING ROOF PLAN** 1:100

NOTE: NO DEMOLITION WORK PROPOSED



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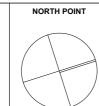
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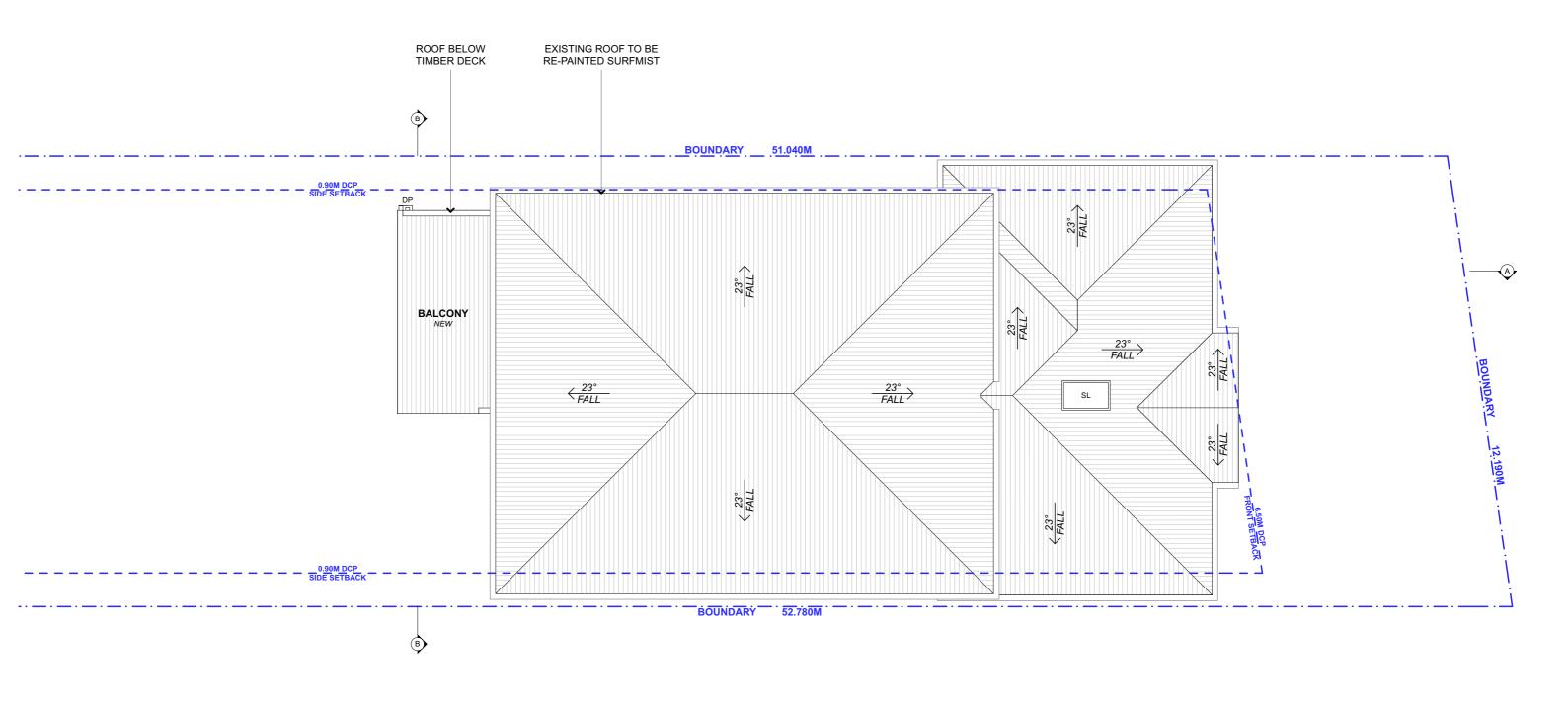
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	DESIGN CONCEPTS	AF	20.08.21	EXISTING
3	DESIGN REVIEW	AF	23.08.21	DEMOLISHED
;	DA SUBMISSION	AF	09.09.21	PROPOSED
				T NOT GOLD
				1

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CF: CEILING FAN

ABBREVIATIONS



CLIENTS:	DRAWING TITLE:	
TATIA & CHRIS PITTHAM	EXISTING ROO	OF PLAN
	SCALE:	DATE:
SITE ADDRESS:	1:100 @A3	9/9/21
37 HALL AVENUE	PROJECT NO:	DRAWING NO:
COLLAROY PLATEAU, NSW, 2097		
COLLANOT I LATEAU, NOW, 2097	1010	DA09



### PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES



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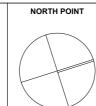
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Α	DESIGN CONCEPTS	AF	20.08.21	EXISTING
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED
С	DA SUBMISSION	AF	09.09.21	PROPOSED
				TROFOGED

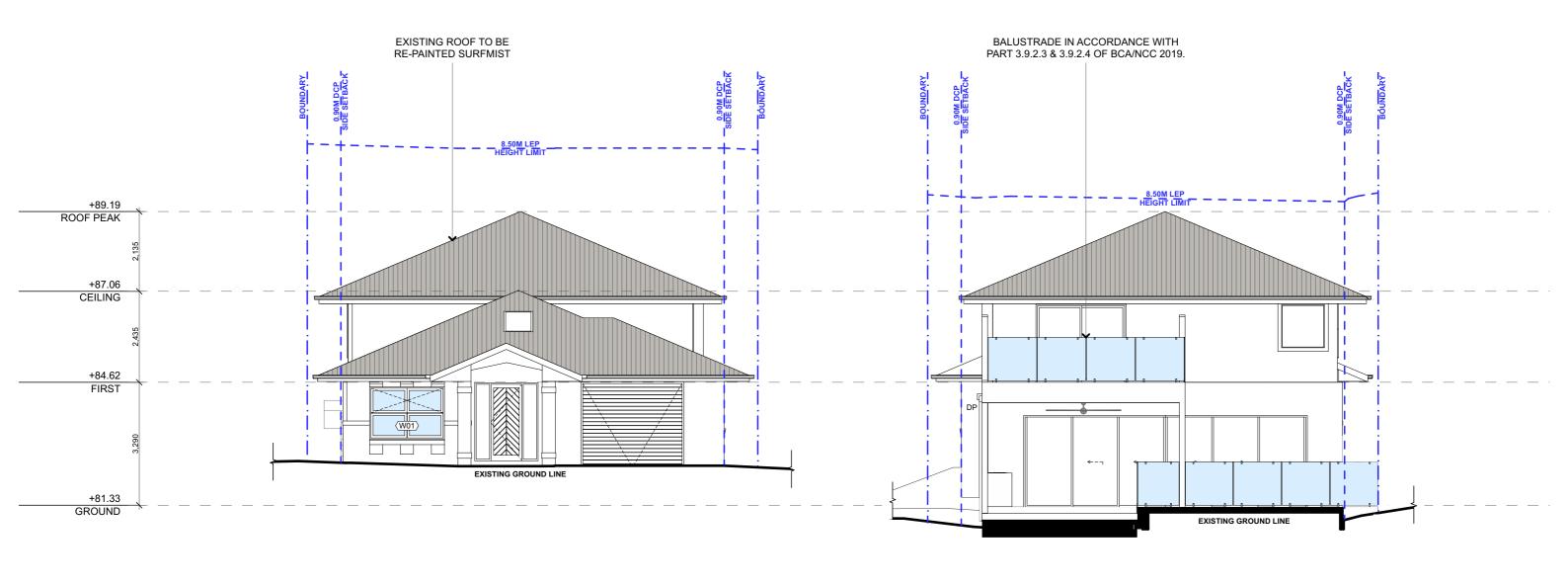
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ABBREVIATIONS

CF: CEILING FAN

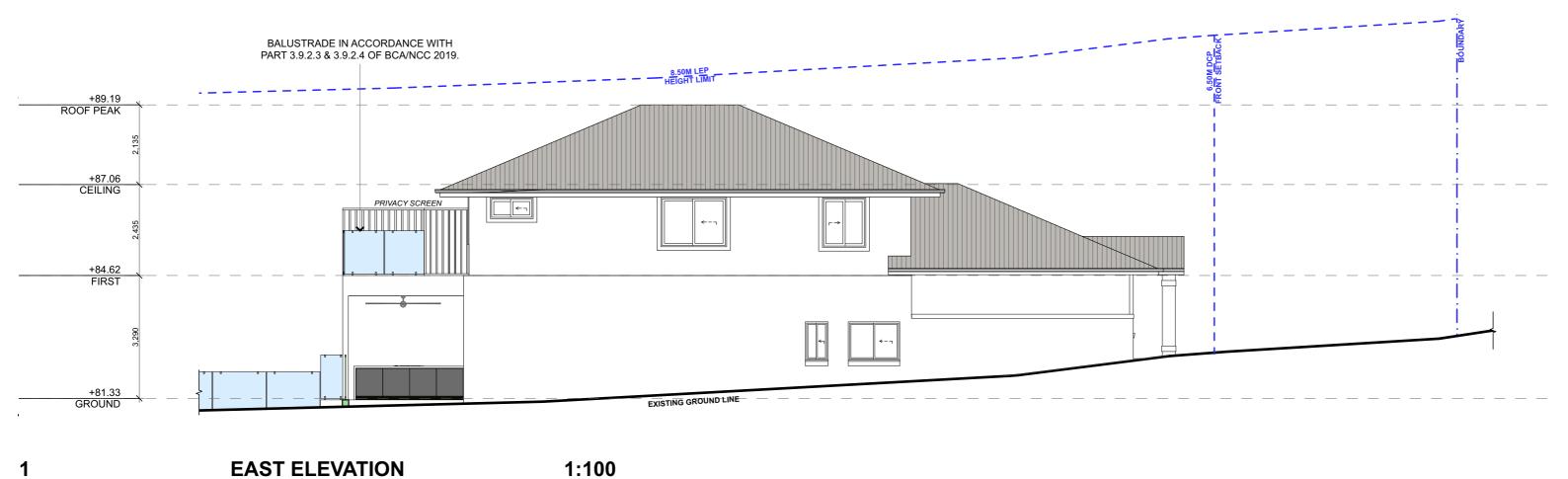


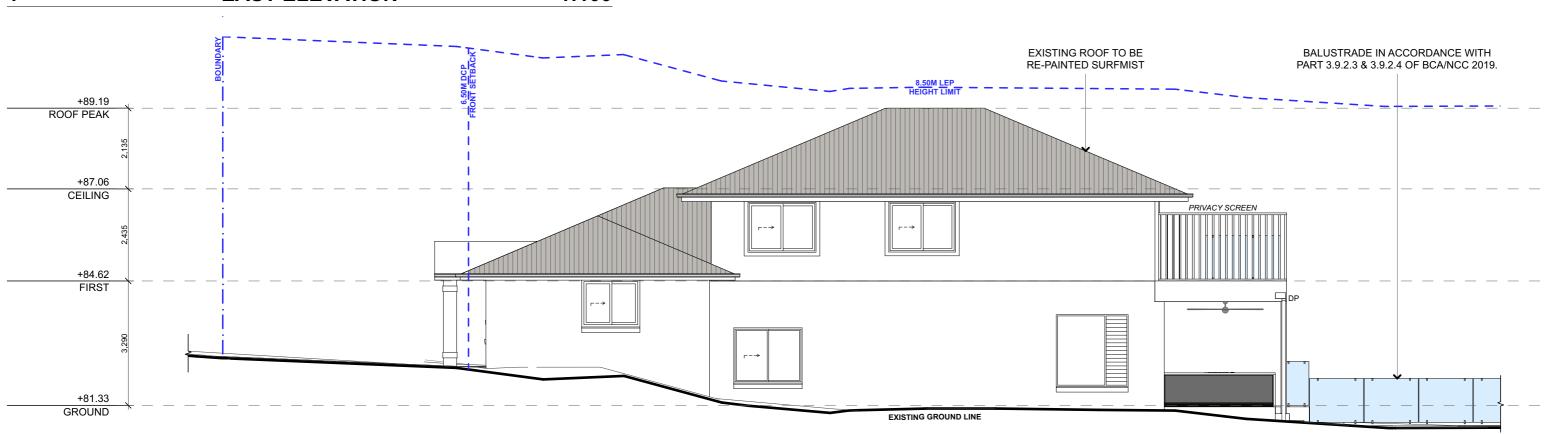
CLIENTS:	DRAWING TITLE:				
TATIA & CHRIS PITTHAM	PROPOSED ROOF / CONCEPT				
THE COUNTY OF TH	STORMWATER	RPLAN			
	SCALE:	DATE:			
SITE ADDRESS:	1:100 @A3	9/9/21			
37 HALL AVENUE	PROJECT NO:	DRAWING NO:			
COLLAROY PLATEAU, NSW, 2097	1010	DA10			



1 NORTH ELEVATION 1:100 2 SOUTH ELEVATION 1:100







#### **WEST ELEVATION** 1:100



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COMMENCES.

REV.

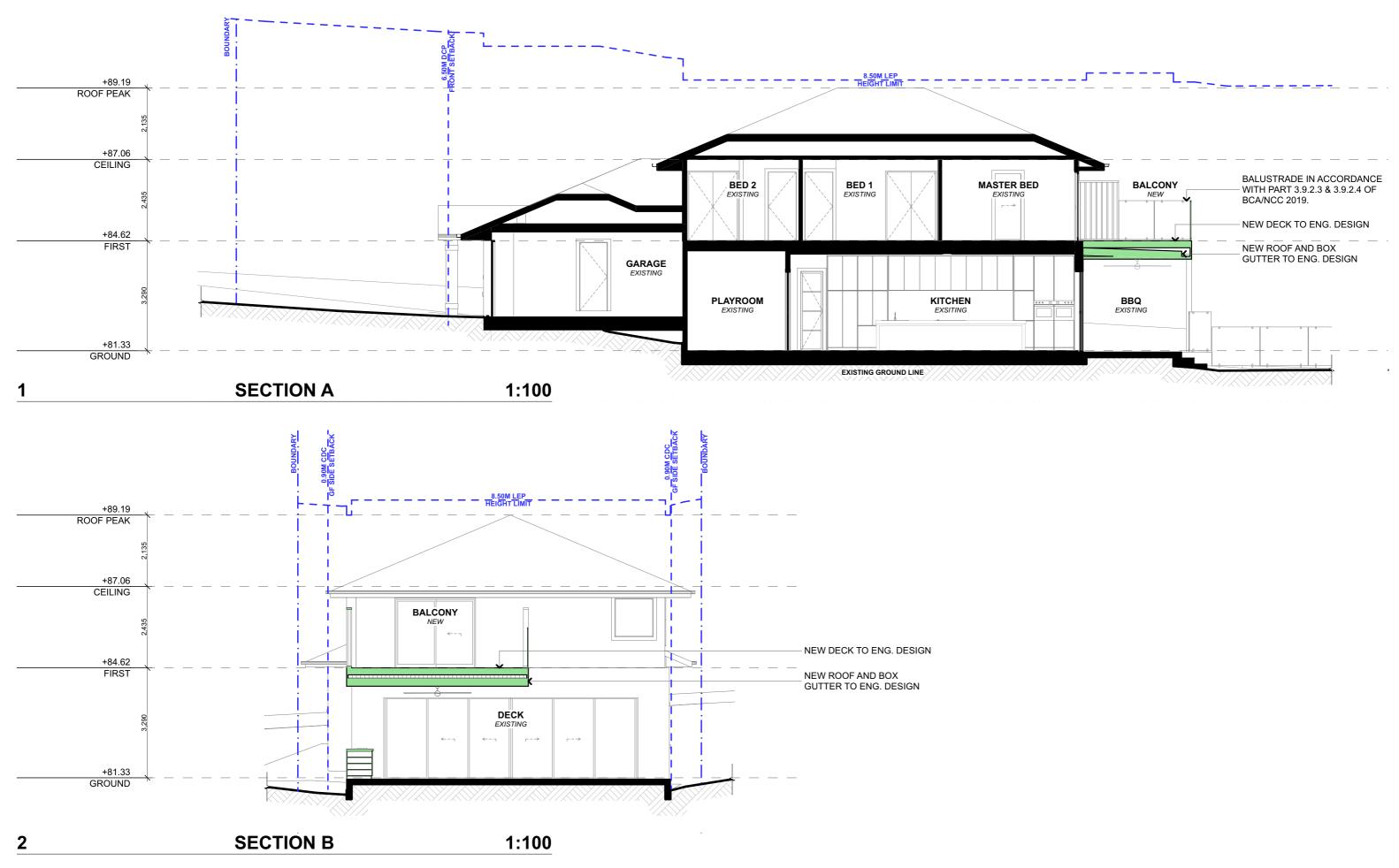
EV.	NOTES.	INITIAL	DATE	LEGEND	
A	DESIGN CONCEPTS	AF	20.08.21	EXISTING	ROOF - SURFMIST
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED	DECKING - STAINED TIMBER
С	DA SUBMISSION	AF	09.09.21	PROPOSED	COLUMNS & DECKING EDGES
				T KOT COLD	- SNOWEY WHITE QTR.
					BALUSTRADE - CLEAR GLAZING
					DALUSTNADL - CLEAR GLAZII

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
PI: SPENICED LEVEL RL: REDUCED LEVEL

ABBREVIATIONS

CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS: 37 HALL AVENUE COLLAROY PLATEAU, NSW, 2097

DRAWING TITLE: **ELEVATIONS - EAST & WEST** DATE: 1:100 @A3 9/9/21 PROJECT NO: DRAWING NO: 1010 **DA12** 





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REV.	NOTES.	INITIAL	DAIE	LEGEND
Α	DESIGN CONCEPTS	AF	20.08.21	EXISTING
В	DESIGN REVIEW	AF	23.08.21	DEMOLISHED
С	DA SUBMISSION	AF	09.09.21	PROPOSED
				THOI COLD

INITIAL DATE LEGEND

CPD: CUPBOARD
DP: DOWNPIPE
DPS: DOWN PIPE SPITTER
DPRH: DOWN PIPE RAIN HEAD
FFL: FINISHED FLOOR LEVEL
HWS: HOT WATER SYSTEM
RL: REDUCED LEVEL

ABBREVIATIONS

TATIA & CHRIS PITTHAM

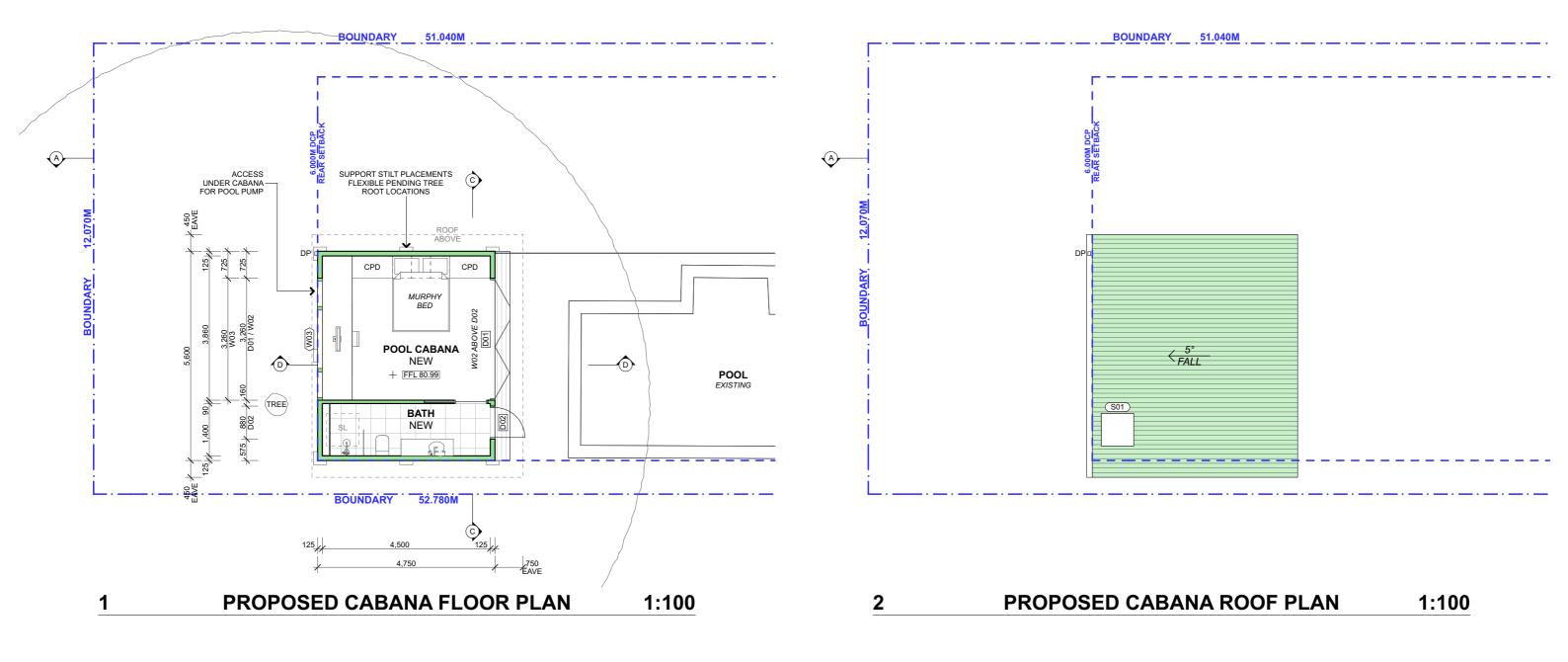
SITE ADDRESS:
37 HALL AVENUE
COLLAROY PLATEAU, NSW, 2097

CLIENTS:

DRAWING TITLE:
SECTIONS - A & B

SCALE:
1:100 @A3 9/9/21

PROJECT NO: DRAWING NO:
1010 DA13



DRAWING TITLE:

**PLANS** 

SCALE:

1:100 @A3

PROJECT NO:

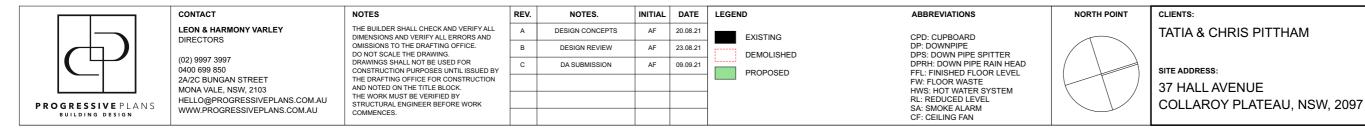
1010

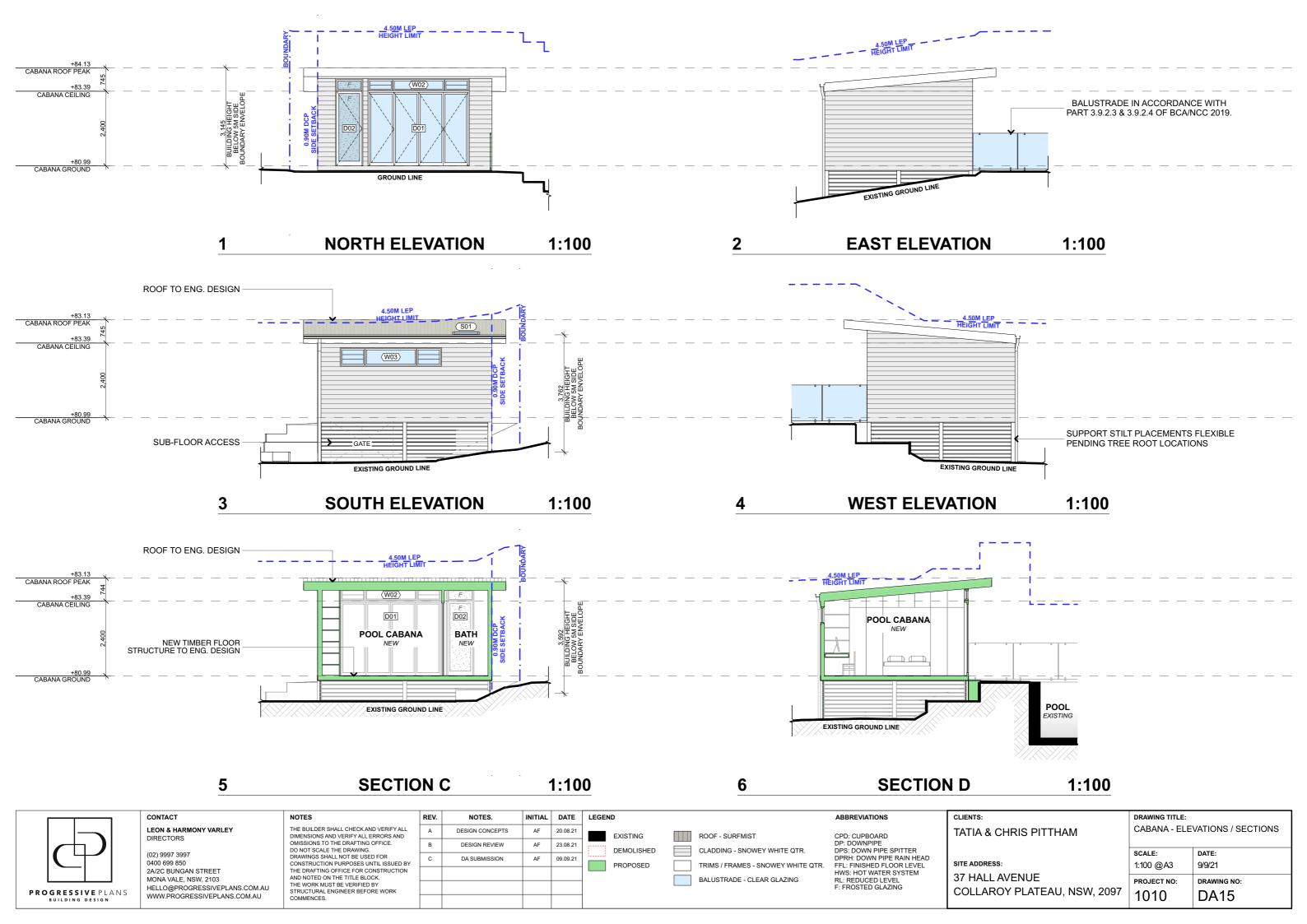
CABANA - PROPOSED FLOOR / ROOF

9/9/21

DRAWING NO:

**DA14** 















CONTACT

LEON & HARMONY VARLEY DIRECTORS

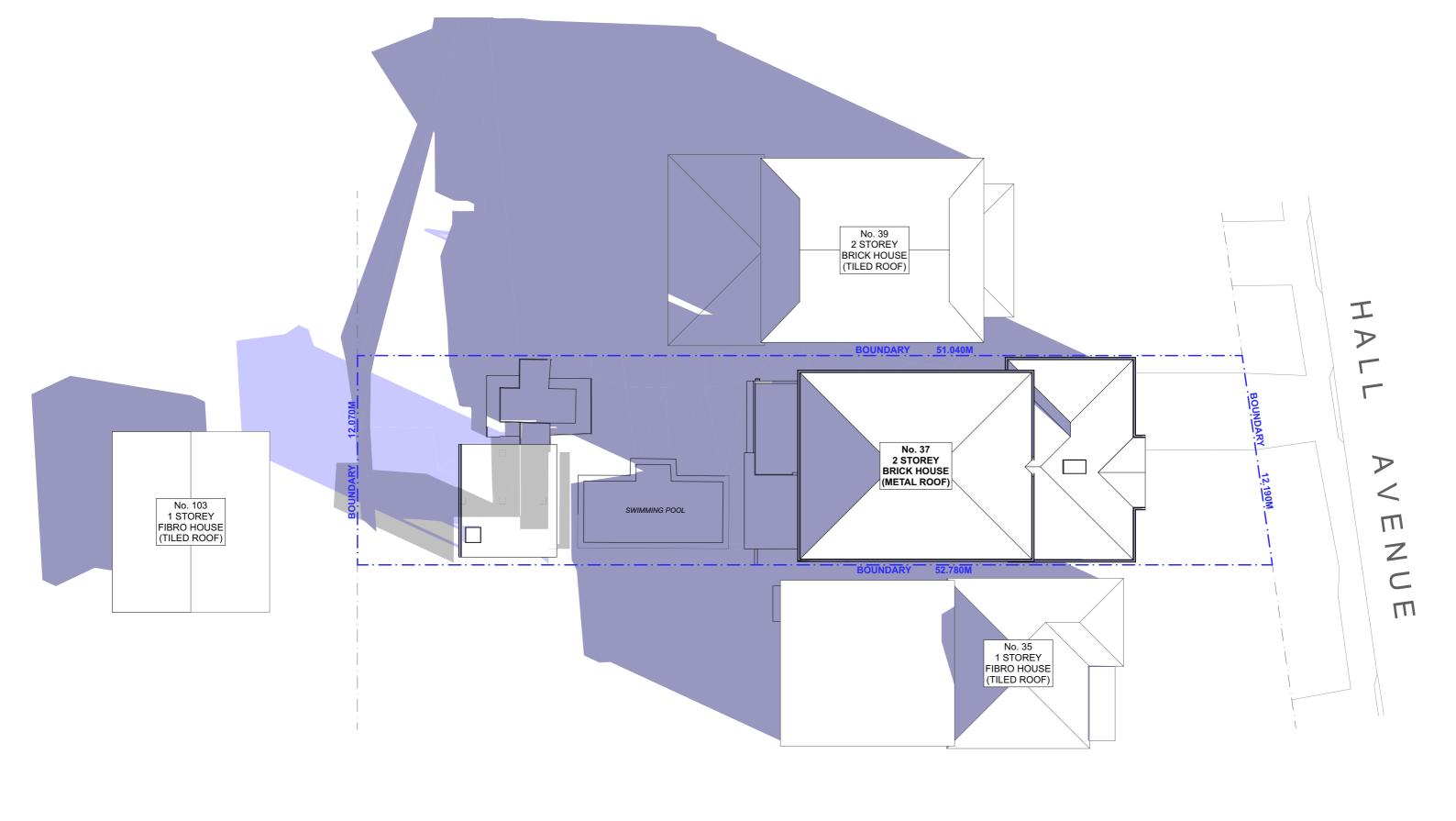
(02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
А	DESIGN CONCEPTS	AF	20.08.21
В	DESIGN REVIEW	AF	23.08.21
С	DA SUBMISSION	AF	09.09.21

CLIENTS: TATIA & CHRIS PITTHAM

DRAWING TITLE:						
CABANA - PER	SPECTIVES					
SCALE:	DATE:					
NTS	9/9/21					
1110	0/0/21					
PROJECT NO:	DRAWING NO:					
1010	DA16					
	D, (10					



#### **SHADOW DIAGRAM - JUNE 21 - 9AM** 1:200



CONTACT LEON & HARMONY VARLEY

(02) 9997 3997 0400 699 850 2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU

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COMMENCES.

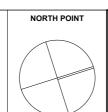
REV.

NOTES.

Α	DESIGN CONCEPTS	AF	20.08.21		EXISTING SHADOWS
В	DESIGN REVIEW	AF	23.08.21		PROPOSED SHADOW I
С	DA SUBMISSION	AF	09.09.21		PROPOSED SHADOW
					PROPOSED SHADOW A
				1	

INITIAL DATE LEGEND

ABBREVIATIONS DP: DEPOSIT PLAN SP: STRATA PLAN SED SHADOW REDUCTIONS SED SHADOW ADDITIONS

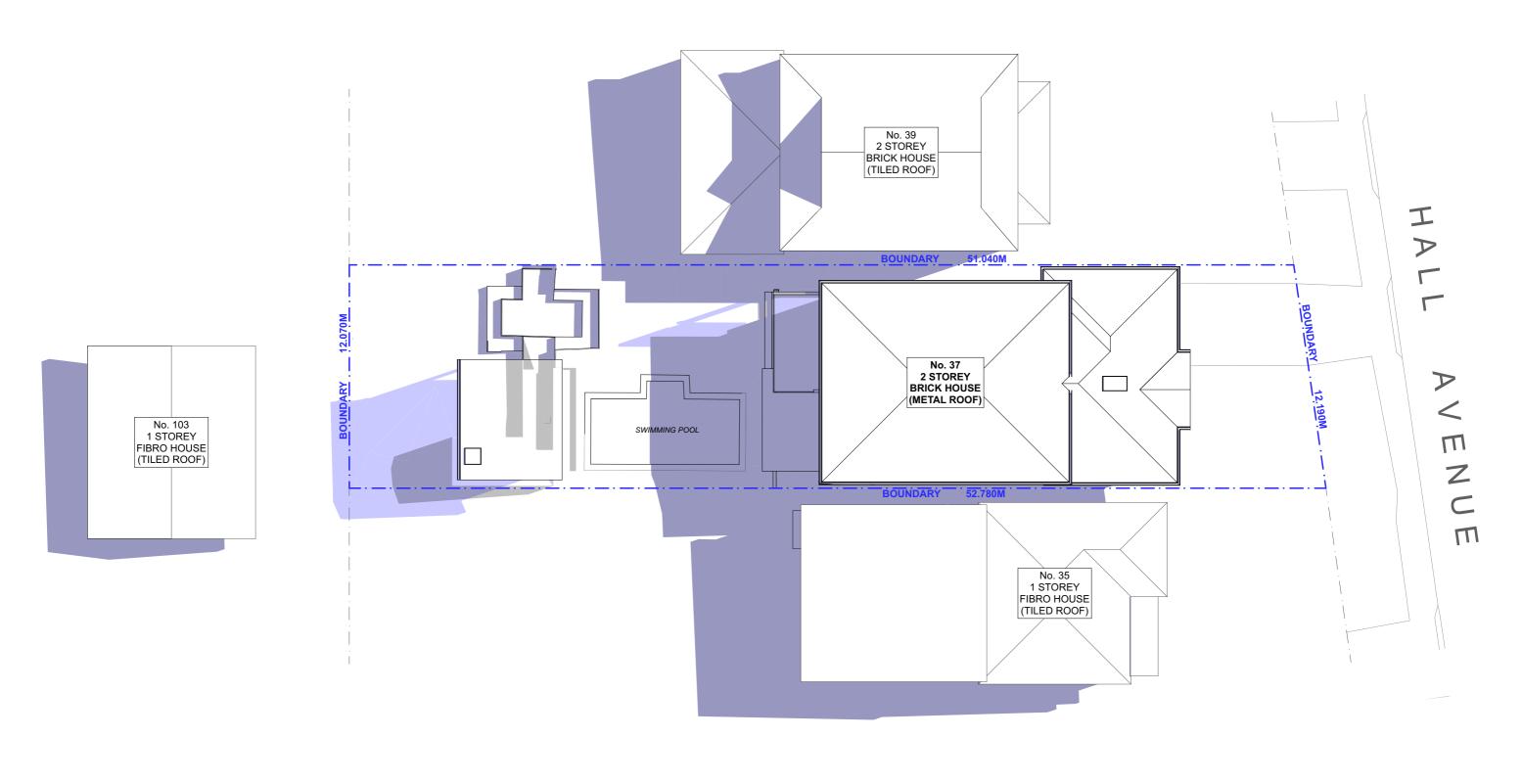


CLIENTS: TATIA & CHRIS PITTHAM SITE ADDRESS:

37 HALL AVENUE

SHADOW DIAGRAM - JUNE 21ST -9AM SCALE: 1:200 @A3 9/9/21 PROJECT NO: DRAWING NO: COLLAROY PLATEAU, NSW, 2097 1010 **DA17** 

DRAWING TITLE:



#### **SHADOW DIAGRAM - JUNE 21 - 12PM** 1:200



CONTACT LEON & HARMONY VARLEY

(02) 9997 3997 0400 699 850

2A/2C BUNGAN STREET MONA VALE, NSW, 2103 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU

NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE DRAFTING OFFICE FOR CONSTRUCTION AND NOTED ON THE TITLE BLOCK. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

COMMENCES.

A	DESIGN CONCEPTS	AF	20.08.21	EXISTING SHADOWS
В	DESIGN REVIEW	AF	23.08.21	PROPOSED SHADOW REDUCTIONS
С	DA SUBMISSION	AF	09.09.21	PROPOSED SHADOW ADDITIONS
				FROFOSED SHADOW ADDITIONS

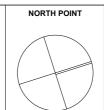
INITIAL DATE LEGEND

NOTES.

REV.

DP: DEPOSIT PLAN SP: STRATA PLAN

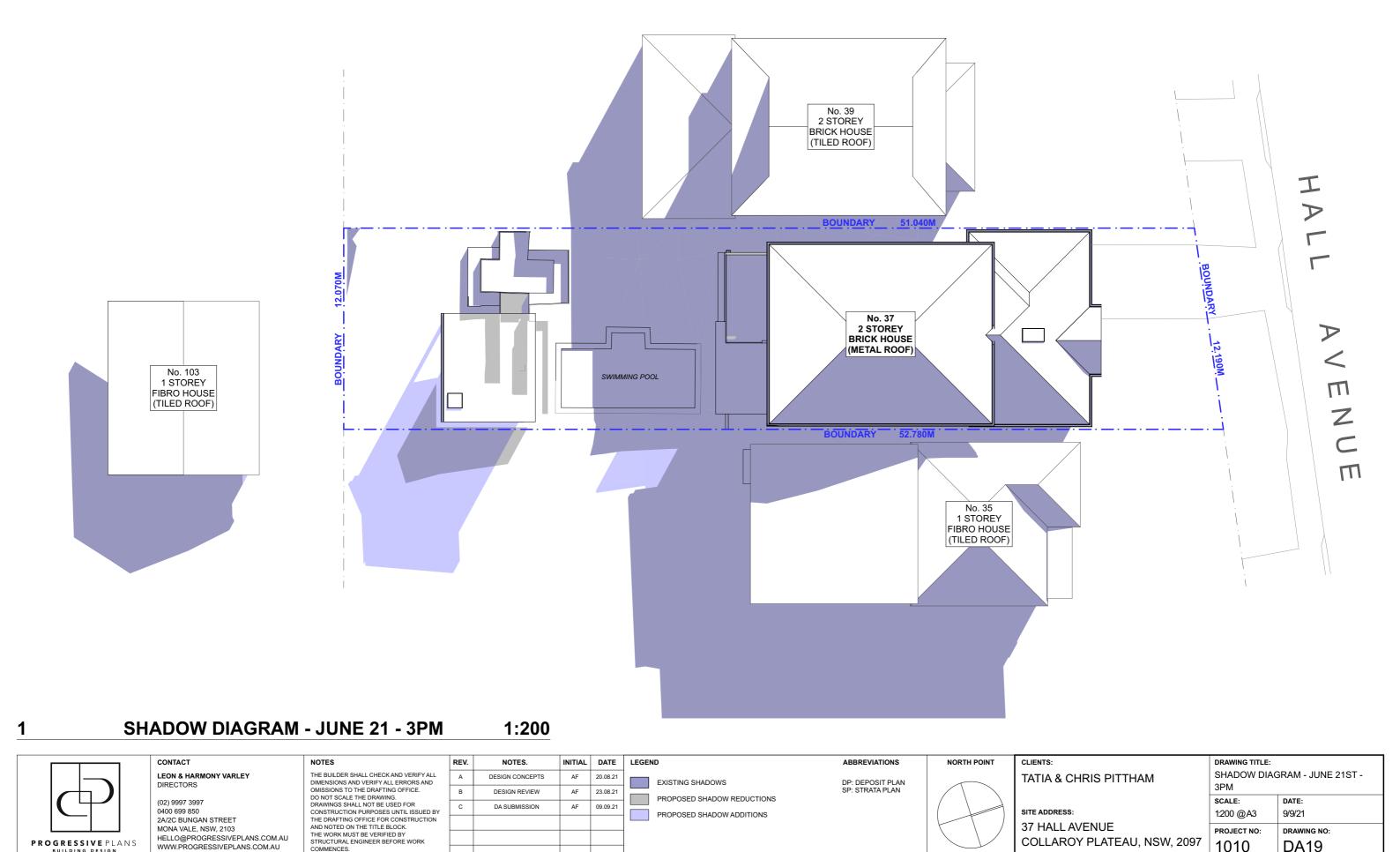
ABBREVIATIONS



CLIENTS: TATIA & CHRIS PITTHAM

SITE ADDRESS: 37 HALL AVENUE COLLAROY PLATEAU, NSW, 2097

DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST -12PM SCALE: 1:200 @A3 9/9/21 PROJECT NO: DRAWING NO: 1010 **DA18** 



PROPOSED SHADOW REDUCTIONS

PROPOSED SHADOW ADDITIONS

DESIGN REVIEW

DA SUBMISSION

(02) 9997 3997

0400 699 850

PROGRESSIVE PLANS BUILDING DESIGN

2A/2C BUNGAN STREET

MONA VALE, NSW, 2103

HELLO@PROGRESSIVEPLANS.COM.AU

COMMENCES.

WWW.PROGRESSIVEPLANS.COM.AU

AF

23.08.21

AF 09.09.21

3PM

SITE ADDRESS:

37 HALL AVENUE

COLLAROY PLATEAU, NSW, 2097

SCALE:

1:200 @A3

PROJECT NO:

1010

9/9/21

DRAWING NO:

**DA19** 

## **BASIX** Certificate

Building Sustainability Index www.basix.nsw.gov.au

#### **Alterations and Additions**

Certificate number: A429572

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

#### Secretar

Date of issue: Monday, 30, August 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address					
Project name	Collaroy Plateau - 37 Hall Ave				
Street address	37 Hall Avenue Collaroy Plateau 2097				
Local Government Area Northern Beaches Council					
Plan type and number	Deposited Plan 11733				
Lot number	3				
Section number					
Project type					
Dwelling type	Separate dwelling house				
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).				

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Progressive Building Design

ABN (if applicable): 59879808402

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		<b>~</b>	<b>✓</b>
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		<b>✓</b>	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		<b>✓</b>	

project

of

escription

		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
		<b>√</b>	<b>✓</b>	<b>√</b>
R0.8 (down) (or R1.50 including construction)				
R1.30 (or R1.70 including construction)				
ceiling: R2.25 (up), roof: foil/sarking	light (solar absorptance < 0.475)			
ľ	kion is not required where the area of new construction is not required where the area of new construction already exists.  Additional insulation required (R-value)  R0.8 (down) (or R1.50 including construction)  R1.30 (or R1.70 including construction)	Additional insulation required (R-value)  R0.8 (down) (or R1.50 including construction)  R1.30 (or R1.70 including construction)	d construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in tion is not required where the area of new construction is less than 2m2, b) insulation specified where insulation already exists.  Additional insulation required (R-value)  R0.8 (down) (or R1.50 including construction)  R1.30 (or R1.70 including construction)	d construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in tion is not required where the area of new construction is less than 2m2, b) insulation specified where insulation already exists.  Additional insulation required (R-value)  R0.8 (down) (or R1.50 including construction)  R1.30 (or R1.70 including construction)

Glazing r	requirements	;						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows	and glazed	doors								
					nading devices, in accor each window and glaz		the specifications listed in the table below.	<b>✓</b>	<b>✓</b>	<b>✓</b>
The followi	ing requiremen	ts must also	be satisf	ied in relation	to each window and gl	lazed door:			✓	<b>✓</b>
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							<b>✓</b>	~		
have a U-v must be ca	alue and a Sol	ar Heat Gai ordance wit	n Coeffici h Nationa	ent (SHGC) r I Fenestration	o greater than that liste	ed in the tab	ar glazing, or toned/air gap/clear glazing must le below. Total system U-values and SHGCs s. The description is provided for information		~	~
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mr above the head of the window or glazed door and no more than 2400 mm above the sill.					cony or awning must be no more than 500 mm	<b>✓</b>	✓	✓		
Pergolas w	vith polycarbon	ate roof or s	imilar trar	slucent mate	erial must have a shadin	ng coefficien	t of less than 0.35.		<b>✓</b>	<b>✓</b>
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					ch they are situated, unless the pergola also		<b>✓</b>	<b>~</b>		
	s and glaze									
Window / o no.	door Orientati	on Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device		Frame and glass type			
W1	N	2.81	0	0	eave/verandah/pergol >=600 mm	la/balcony	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W2	N	1.32	0	0	eave/verandah/pergol >=750 mm	la/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W3	S	1.96	0	0	none		standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D1	N	8.2	0	0	eave/verandah/pergol >=750 mm	la/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	N	2.4	0	0	eave/verandah/pergol >=750 mm	la/balcony	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Skylights										
The applica	ant must install	the skylight	ts in acco	rdance with th	ne specifications listed i	in the table b	pelow.			✓
The following requirements must also be satisfied in relation to each skylight:						<b>✓</b>	<b>✓</b>			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.						✓	<b>✓</b>			
Skylight	s glazing re	quiremen	nts					1		
Skylight nu		of glazing ame (m2)	Shading	g device		Frame and	glass type			
S1	0.76		no shading timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)							

#### Legen

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "\"" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "\" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "\rightarrow" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



CONTACT
LEON & HARMONY VARLEY

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REV.	NOTES.	INITIAL	DATE	NOTES	
А	DESIGN CONCEPTS	AF	20.08.21	- DOORS	
В	DESIGN REVIEW	AF	23.08.21	- DOORS - NEW W	
С	DA SUBMISSION	AF	09.09.21	- NEW W	
				- D04 & V	

- DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS
- DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER
- NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH PART 3.9.2.6 OF NCC

- NEW WINDOWS TO BEDITOMS IN ACCORDANCE WITH PART 3.9.2.5 OF NCC
- NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH PART 3.9.2.7 OF NCC
- D03 NOT INCLUDED IN BASIX AS THIS IS A GARAGE DOOR TO AN UNINHABITABLE ROOM
- D04 & W03 ARE NOT INCLUDED IN THE BASIX CALCULATIONS AS THEY ARE INTERNAL ELEMENTS

SITE ADDRESS:
37 HALL AVENUE
COLLAROY PLATEAU, NSW, 2097

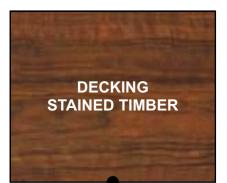
TATIA & CHRIS PITTHAM

DRAWING TITLE:
BASIX REQUIREMENTS

SCALE:

DATE:
9/9/21

PROJECT NO:
DRAWING NO:
DA20

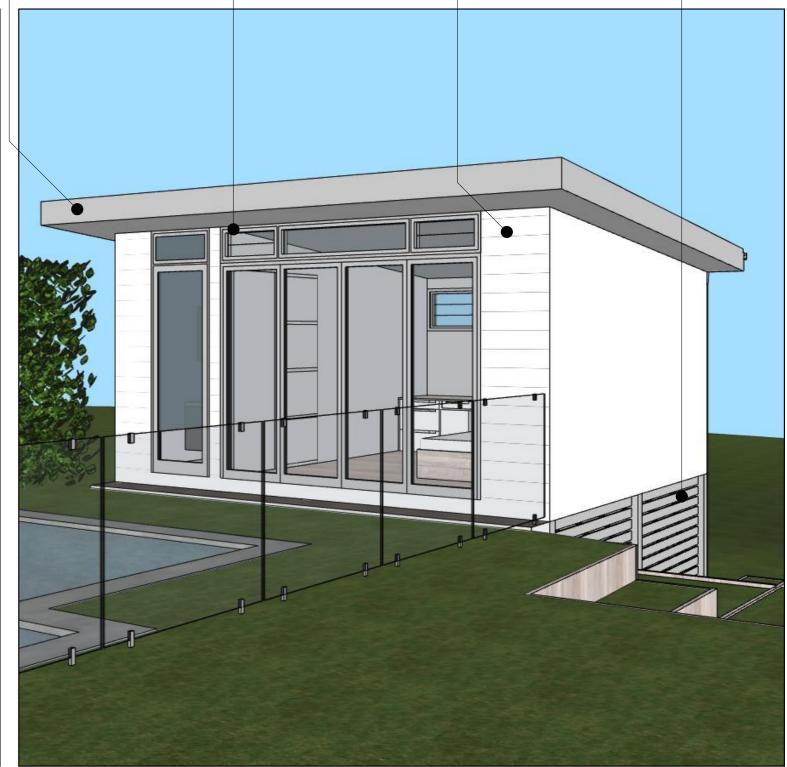


BALUSTRADE / POOL FENCE CLEAR GLAZING PRIVACY SCREENS / POSTS / DECK TRIMS SNOWY MOUNTAIN QTR

ROOF / GUTTERS COLORBOND SURFMIST

DOORS / WINDOWS WHITE JAMES HARDIE LINEAR 180MM CLADDING SNOWY MOUNTAIN QTR SCREENING / POSTS / GUTTERS SNOWY MOUNTAIN QTR







CONTACT

LEON & HARMONY VARLEY

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В	DESIGN REVIEW	AF	23.08.21
С	DA SUBMISSION	AF	09.09.21

TATIA & CHRIS PITTHAM

RAWING TITLE:				
INISHES BOARD				
CALE:	DATE:			
TS	9/9/21			
ROJECT NO:	DRAWING NO:			
NOSECT NO.	DRAWING NO.			
010	DA21			