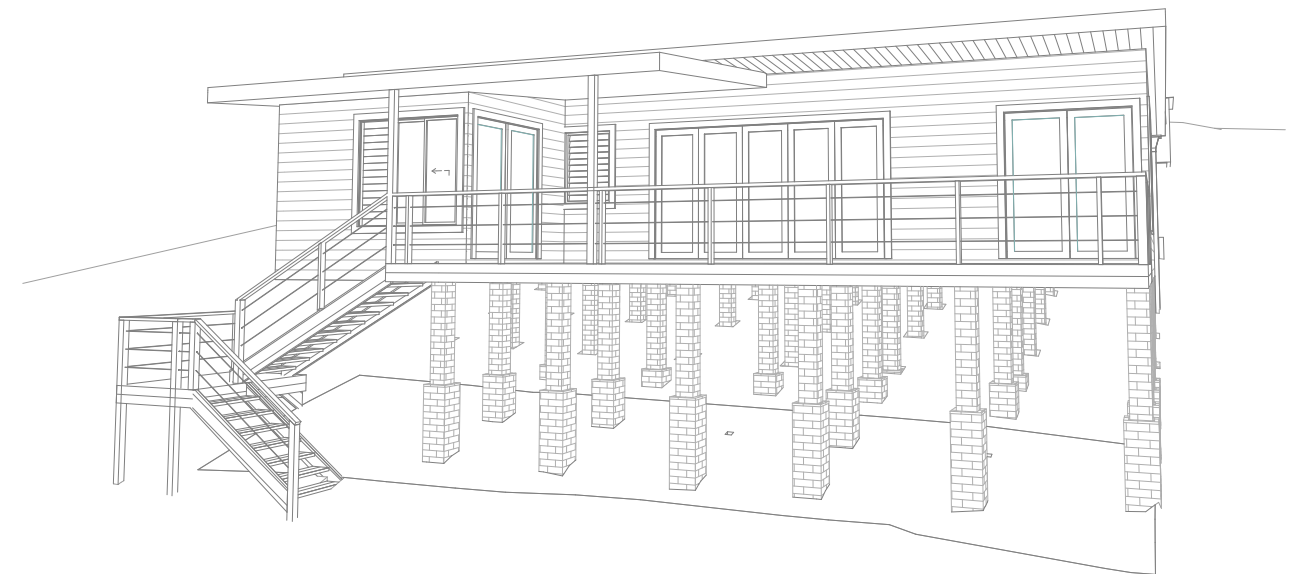


# progressive plans

Residential Dwelling  
SCOTLAND ISLAND, NSW 2105  
18 December 2023  
Issue A

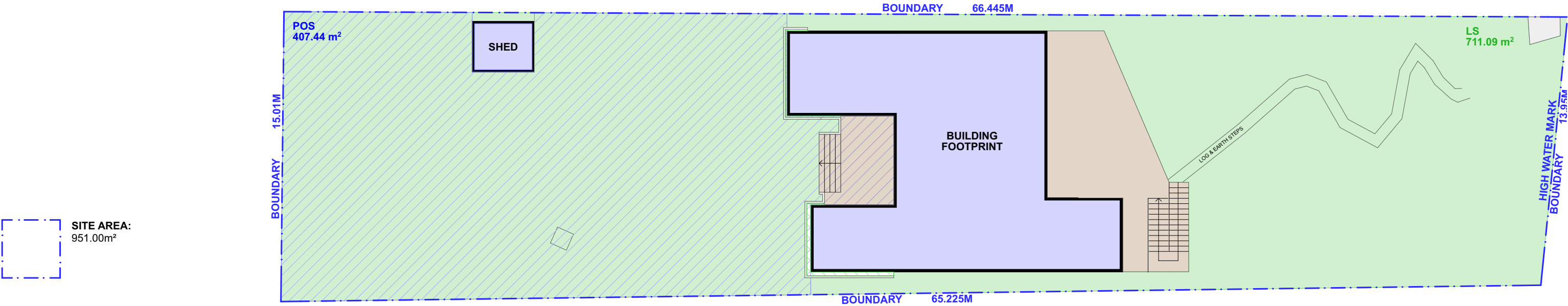
Prepared for  
KERRY & KURT HAMANN

## S4.55 Modification 43 FLORENCE TERRACE

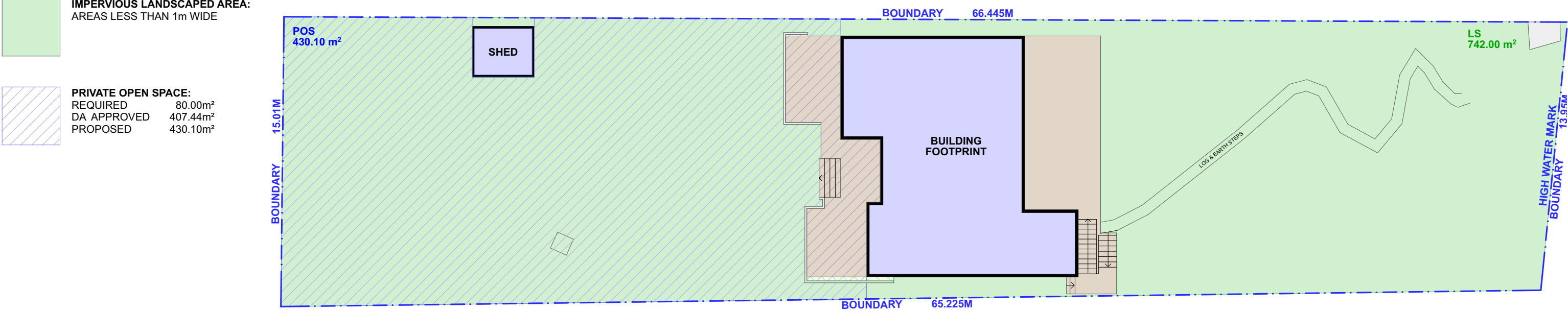


NO:	SHEET NAME	DATE
S4.55 00	TITLE PAGE	18/12/2023
S4.55 01	SHEET INDEX	18/12/2023
S4.55 02	AREA CALCULATIONS	18/12/2023
S4.55 03	SITE ANALYSIS	18/12/2023
S4.55 04	PROPOSED SITE PLAN	18/12/2023
S4.55 05	DA APPROVED LOWER GROUND FLOOR PLAN	18/12/2023
S4.55 06	PROPOSED LOWER GROUND FLOOR PLAN	18/12/2023
S4.55 07	DA APPROVED GROUND FLOOR PLAN	18/12/2023
S4.55 08	PROPOSED GROUND FLOOR PLAN	18/12/2023
S4.55 09	DA APPROVED ROOF PLAN	18/12/2023
S4.55 10	PROPOSED ROOF / CONCEPT STORMWATER PLAN	18/12/2023
S4.55 11	ELEVATIONS - NORTH	18/12/2023
S4.55 12	ELEVATIONS - SOUTH	18/12/2023
S4.55 13	ELEVATIONS - EAST & WEST	18/12/2023
S4.55 14	SECTIONS - A	18/12/2023
S4.55 15	SECTIONS - B & C	18/12/2023
S4.55 16	FINISHES BOARD	18/12/2023
S4.55 17	SHADOW DIAGRAM - JUNE 21ST - 9AM	18/12/2023
S4.55 18	SHADOW DIAGRAM - JUNE 21ST - 12PM	18/12/2023
S4.55 19	SHADOW DIAGRAM - JUNE 21ST - 3PM	18/12/2023
S4.55 20	BASIX REQUIREMENTS	18/12/2023
S4.55 21	BASIX REQUIREMENTS	18/12/2023


BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1 DA APPROVED AREA CALCULATIONS 1:200



2 PROPOSED AREA CALCULATIONS 1:200



progressive plans

0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

**NOTES**

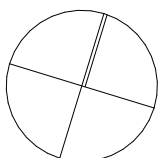
THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	S4.55 SET	SB	15.12.23

**LEGEND**

- DWELLING WALLS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER

**NORTH POINT**



**CLIENTS:**  
KERRY & KURT HAMANN

**SITE ADDRESS:**  
43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE: AREA CALCULATIONS	
<b>SCALE:</b> 1:200 @A3	<b>DATE:</b> 18/12/2023
<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> S4.55 02





EXTERNAL VIEW



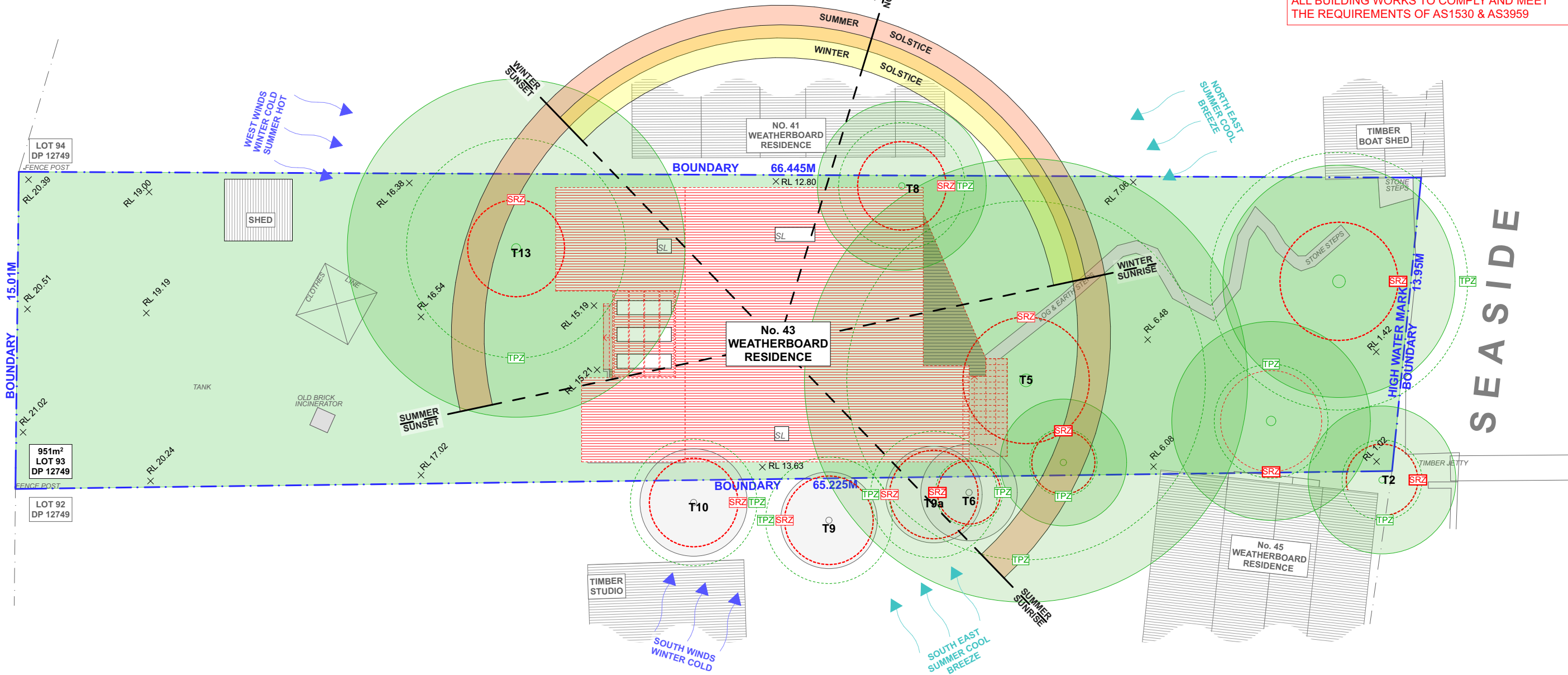
LOCATION MAP



AERIAL MAP

**BUSHFIRE BAL 12.5 RATING**  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959

FLORENCE TERRACE



SITE ANALYSIS

1:200

1



progressive plans

0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.

A

NOTES.

S4.55 SET

INITIAL

SB

DATE

15.12.23

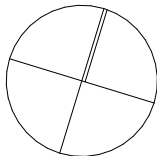
LEGEND

- EXISTING
- REMOVED DA
- REVERTED TO EXISTING
- PROPOSED ROOF
- LANDSCAPE / GRASS
- CONCRETE / PAVERS
- TIMBER DECK
- POOL / WATER
- SEDIMENT EROSION FENCE

ABBREVIATIONS

DP: DEPOSIT PLAN  
RL: REDUCED LEVEL  
SP: STRATA PLAN

NORTH POINT



CLIENTS:

KERRY & KURT HAMANN

SITE ADDRESS:

43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE:

SITE ANALYSIS

SCALE:

1200 @A3

DATE:

18/12/2023

PROJECT NO:

1010

DRAWING NO:

S4.55 03

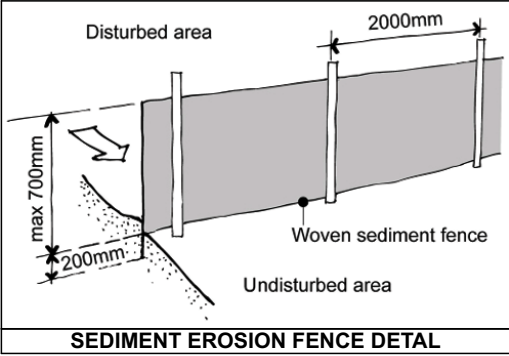


SKIP BIN  
RECYCLING

SKIP BIN  
WASTE

MATERIAL  
STORAGE

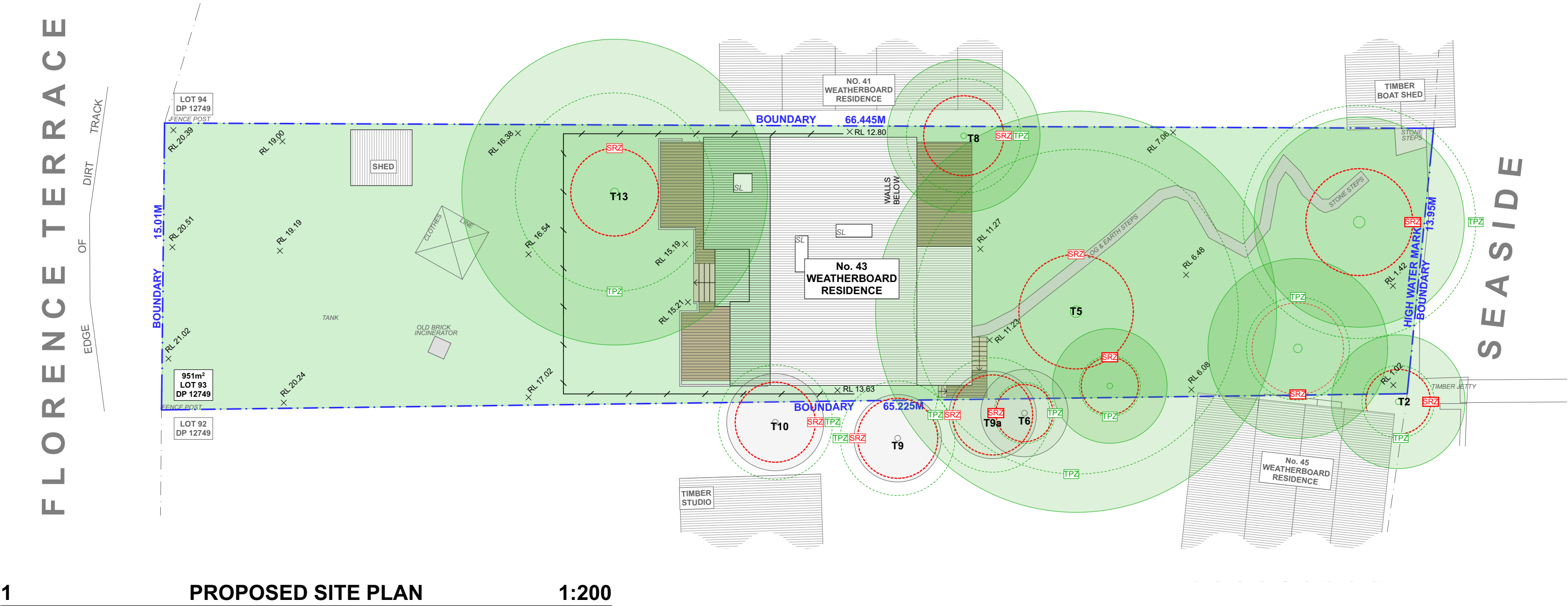
SKIP BINS & MATERIAL STORAGE  
TO BE STORED KERBSIDE OS SEASIDE



**TREE PROTECTION ZONE (TPZ) FENCING (WHEN POSSIBLE):**  
  
1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.  
  
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.  
  
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.  
  
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.

**TREE PROTECTION ZONE (TPZ) FENCING (NOT POSSIBLE):**  
  
1. FOR TRUNK AND BRANCH PROTECTION USE BOARDS AND PADDING THAT WILL PREVENT DAMAGE TO BARK. BOARDS ARE TO BE STRAPPED TO TREES, NOT NAILED, OR SCREWED.  
  
2. RUMBLE BOARDS SHOULD BE OF SUITABLE THICKNESS TO PREVENT SOIL COMPACTION AND ROOT DAMAGE.

**BUSHFIRE BAL 12.5 RATING**  
ALL BUILDING WORKS TO COMPLY AND MEET THE REQUIREMENTS OF AS1530 & AS3959



1 PROPOSED SITE PLAN 1:200

progressive plans  
0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES  
THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	S4.55 SET	SB	15.12.23

**LEGEND**  

EXISTING

REMOVED DA

REVERTED TO EXISTING

PROPOSED ROOF

SEDIMENT EROSION FENCE

LANDSCAPE / GRASS

CONCRETE / PAVERS

TIMBER DECK

POOL / WATER

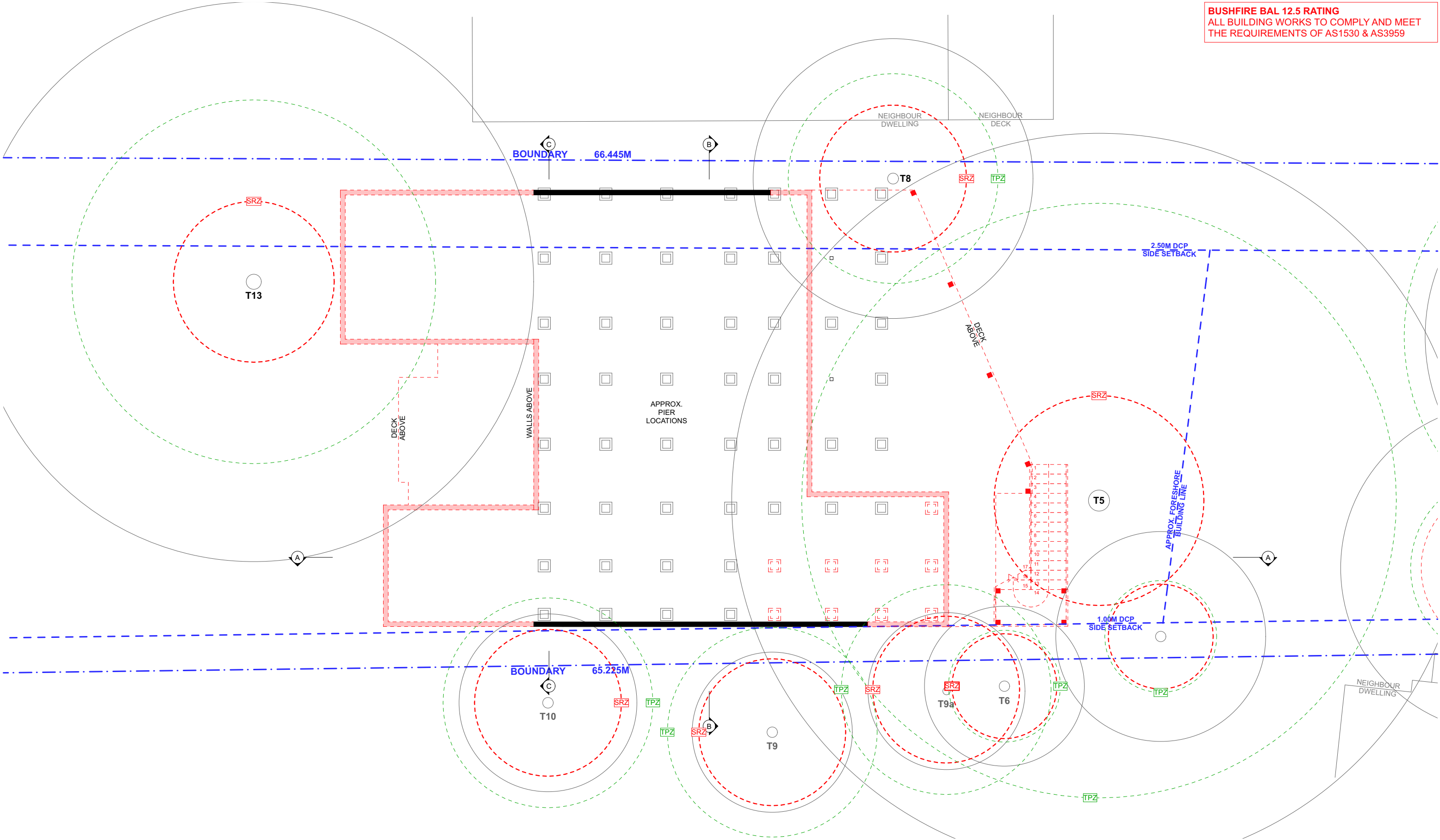
**ABBREVIATIONS**  
DP: DEPOSIT PLAN  
RL: REDUCED LEVEL  
SP: STRATA PLAN

**NORTH POINT**

**CLIENTS:**  
KERRY & KURT HAMANN  
  
**SITE ADDRESS:**  
43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105


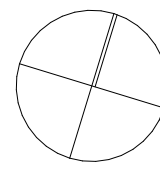
**DRAWING TITLE:**  
PROPOSED SITE PLAN  
  
**SCALE:**  
1200 @A3  
  
**PROJECT NO:**  
1010  
  
**DATE:**  
18/12/2023  
  
**DRAWING NO:**  
S4.55 04

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959

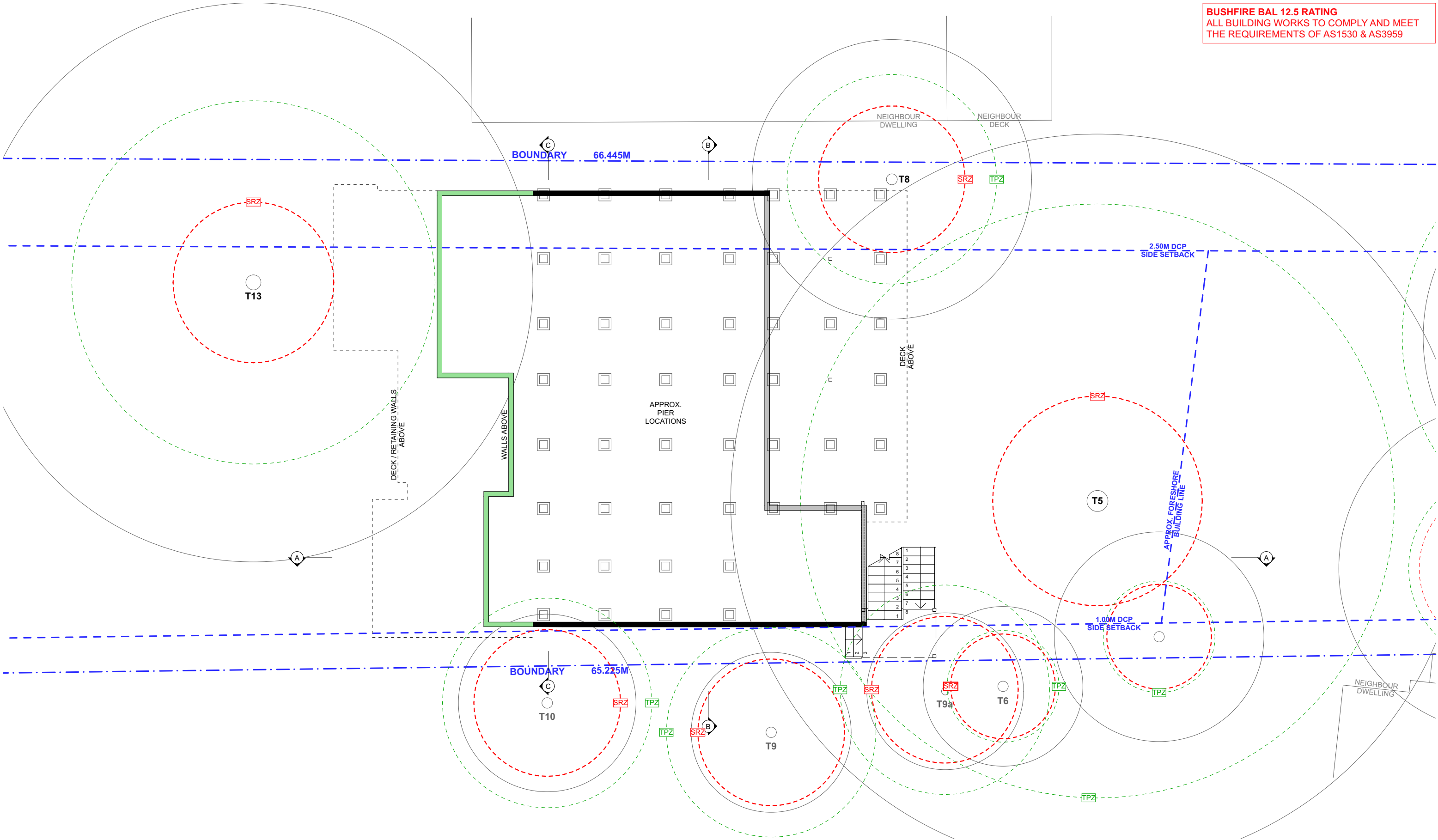


1 DA APPROVED LOWER GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED  
OUT IN ACCORDANCE WITH AS2601-2001


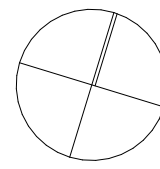
<div><div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div></div>	<div>NOTES</div> <div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</div>	REV.	NOTES.	INITIAL	DATE	<div>LEGEND</div> <div><div>EXISTING</div><div>REMOVED DA</div><div>PROPOSED</div><div>REVERTED TO EXISTING</div></div>	<div>ABBREVIATIONS</div> <div>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</div>	<div>NORTH POINT</div> <div></div>	<div>CLIENTS:</div> <div>KERRY &amp; KURT HAMANN</div> <div>SITE ADDRESS:</div> <div>43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105</div>	DRAWING TITLE: DA APPROVED LOWER GROUND FLOOR PLAN	
		A	S4.55 SET	SB	15.12.23					SCALE: 1:100 @A3	DATE: 18/12/2023
										PROJECT NO: 1010	DRAWING NO: S4.55 05

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959

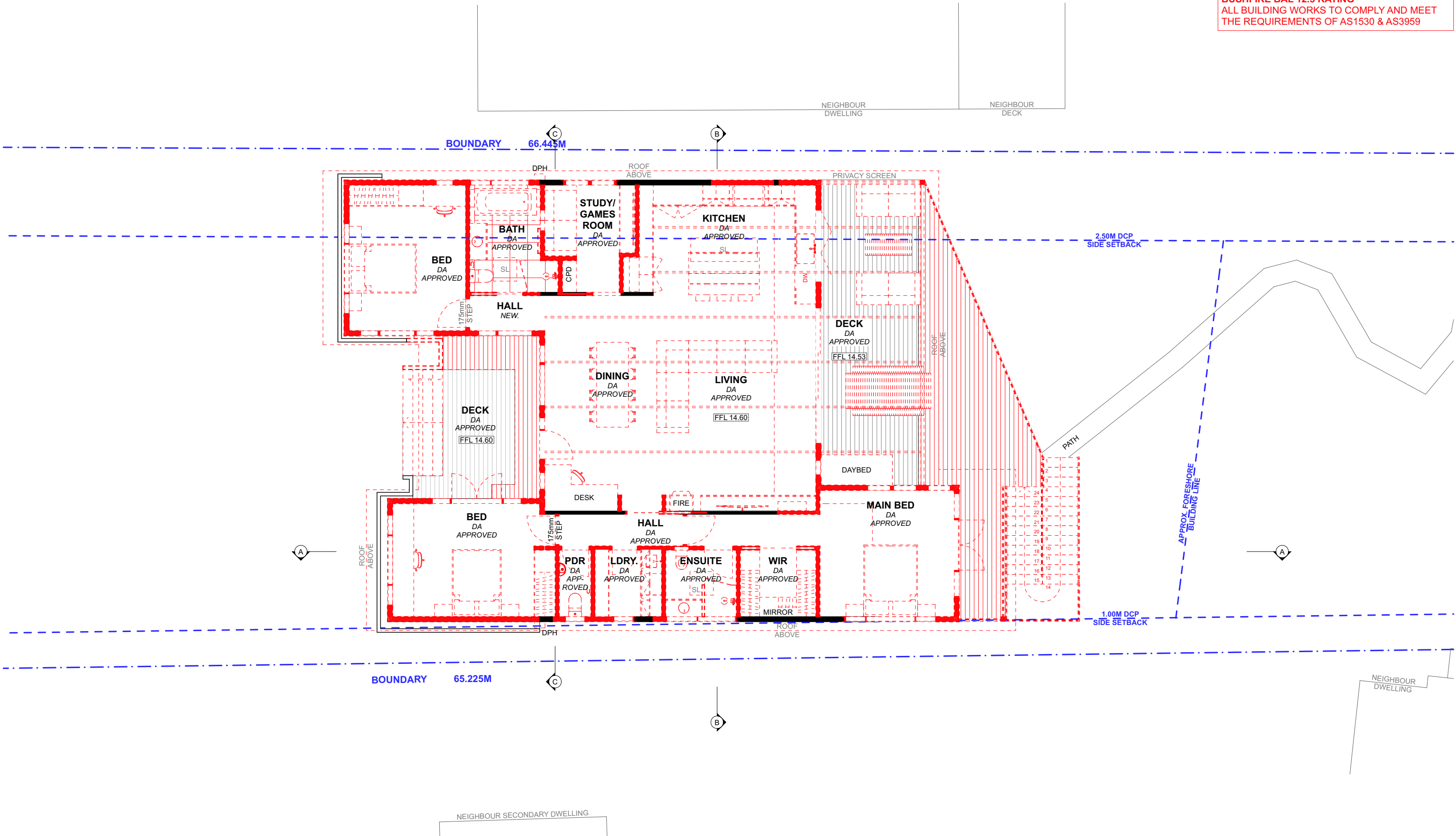


1 PROPOSED LOWER GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED  
OUT IN ACCORDANCE WITH AS2601-2001


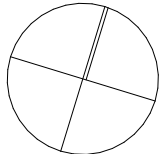
 <div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>LEGEND</b> <div><div></div>EXISTING</div> <div><div></div>REMOVED DA</div> <div><div></div>PROPOSED</div> <div><div></div>REVERTED TO EXISTING</div>	<b>ABBREVIATIONS</b> CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	<b>NORTH POINT</b> 	<b>CLIENTS:</b> KERRY & KURT HAMANN  <b>SITE ADDRESS:</b> 43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105	<b>DRAWING TITLE:</b> PROPOSED LOWER GROUND FLOOR PLAN	
		A	S4.55 SET	SB	15.12.23					<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 18/12/2023
										<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> S4.55 06

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



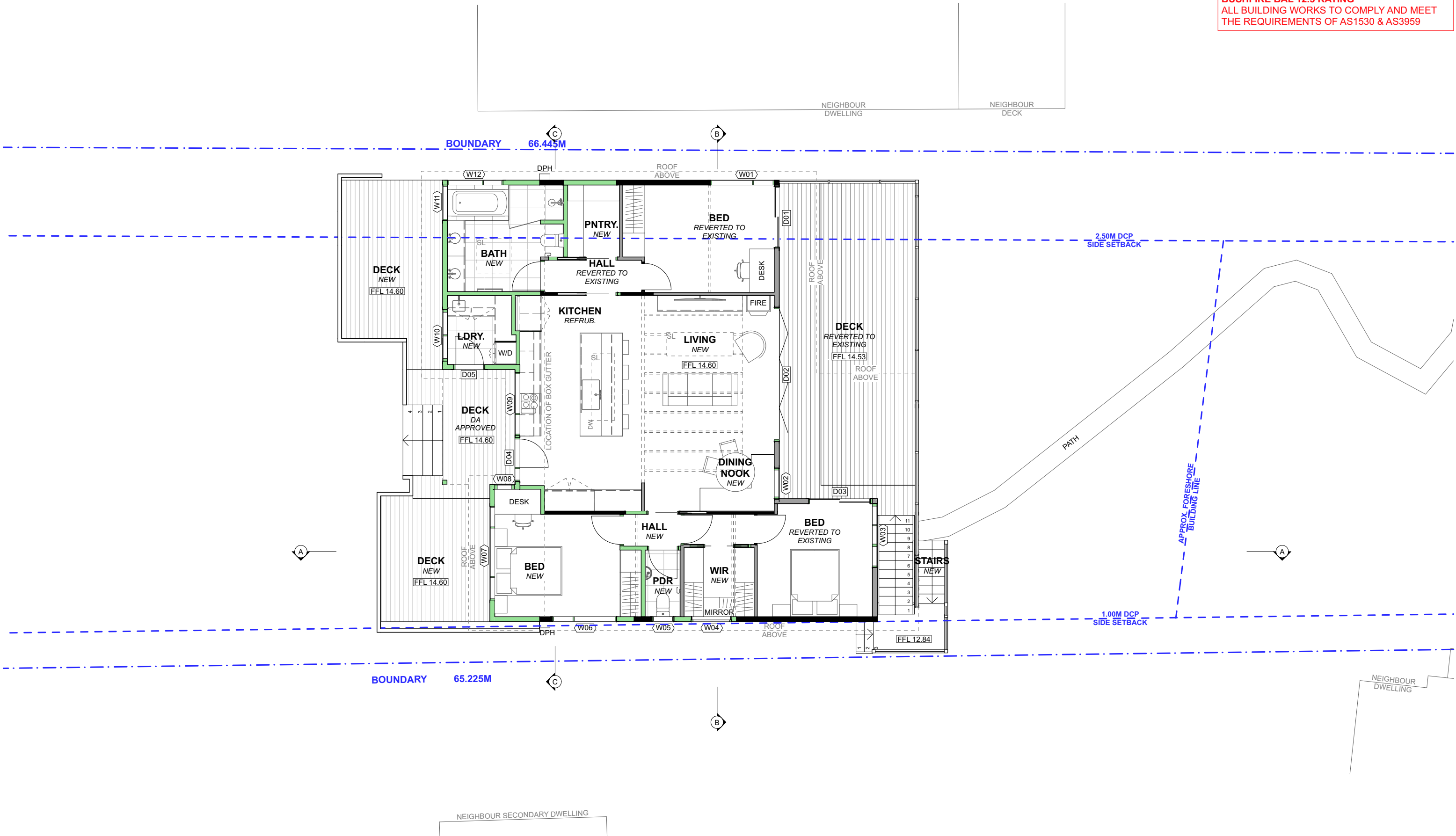
1 DA APPROVED GROUND FLOOR PLAN 1:100

NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>LEGEND</b> <div>EXISTING</div> <div>REMOVED DA</div> <div>PROPOSED</div> <div>REVERTED TO EXISTING</div>	<b>ABBREVIATIONS</b> CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	<b>NORTH POINT</b> 	<b>CLIENTS:</b> KERRY & KURT HAMANN  <b>SITE ADDRESS:</b> 43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105	<b>DRAWING TITLE:</b> DA APPROVED GROUND FLOOR PLAN	
		A	S4.55 SET	SB	15.12.23					<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 18/12/2023
										<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> S4.55 07



BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1 PROPOSED GROUND FLOOR PLAN 1:100



progressive plans  
0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	S4.55 SET	SB	15.12.23

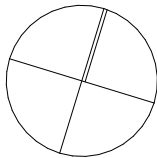
LEGEND

- EXISTING
- REMOVED DA
- PROPOSED
- REVERTED TO EXISTING

ABBREVIATIONS

CPD: CUPBOARD  
DP: DOWNPIPE  
DPS: DOWN PIPE SPITTER  
DPH: DOWN PIPE RAIN HEAD  
FFL: FINISHED FLOOR LEVEL  
FW: FLOOR WASTE  
HWS: HOT WATER SYSTEM  
RL: REDUCED LEVEL  
SA: SMOKE ALARM

NORTH POINT



CLIENTS:

KERRY & KURT HAMANN

SITE ADDRESS:

43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE:

PROPOSED GROUND FLOOR PLAN

SCALE:

1:100 @A3

PROJECT NO:

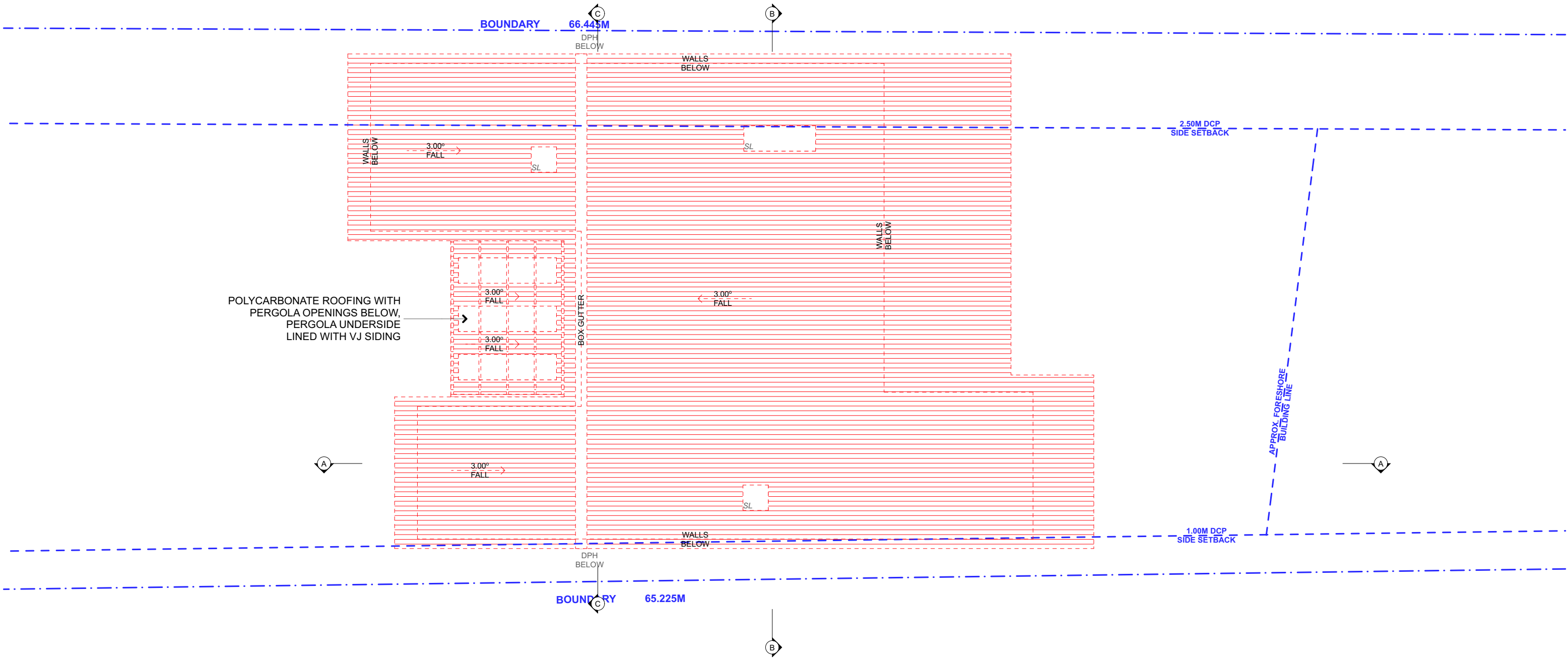
1010

DATE:

18/12/2023


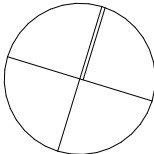
DRAWING NO:

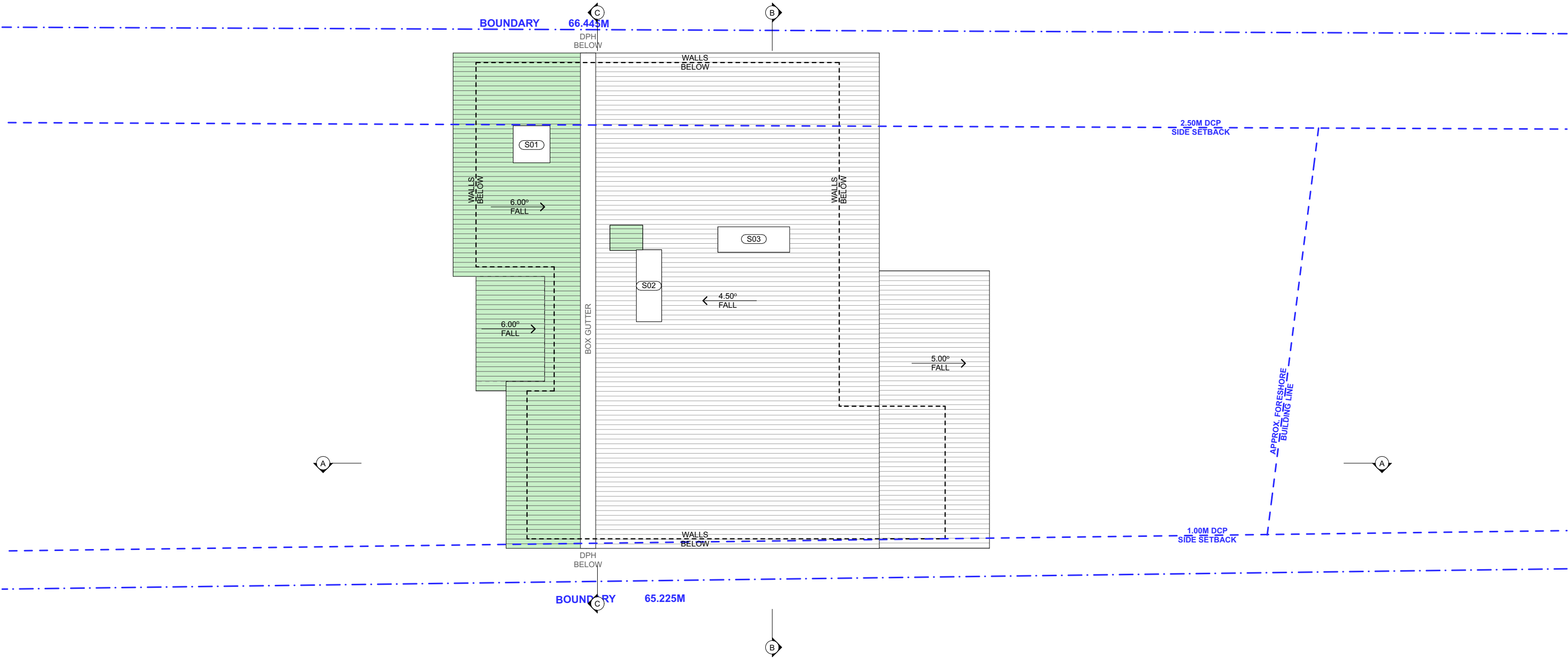
S4.55 08



1 DA APPROVED ROOF PLAN 1:100


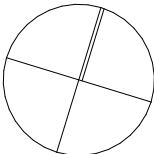
NOTE: ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601-2001

<div></div> <div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	<div>NOTES</div> <div>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</div>	REV.	NOTES.	INITIAL	DATE	<div>LEGEND</div> <div><div><div></div>EXISTING</div><div><div>3.00°</div>REMOVED DA</div><div><div></div>PROPOSED</div><div><div></div>REVERTED TO EXISTING</div></div>	<div>ABBREVIATIONS</div> <div>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM</div>	<div>NORTH POINT</div> <div></div>	<div>CLIENTS:</div> <div>KERRY &amp; KURT HAMANN</div> <div>SITE ADDRESS:</div> <div>43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105</div>	DRAWING TITLE: DA APPROVED ROOF PLAN	
		A	S4.55 SET	SB	15.12.23					SCALE: 1:100 @A3	DATE: 18/12/2023
										PROJECT NO: 1010	DRAWING NO: S4.55 09

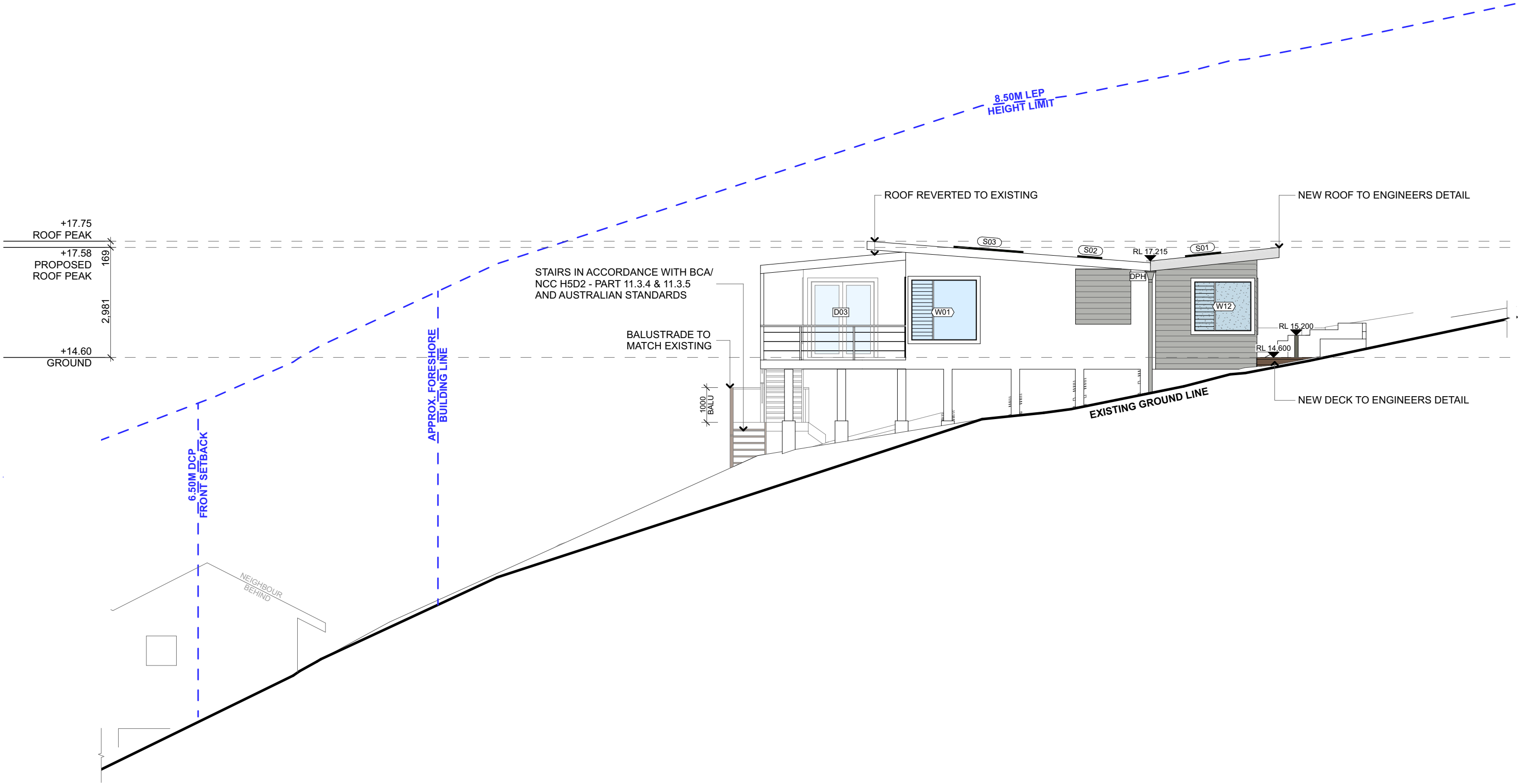


1 PROPOSED ROOF / CONCEPT STORMWATER PLAN 1:100

NOTE: PROPOSED DOWNPIPES TO DRAIN INTO EXISTING STORMWATER LINES

 <div>progressive plans 0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	NOTES THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>LEGEND</b> <div><div></div> EXISTING</div> <div><div></div> REMOVED DA</div> <div><div></div> PROPOSED</div> <div><div></div> REVERTED TO EXISTING</div>	<b>ABBREVIATIONS</b> CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL FW: FLOOR WASTE HWS: HOT WATER SYSTEM RL: REDUCED LEVEL SA: SMOKE ALARM	<b>NORTH POINT</b> 	<b>CLIENTS:</b> KERRY & KURT HAMANN  <b>SITE ADDRESS:</b> 43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105	<b>DRAWING TITLE:</b> PROPOSED ROOF / CONCEPT STORMWATER PLAN	
		A	S4.55 SET	SB	15.12.23					<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 18/12/2023
										<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> S4.55 10

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1

NORTH ELEVATION

1:100



progressive plans

0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.

NOTES.

INITIAL

DATE

A	S4.55 SET	SB	15.12.23

LEGEND

- EXISTING
- REMOVED DA
- ROOF - NEW
- BRICKS - MATCH EXISTING OR SIMILAR

- DECK
- WEATHERBOARD - WHITE
- GLAZING

ABBREVIATIONS

- CPD: CUPBOARD
- DP: DOWNPIPE
- DPS: DOWN PIPE SPITTER
- DPH: DOWN PIPE RAIN HEAD
- FFL: FINISHED FLOOR LEVEL
- HWS: HOT WATER SYSTEM
- RL: REDUCED LEVEL

CLIENTS:

KERRY & KURT HAMANN

SITE ADDRESS:

43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE:

ELEVATIONS - NORTH

SCALE:

1:100 @A3

DATE:

18/12/2023

PROJECT NO:

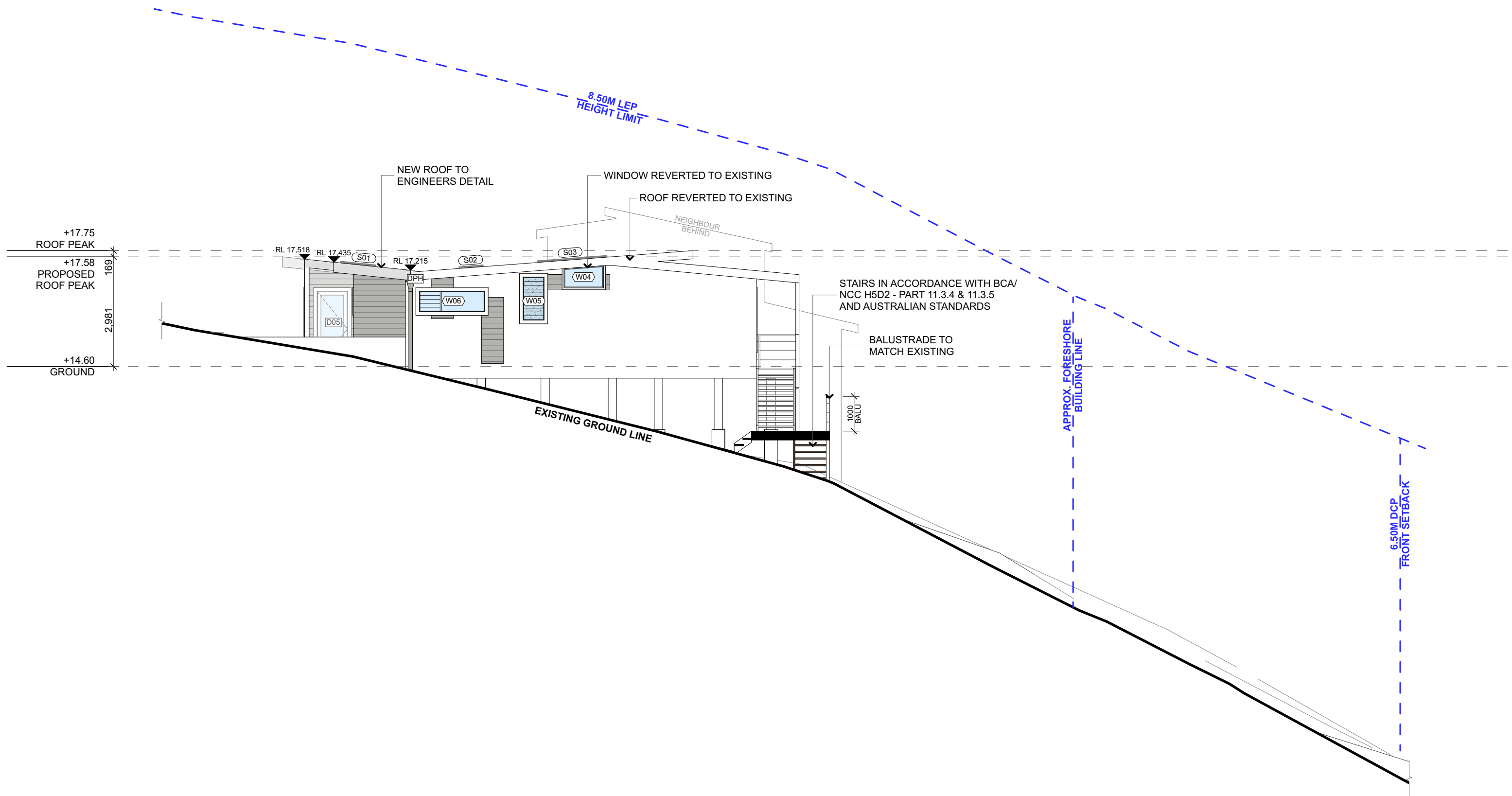
1010

DRAWING NO:


S4.55 11



**BUSHFIRE BAL 12.5 RATING**  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959

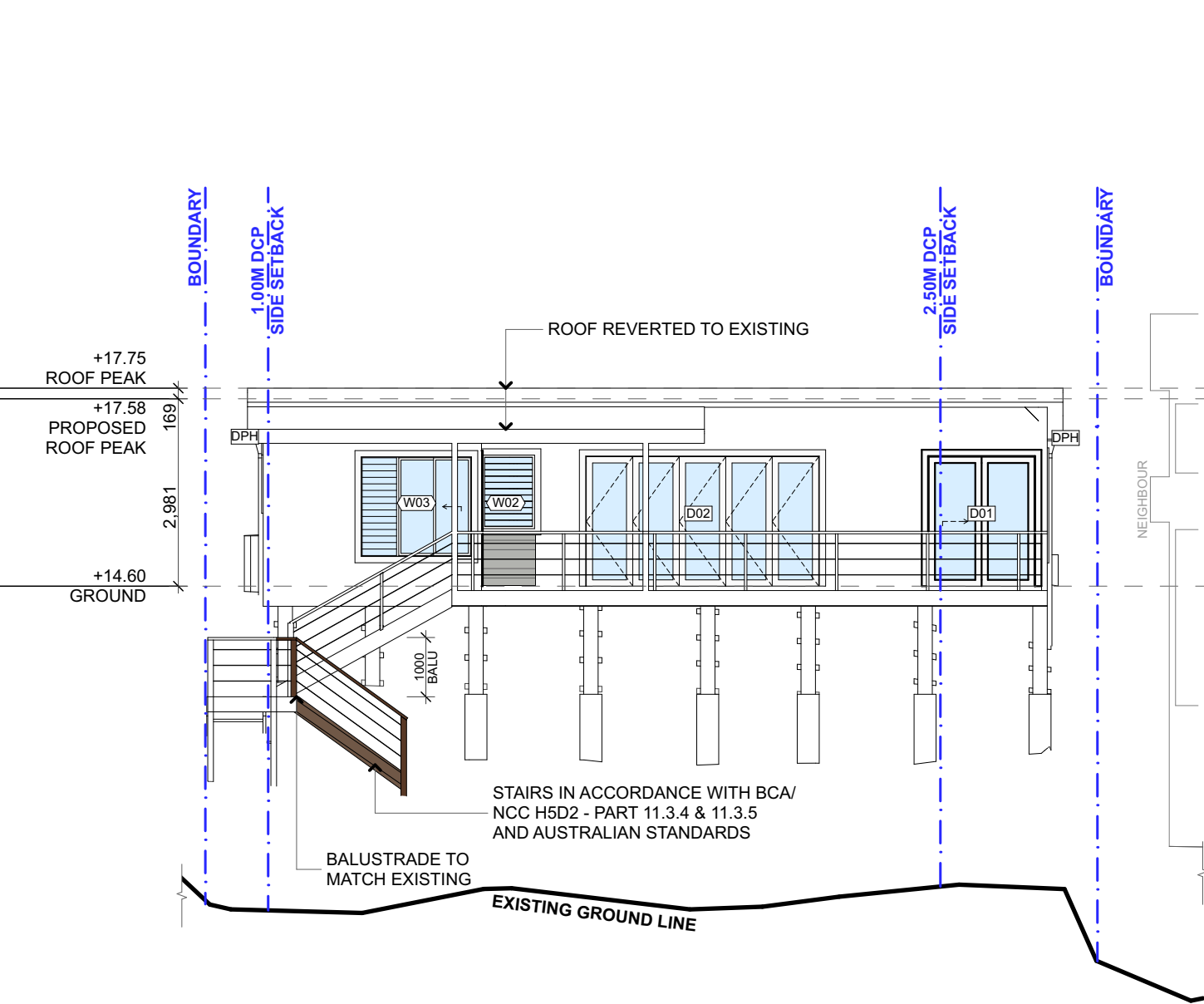


**1 SOUTH ELEVATION 1:100**

<div></div> <div><p>progressive plans</p><p>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</p></div>	<p><b>NOTES</b></p> <p>THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.</p>	<p><b>REV.</b></p> <p>A</p>	<p><b>NOTES.</b></p> <p>\$4.55 SET</p>	<p><b>INITIAL</b></p> <p>SB</p>	<p><b>DATE</b></p> <p>15.12.23</p>	<p><b>LEGEND</b></p> <div><div><div>■</div>EXISTING</div><div><div>▨</div>REMOVED DA</div><div><div>□</div>ROOF - NEW</div><div><div>■</div>BRICKS - MATCH EXISTING OR SIMILAR</div></div> <div><div><div>■</div>DECK</div><div><div>▨</div>WEATHERBOARD - WHITE GLAZING</div></div>	<p><b>ABBREVIATIONS</b></p> <p>CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL</p>	<p><b>Clients:</b></p> <p>KERRY &amp; KURT HAMANN</p> <p><b>SITE ADDRESS:</b></p> <p>43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105</p>	<p><b>DRAWING TITLE:</b></p> <p>ELEVATIONS - SOUTH</p> <table><tr><td><p><b>SCALE:</b></p><p>1:100 @A3</p></td><td><p><b>DATE:</b></p><p>18/12/2023</p></td></tr><tr><td><p><b>PROJECT NO:</b></p><p>1010</p></td><td><p><b>DRAWING NO:</b></p><p>\$4.55 12</p></td></tr></table>	<p><b>SCALE:</b></p> <p>1:100 @A3</p>	<p><b>DATE:</b></p> <p>18/12/2023</p>	<p><b>PROJECT NO:</b></p> <p>1010</p>	<p><b>DRAWING NO:</b></p> <p>\$4.55 12</p>
		<p><b>SCALE:</b></p> <p>1:100 @A3</p>	<p><b>DATE:</b></p> <p>18/12/2023</p>										
		<p><b>PROJECT NO:</b></p> <p>1010</p>	<p><b>DRAWING NO:</b></p> <p>\$4.55 12</p>										

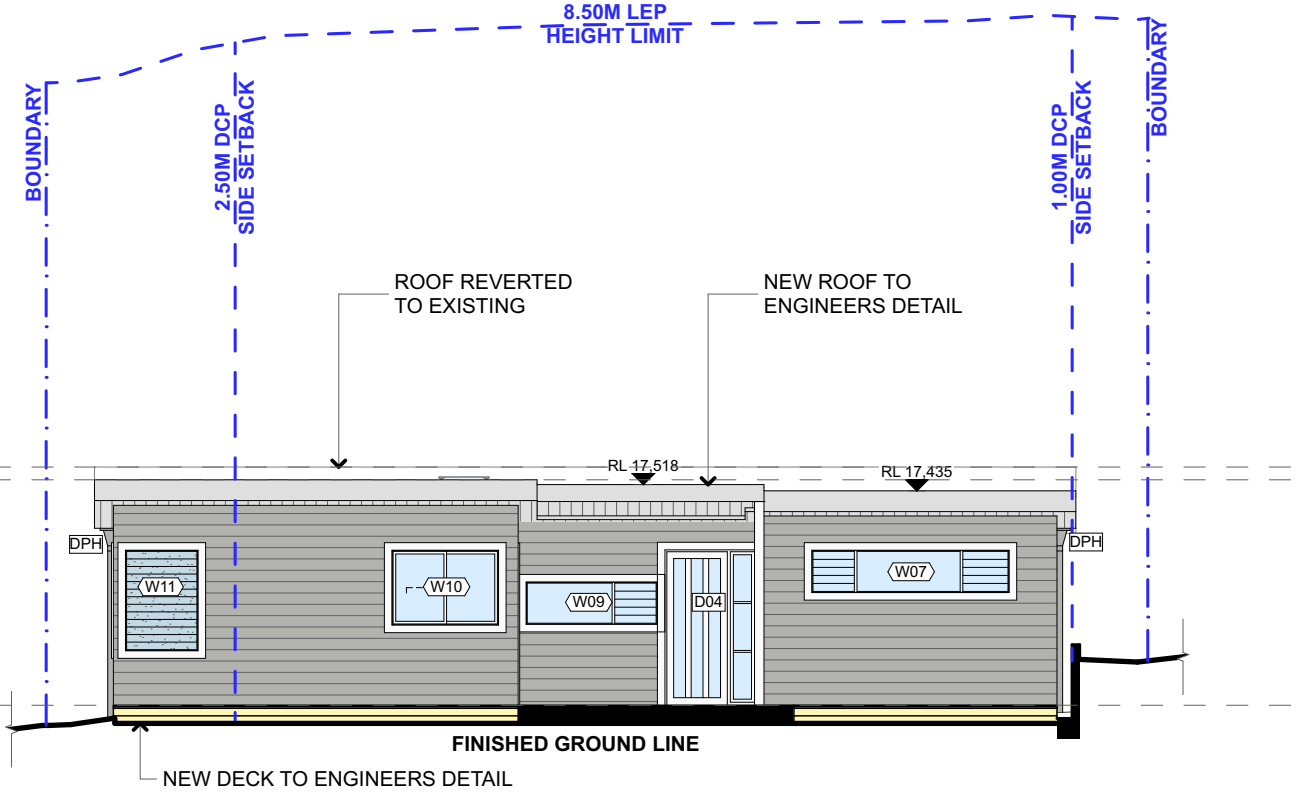
**BUSHFIRE BAL 12.5 RATING**  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959

**NOTE:** HEIGHT LIMIT IS RELATIVE TO THE  
LOCATION OF THE ELEVATION




1 EAST ELEVATION

1:100

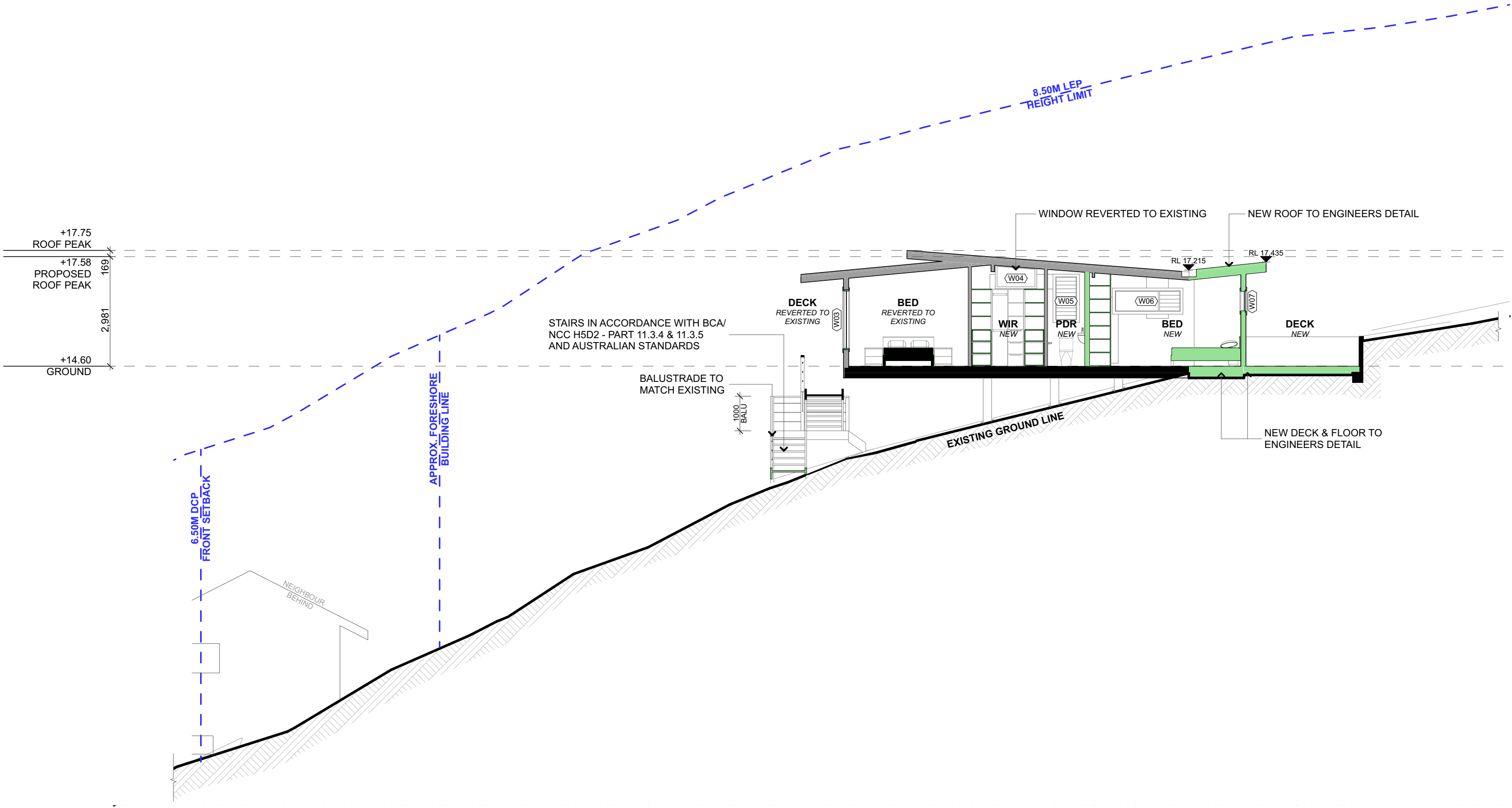


2 WEST ELEVATION

1:100

 <div>progressive plans</div> <div>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	<b>NOTES</b> THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>LEGEND</b> <div><div>EXISTING</div><div>REMOVED DA</div><div>ROOF - NEW</div><div>BRICKS - MATCH EXISTING OR SIMILAR</div><div>DECK</div><div>WEATHERBOARD - WHITE</div><div>GLAZING</div></div>	<b>ABBREVIATIONS</b> CPD: CUPBOARD DP: DOWNPIPE DPS: DOWN PIPE SPITTER DPH: DOWN PIPE RAIN HEAD FFL: FINISHED FLOOR LEVEL HWS: HOT WATER SYSTEM RL: REDUCED LEVEL	<b>CLIENTS:</b> KERRY & KURT HAMANN  <b>SITE ADDRESS:</b> 43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105	<b>DRAWING TITLE:</b> ELEVATIONS - EAST & WEST	
		A	S4.55 SET	SB	15.12.23				<b>SCALE:</b> 1:100 @A3	<b>DATE:</b> 18/12/2023
									<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> S4.55 13

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1

SECTION A

1:100



progressive plans

0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.

NOTES.

INITIAL

DATE

A	S4.55 SET	SB	15.12.23

LEGEND

- EXISTING
- REMOVED DA
- PROPOSED
- REVERTED TO EXISTING

ABBREVIATIONS

CPD: CUPBOARD  
DP: DOWNPIPE  
DPS: DOWN PIPE SPITTER  
DPH: DOWN PIPE RAIN HEAD  
FFL: FINISHED FLOOR LEVEL  
HWS: HOT WATER SYSTEM  
RL: REDUCED LEVEL

CLIENTS:

KERRY & KURT HAMANN

SITE ADDRESS:

43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE:

SECTIONS - A

SCALE:

1:100 @A3

DATE:

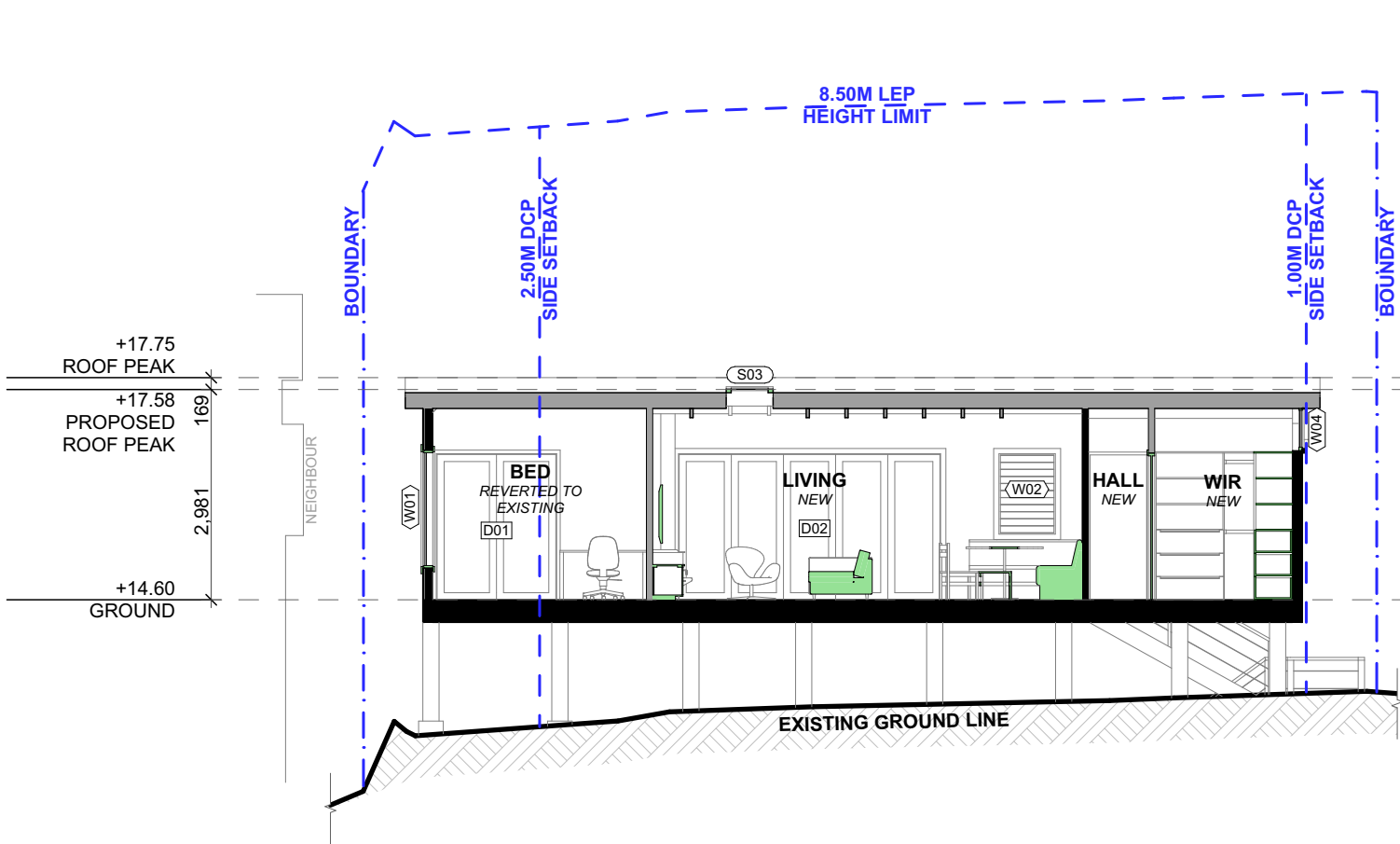
18/12/2023

PROJECT NO:

1010

DRAWING NO:

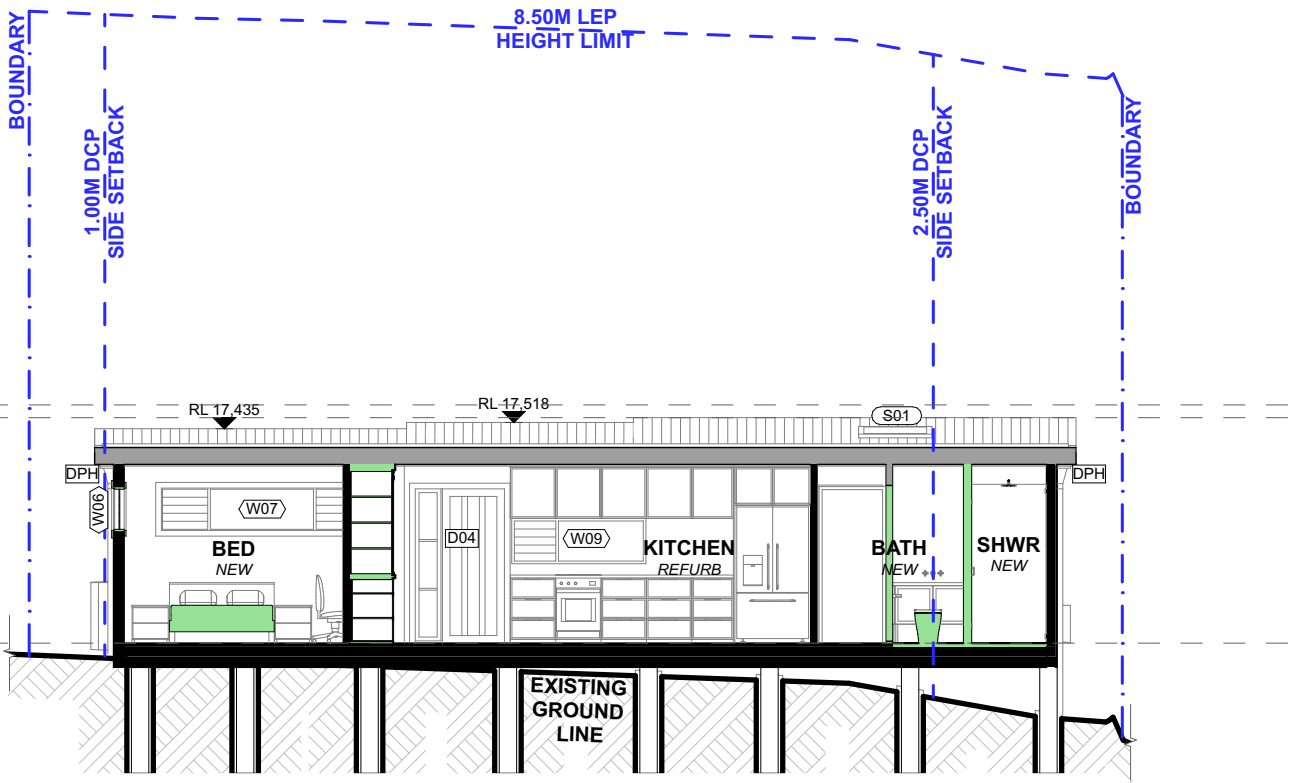
S4.55 14



1

SECTION B

1:100



2

SECTION C

1:100



progressive plans

0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.

NOTES.

INITIAL

DATE

LEGEND

- EXISTING
- REMOVED DA
- PROPOSED
- REVERTED TO EXISTING

ABBREVIATIONS

- CPD: CUPBOARD
- DP: DOWNPIPE
- DPS: DOWN PIPE SPITTER
- DPH: DOWN PIPE RAIN HEAD
- FFL: FINISHED FLOOR LEVEL
- HWS: HOT WATER SYSTEM
- RL: REDUCED LEVEL

CLIENTS:

KERRY & KURT HAMANN

SITE ADDRESS:

43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE:

SECTIONS - B & C

SCALE:

1:100 @A3

DATE:

18/12/2023

PROJECT NO:

1010

DRAWING NO:

S4.55 15

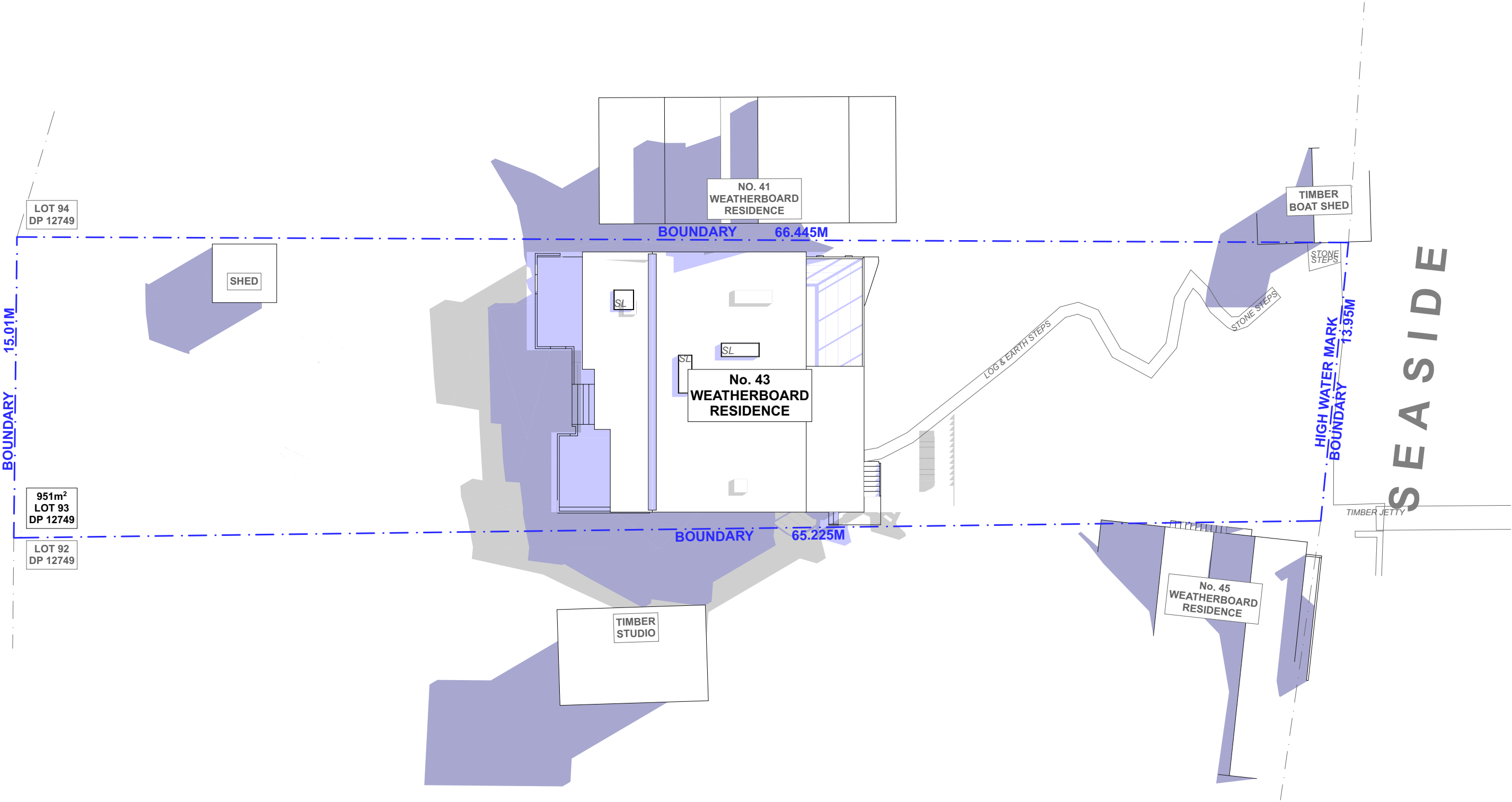




FLORENCE TERRACE

EDGE OF DIRT TRACK

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1

SHADOW DIAGRAM - JUNE 21 - 9AM

1:200



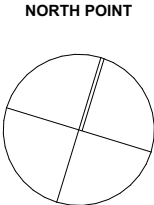
progressive plans  
0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES  
THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	S4.55 SET	SB	15.12.23

- LEGEND
- EXISTING SHADOWS
  - PROPOSED SHADOW REDUCTIONS
  - PROPOSED SHADOW ADDITIONS

ABBREVIATIONS  
DP: DEPOSIT PLAN  
SP: STRATA PLAN



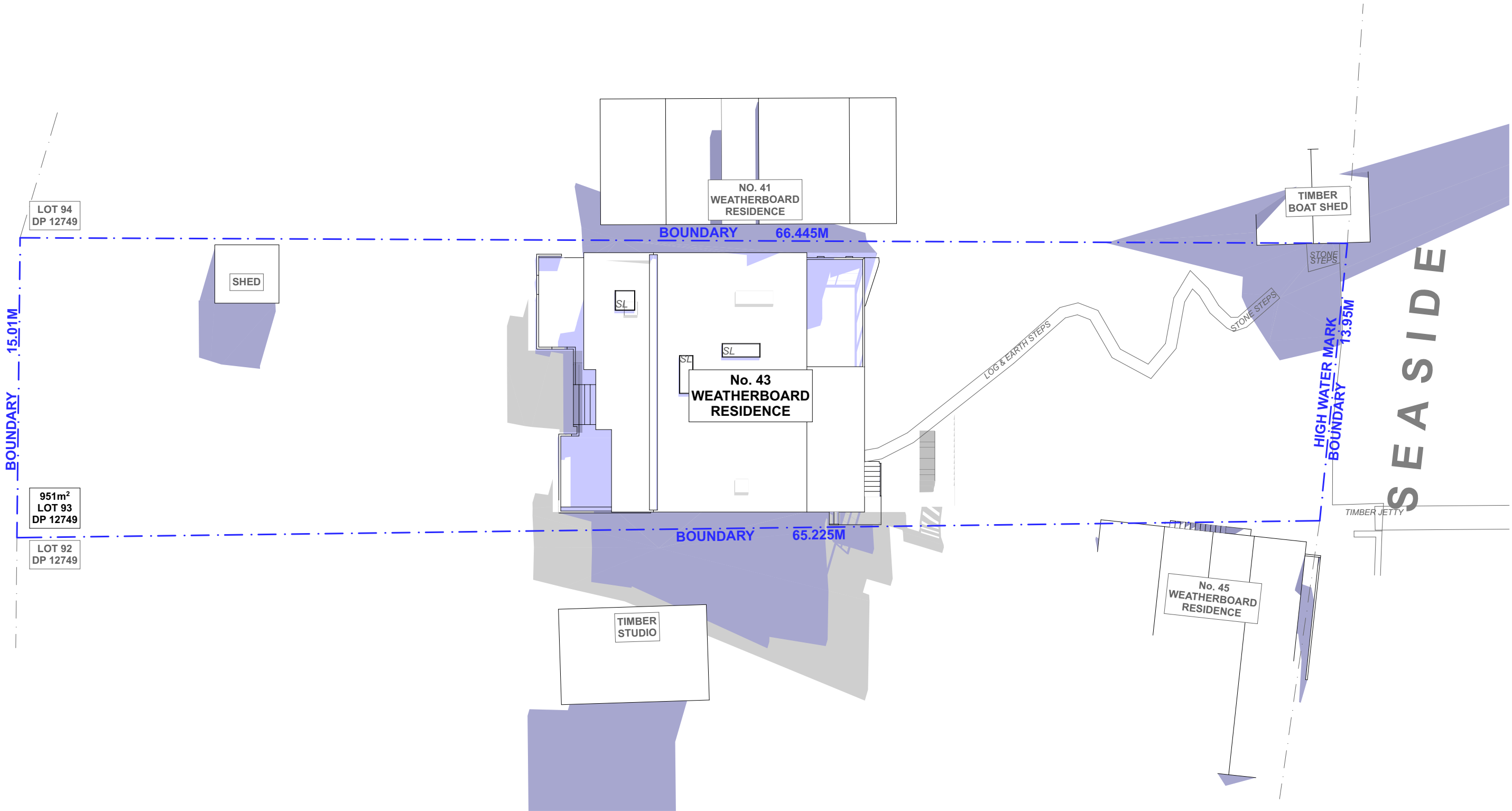
CLIENTS:  
KERRY & KURT HAMANN  
  
SITE ADDRESS:  
43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 9AM	
SCALE: 1:200 @A3	DATE: 18/12/2023
PROJECT NO: 1010	DRAWING NO: S4.55 17

FLORENCE TERRACE

EDGE OF DIRT TRACK

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1

SHADOW DIAGRAM - JUNE 21 - 12PM

1:200



progressive plans  
0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES

THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	S4.55 SET	SB	15.12.23

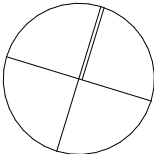
LEGEND

- EXISTING SHADOWS
- PROPOSED SHADOW REDUCTIONS
- PROPOSED SHADOW ADDITIONS

ABBREVIATIONS

DP: DEPOSIT PLAN  
SP: STRATA PLAN

NORTH POINT



CLIENTS:

KERRY & KURT HAMANN

SITE ADDRESS:

43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE:

SHADOW DIAGRAM - JUNE 21ST - 12PM

SCALE:  
1:200 @A3

PROJECT NO:  
1010

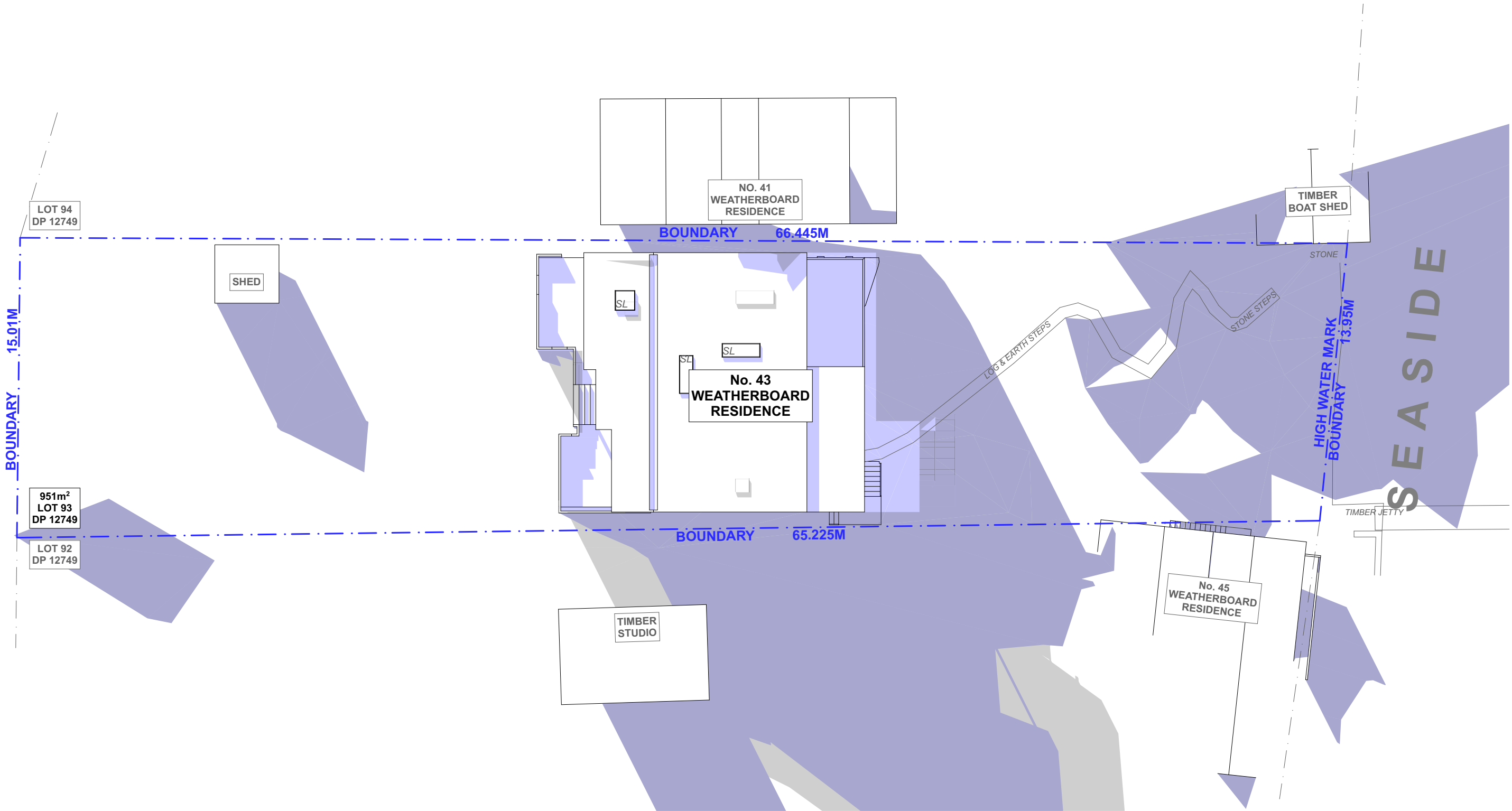
DATE:  
18/12/2023

DRAWING NO:  
S4.55 18

FLORENCE TERRACE

EDGE OF DIRT TRACK

BUSHFIRE BAL 12.5 RATING  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959



1

SHADOW DIAGRAM - JUNE 21 - 3PM

1:200



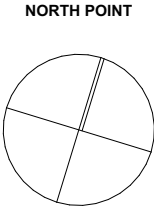
progressive plans  
0400 699 850  
16 BOWLING GREEN LANE  
AVALON, NSW, 2107  
HELLO@PROGRESSIVEPLANS.COM.AU  
WWW.PROGRESSIVEPLANS.COM.AU

NOTES  
THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.

REV.	NOTES.	INITIAL	DATE
A	S4.55 SET	SB	15.12.23

- LEGEND
- EXISTING SHADOWS
  - PROPOSED SHADOW REDUCTIONS
  - PROPOSED SHADOW ADDITIONS

ABBREVIATIONS  
DP: DEPOSIT PLAN  
SP: STRATA PLAN



CLIENTS:  
KERRY & KURT HAMANN  
  
SITE ADDRESS:  
43 FLORENCE TERRACE  
SCOTLAND ISLAND, NSW, 2105

DRAWING TITLE: SHADOW DIAGRAM - JUNE 21ST - 3PM	
SCALE: 1:200 @A3	DATE: 18/12/2023
PROJECT NO: 1010	DRAWING NO: S4.55 19



Alterations and Additions

Certificate number: A1730672

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Monday, 18 December 2023  
To be valid, this certificate must be lodged within 3 months of the date of issue.




Project address	
Project name	SCOTLAND ISLAND - 43 Florence Terrace
Street address	43 FLORENCE TERRACE - SCOTLAND ISLAND 2105
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 93
Lot number	12749
Section number	-
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
<b>Certificate Prepared by</b> (please complete before submitting to Council or PCA)	
Name / Company Name: Progressive Plans	
ABN (if applicable): 59879808402	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check												
Lighting															
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓												
Fixtures															
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓												
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓												
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓													
Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check												
Insulation requirements															
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓												
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>suspended floor with open subfloor: framed (R0.7).</td><td>R0.8 (down) (or R1.50 including construction)</td><td>N/A</td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.30 (or R1.70 including construction)</td><td></td></tr><tr><td>raked ceiling, pitched/skillion roof: framed</td><td>ceiling: R3.00 (up), roof: foil/sarking</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>				Construction	Additional insulation required (R-value)	Other specifications	suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A	external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
Construction	Additional insulation required (R-value)	Other specifications													
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A													
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)														
raked ceiling, pitched/skillion roof: framed	ceiling: R3.00 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)													
Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check												
Windows and glazed doors															
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓												
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓												
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓												
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓												
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓												
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓												
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓												
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓												


**BUSHFIRE BAL 12.5 RATING**  
ALL BUILDING WORKS TO COMPLY AND MEET THE REQUIREMENTS OF AS1530 & AS3959

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
<b>Windows and glazed doors glazing requirements</b>									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
W01	N	3.01	3.21	1.97	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W08	N	0.66	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W12	N	2.15	1.02	1.97	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
D03	N	3.6	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D01	E	3.61	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D02	E	7.94	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W02	E	1.03	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W03	E	2.91	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W05	S	0.74	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W06	S	1.08	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D05	S	1.67	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W07	W	1.59	0	0	eave/ verandah/ pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)			
W09	W	1.06	0	0	eave/ verandah/ pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W10	W	1.49	15.69	5.09	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W11	W	1.37	15.69	5.09	eave/ verandah/ pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

 <div>progressive plans</div> <div>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div>	<b>NOTES</b> THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>NOTES</b> - DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS - DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER - NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH PART 3.9.2.6 OF NCC - NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH PART 3.9.2.7 OF NCC	<b>CLIENTS:</b> KERRY & KURT HAMANN  <b>SITE ADDRESS:</b> 43 FLORENCE TERRACE SCOTLAND ISLAND, NSW, 2105	<b>DRAWING TITLE:</b> BASIX REQUIREMENTS	
		A	\$4.55 SET	SB	15.12.23				
								<b>SCALE:</b>	<b>DATE:</b> 18/12/2023
								<b>PROJECT NO:</b> 1010	<b>DRAWING NO:</b> S4.55 20

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
D04	W	2.57	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
Skylights									
The applicant must install the skylights in accordance with the specifications listed in the table below.							✔	✔	✔
The following requirements must also be satisfied in relation to each skylight:								✔	✔
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.								✔	✔
Skylights glazing requirements									
Skylight number		Area of glazing inc. frame (m2)	Shading device		Frame and glass type				
S01		0.95	no shading		timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)				
S02		1.29	no shading		timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)				
S03		1.29	no shading		timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)				
Legend									
In these commitments, "applicant" means the person carrying out the development.									
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).									
Commitments identified with a ✔ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.									
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.									

**BUSHFIRE BAL 12.5 RATING**  
ALL BUILDING WORKS TO COMPLY AND MEET  
THE REQUIREMENTS OF AS1530 & AS3959

 <div><div>progressive plans</div><div>0400 699 850 16 BOWLING GREEN LANE AVALON, NSW, 2107 HELLO@PROGRESSIVEPLANS.COM.AU WWW.PROGRESSIVEPLANS.COM.AU</div></div>	<b>NOTES</b>  THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE DRAFTING OFFICE. DO NOT SCALE THE DRAWING. THE WORK MUST BE VERIFIED BY STRUCTURAL ENGINEER BEFORE WORK COMMENCES.	REV.	NOTES.	INITIAL	DATE	<b>NOTES</b>  - DOORS, WINDOWS & SKYLIGHTS TO MEET BASIX/NATHERS REQUIREMENTS - DOORS, WINDOWS & SKYLIGHTS TO BE ORDERED TO MEASURE BY BUILDER/SUPPLIER - NEW WINDOWS TO BEDROOMS IN ACCORDANCE WITH PART 3.9.2.6 OF NCC - NEW WINDOWS TO ROOMS OTHER THAN BEDROOMS IN ACCORDANCE WITH PART 3.9.2.7 OF NCC	<b>CLIENTS:</b> <b>KERRY &amp; KURT HAMANN</b>  <b>SITE ADDRESS:</b> <b>43 FLORENCE TERRACE</b> <b>SCOTLAND ISLAND, NSW, 2105</b>	<b>DRAWING TITLE:</b> <b>BASIX REQUIREMENTS</b>	
		A	S4.55 SET	SB	15.12.23				
								<b>SCALE:</b>	<b>DATE:</b> 18/12/2023
								<b>PROJECT NO:</b> <b>1010</b>	<b>DRAWING NO:</b> <b>S4.55 21</b>