

18 SEP 2014

General Manager
Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/ Madam

Development Consent No. N0288/10
Construction Certificate No. 2011/4166

For Council's information, please find enclosed the following:

1. Occupation Certificate No. 2011/4168
2. A cheque for \$36.00 being Council's administration fee to accept the above. **Please send receipt to Insight Building Certifiers, PO Box 326, Mona Vale 1660.**

Yours faithfully,

A handwritten signature in blue ink, appearing to read "Bowden".

Tom Bowden
Insight Building Certifiers Pty Ltd

836 ~~REC~~ 367630 19/9/14

Determination of a Final Occupation Certificate Application

Made under Sections 109C(1)(c) and 109H of the Environmental Planning and Assessment Act 1979

Final Occupation Certificate No: 2011/4166

Land to which this certificate applies:

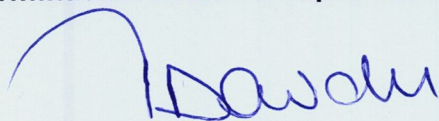
Address: 11 Whale Beach Road, Avalon

Lot No: 127 DP No: 17189

I approve the issuing of this Final Occupation Certificate and certify that:

- I have been appointed as the Principal Certifying Authority under Section 109E of the Environmental Planning & Assessment Act 1979.
- Current Development Consent No. N0288/10 is in force for this development.
- Construction Certificate No. 2011/4166 has been issued with respect to the plans and specifications for alterations and additions to an existing dwelling.
- The building is completed in accordance with its classification under the Building Code of Australia.
- A BASIX completion receipt has been issued for this development.
- Refer to the attached Schedule of all critical stage inspections.

Determination date: 18 September 2014



Tom Bowden

Accredited Certifier – Accreditation No. BPB0042

Schedule of critical stage inspections carried out or missed by the Principal Certifying Authority (Clause 151, 162A, 162B & 162C of the Environmental Planning & Assessment Regulations 1994)

Critical Stage Inspections	Inspected or Missed	Date Inspected
Prior to issue of a Construction Certificate	Inspected	03/02/2011
Excavation for footings	Inspected	16/02/2011
Prior to pouring of any in-situ reinforced concrete	Inspected	16/02/2011
Prior to the covering of any framework	Inspected	18/05/2011
Prior to covering waterproofing in any wet area	Inspected	30/06/2011
Prior to covering any stormwater drainage connections	Inspected	16/07/2014
Other required inspections		
Final Inspection	Inspected	16/07/2014 & 3/09/2014

Schedule of Compliance Certificates or other documentary evidence relied upon to issue the Final Occupation Certificate

Termite Protection	Certificate of Treatment issued by Fumapest Australia Pty Ltd dated 9 June 2011.
Smoke Alarms	Certificate of Installation issued by K & J King Electrical Contractors dated 1 September 2014.
Structural Engineer's Compliance Certificate	Issued by Northern Beaches Consulting Engineers Pty Ltd dated 20 March 2014.
BASIX Compliance Statement	Issued by Northern Beaches Homes dated 1 September 2014, accompanied by Glazing Certificate issued by BWG Windows and Doors dated 29 May 2014.
Waterproofing Compliance Certificate	Issued by Northern Beaches Homes dated 1 September 2014.
Survey Report	Prepared by Souter & Associates dated 14 April 2011

BASIX Completion Receipt

Receipt no.: CR-1411006362075-A85002

This receipt is confirmation that the certifying authority identified below has satisfied the requirements of clause 154C of the Environmental Planning and Assessment Regulation 2000 for the development described in the 'BASIX Certificate details' section below.

Director-General
Date of issue: Thursday, 18/09/2014



Principal certifying authority

Name: Tom
Accreditation scheme: BPB
Accreditation number: 0042

Final Inspection

Date of final inspection: Wednesday, 03/09/2014

BASIX Certificate details

BASIX Certificate no.	A85002
Project name	Brad White & Rebecca Lennon
Street address	11 Whale Beach Road
Suburb	Avalon Beach
Postcode	2107
Local Government Area	Pittwater Council

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area: Pittwater Date of Inspection: 16/2/11

Address: 11 Whale Beach Road Whale Beach

DA No. ✓ CC No. 2011/4166 CDC No. ✓

Requested by: Brad Ph No. 0416 724 663

Critical Stage Inspections

- | | | |
|--|---|---|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☒ Footings and Excavation | ☐ Waterproofing |
| ☒ PCA Signage | ☒ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☐ Roof Framing | ☒ Photographic record |
| ☐ Other (specify) _____ | | |

☒ An inspection of retaining wall footings for garage and rear slab has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$_____ will be charged, which is payable **PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.**

Retaining wall for garage excavation more than shown
and Engineer detail.

Steel to rear addition slab not ready
Engineer to inspect and certify

Signed: A Bailey
Accredited Building Surveyor

Accreditation No BPP 0015

Date: 16/2/11 ✓

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area : Pittwater Date of Inspection 18/5/11

Address 11 Whale Beach Road Whale Beach

DA No. CC No. 2011/4166 CDC No.

Requested by: Brad Ph No. 0416 124663

Critical Stage Inspections

- | | | |
|--|--|---|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☐ Footings and Excavation | ☐ Waterproofing |
| ☐ PCA Signage | ☐ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☒ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☒ Roof Framing | ☒ Photographic record |
| ☐ Other (specify) | | |

☐ An inspection of has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$_____ will be charged, which is payable **PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.**

Wall & roof framing satisfactory

Signed: A Bailey Accreditation No. BPB0015 Date: 18/5/11
Accredited Building Surveyor

BUILDING INSPECTION REPORT

Land to which this Building Inspection Report result sheet applies:

Council Area : Pittwater Date of Inspection 30/6/11
 Address : 11 Whale Beach Road Avalon
 DA No. _____ CC No. 2011/4166 CDC No. _____
 Requested by: Brad Ph No. 0416 124 663

Critical Stage Inspections

- | | | |
|--|--|---|
| ☐ Site Assessment - Pre CC/ CDC Issue | ☐ Footings and Excavation | ☒ Waterproofing |
| ☐ PCA Signage | ☐ Steel Placement | ☐ Stormwater |
| ☐ Sediment Controls | ☐ Floor Framing / Slab | ☐ Pool Fence |
| ☐ Tree Protection Measures | ☐ Wall Framing | ☐ Final Inspection |
| ☐ Building Commencement | ☐ Roof Framing | ☒ Photographic record |
| ☐ Other (specify) _____ | | |

☒ An inspection of waterproofing to bathroom & laundry has been carried out and has been found to be in compliance with the plans and specifications as approved in that Construction Certificate/Complying Development Certificate.

☐ Complete the work detailed hereunder.

☐ Complete the work detailed hereunder and contact the Principal Certifying Authority to arrange a re-inspection. NB A re-inspection fee of \$ _____ will be charged, which is payable **PRIOR TO THE RE-INSPECTION BEING CARRIED OUT.**

Waterproofing satisfactory

Signed: A Bailey Accreditation No. B060015 Date: 30/6/11 ✓
 Accredited Building Surveyor

KORDON TERMITE BARRIER

Warranty

This warranty is granted by Bayer Environmental Science ("Bayer") (ACN 000 226 022) of 391-393 Tooronga Road, Hawthorn East, Victoria in respect of the installation of Kordon Termite Barrier ("Kordon") in the Building.

Warranty No: 2011-6-1389

This Warranty covers damage by Subterranean Termites ("Termites") only.

Bayer warrants that Kordon shall restrict the entry of Termites into the Building through the Kordon barrier for a period of ten (10) years from the date of installation ("Warranty Period").

This Warranty covers damage by Termites to structural timbers and internal timbers BUT DOES NOT INCLUDE damage by Termites to:

- (a) chattels of any nature whatsoever including (but without limiting the foregoing) antiques, heirlooms, paintings, artwork and paintings; and
- (b) any pergolas, wiring, extensions to the Building and outhouses.

If Termite infestation of the Building occurs as a result of the failure of the Kordon and damage by Termites is caused to structural timbers and/or internal timbers fixtures and fittings during the Warranty Period, Bayer will without charge to the Owner:

- (a) repair the Kordon barrier where practicable; and/or
- (b) cause the repair or replacement of structural timbers and/or internal timbers so damaged.

To the extent permitted by the Law of the State or Territory in which the premises are located:

(a) the liability of Bayer under this Warranty is limited to a maximum of \$100,000.00 in respect of any one (1) warranty claim.

(b) All representations and other warranties express or implied and whether arising by virtue of Statute or otherwise are excluded or limited as stated in this Warranty.

This Warranty shall only have effect if the Kordon is installed by an Accredited Bayer Installer.

OWNERS RESPONSIBILITIES

The Owner of the Building during the Warranty Period ("Owner"), at the Owner's expense, arrange for thorough and regular inspection of the Building for the presence of Termites at intervals not exceeding 12 months by an accredited/licenced Timber Pest Inspector. Where the Termite risk is high or the Building type is susceptible to Termite attack (e.g. North of the 26th parallel) more frequent inspections (3-6 months) should be undertaken.

These inspection recommendations comply with those outlined in AS 3660 Termite Management Series and AS 4349.1-1995, Inspection of buildings.

If Termites are detected or are found to have breached the Kordon barrier, the Owner must, within 7 days of such detection, notify Bayer

EXCLUSIONS

This Warranty shall be void and have no effect in any of the following circumstances:

The Kordon barrier is damaged, modified, bridged or otherwise interfered with by any person or any act, fact, matter or thing beyond the reasonable control of Bayer. The Building is structurally modified, altered or otherwise changed in any way which would or may diminish the effectiveness of the Kordon as a Termite barrier. If at any time during the Warranty Period, the Owner

- (a) allows or fails to prevent accumulation of:
 - (i) wood, rubbish or timber against the Building; AND
 - (ii) finished ground level around the Building to a height which does not comply with the terms of the Installation Manual.
- (b) allows the barrier dividing the soil surface and the structure of the Building formed by the Kordon to be bridged or broken by any other material or matter through which Termites may by-pass the Kordon and infest the Building.

Termites shall enter the Building through any manner other than by a breach of the Kordon barrier. If the Kordon is installed other than by an Accredited Bayer Installer.

KORDON TERMITE BARRIER

Date of Installation: 25/02/2011
Installation Address: 11whale Beach Road
North Avalon
NSW, 2107

Company Contact: Michael DuBois
Company Name: Fumapest Australia Pty Ltd

Address: 39 Warren Avenue / PO Box 270
Bankstown
NSW, 2200

Phone Number: 02 9722 9000
Accreditation Number: N132

THIS WARRANTY SHALL BE VOID UNLESS THE KORDON HAS BEEN INSTALLED BY A BAYER ACCREDITED INSTALLER.

Bayer will grant additional specific warranty conditions where required to accommodate high density, commercial constructions, government buildings, etc on documented request.

KORDON[®] TERMITE BARRIER

Site Installation Report

This document is to certify that the Kordon TMB / TB system was installed by a Bayer Accredited Installer and has been completed in accordance with the Manufacturer's specifications. Kordon TMB / TB complies with AS 3660.1 - 2000, the primary referenced standard of the Building Code of Australia. Kordon TB is only part of a termite management system for a new property. The slab must be constructed in accordance with the Standard; Residential Slabs and Footings Construction, AS 2870-1996

NOTE: This document is to be attached to Warranty Document Number: 2011-6-1389

Date of Installation: 25/02/2011
Installation Address: 11whale Beach Road
North Avalon
NSW, 2107

Job Type: Large Job - Miscellaneous

Product used:

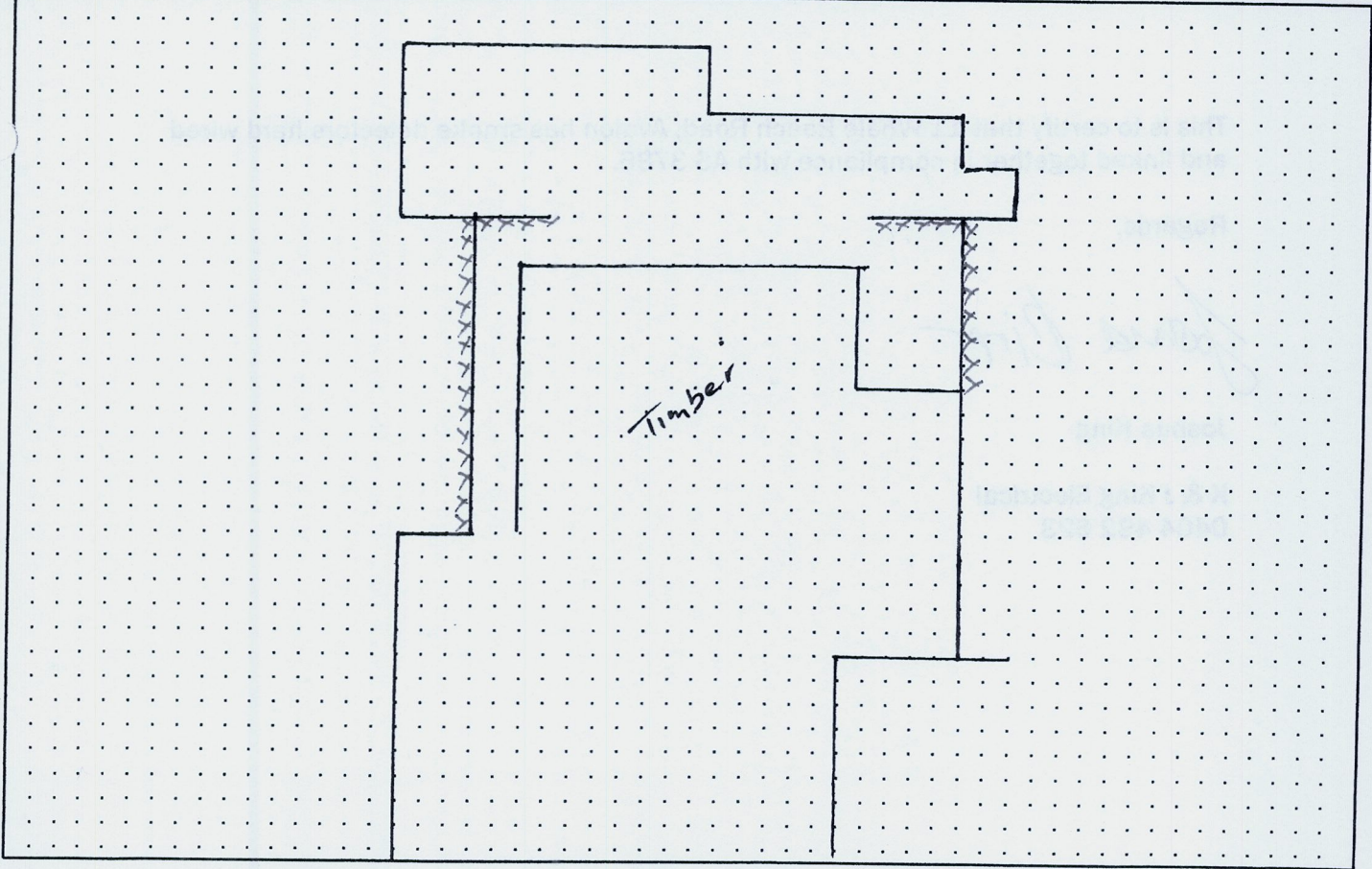
Linear Metres (m)	Product Width (mm)	Total SQM
14	300	4.20

Legend:

XX = TB

Service Penetrations

Kordon Kollars	0	0.00
Manual Collars	0	0.00
Total Kordon Installed:		4.2





DIRECTORS

Stewart McGeady Rick Wray Brad Seghers

Structural Certificate

Date: 20th March 2014 Job No. 101145

Builder: Northern Beaches Building Contractors

Engineer: BS/RW

Site: 11 WHALE BEACH ROAD, AVALON BEACH

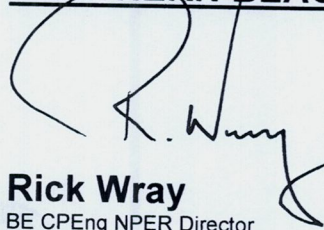
Brad Seghers of Northern Beaches Consulting Engineers P/L inspected the additions and alterations to the above building during construction.

We hereby certify that the construction of the reinforcement to the rear, garage and driveway slabs, the rear, front drive and garage retaining walls and footings, and the ground, first floor and roof framing, as detailed on the structural plans by Northern Beaches Consulting Engineers P/L (Job No: 101145), is generally in accordance with the above mentioned drawings, the site instructions issued during construction and Australian Standards AS 3600, AS 2870, AS 4678, AS 1170.1, AS 4100 and AS 1684.

This certificate does not relate to and we assume no responsibility for the certification of any structural or other elements that have not been inspected by the companies' representatives or are not referred to in this certificate.

We trust that this certificate meets with your requirements. Please contact the author if further clarification is required.

NORTHERN BEACHES CONSULTING ENGINEERS P/L


Rick Wray

BE CPEng NPER Director

XA\ENG NBC\2010\101145\SC001.docx

1 8 SEP 2014

BY:



Compliance Certificate



Brisbane Water Glass Pty Ltd
173 Blackwall Road,
Wey Wee
NSW 2256

is a participating member of the **AWA Accreditation Program**, provides a **7 year Guarantee** against faulty workmanship and materials (Refer to Manufacturer's Warranty), is committed to the **Industry Code of Conduct** and has met the requirements of the annual AWA **Compliance Audit** conducted by a NATA accredited auditor.

The manufacturer certifies that the windows and doors supplied to:

NORTHERN BEACHES HOMES
11 WHALE BEACH RD NETHAYALON NSW
Job ID: N6 WN14192 WN15961
11 WHALE BEACH RD NETHAYALON NSW

Delivered on:

have been manufactured to comply with the Australian Window Standard **AS2047** and the Glass Standard **AS1288** including human impact requirements as specified in the order.

WE CERTIFY THAT THE ITEMS COMPLY TO BASIX AS3002 DATED 25.8.2010
AND GLAZED WITH PYROLYTIC LOW-E GLASS



Accreditation No. 14724

The manufacturer is accredited by the National Association of Testing Authorities (NATA) for compliance with the requirements of the Australian Window Standard AS2047 and the Glass Standard AS1288.

The Builder/Installer certifies that the windows and doors supplied have been installed correctly and the human impact glass located in the correct openings

Builder / Installer

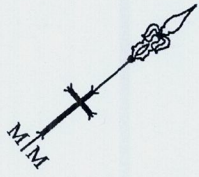
Date:

Visit the website: www.awa.org.au for accreditation details

AWA-000001-01
AWA-000001-01

SKETCH

SHOWING BOUNDARY MARK PLACED AT
No. 11 WHALE BEACH ROAD, AVALON



LGA : PITTWATER

WHALE BEACH ROAD

BURRAWONG

ROAD

ARC
4.79
RAD
3.05

9.145

NAIL IN LOW
BRICK WALL

BK. WALL-BDY
1.07

REND.WALL-BDY
1.06

TIMBER STUD WALL-BDY
1.05

No. 13

No. 11
2 STOREY
UNDER CONSTRUCTION

46.855

TIMBER STUD WALL-BDY
1.11

6.67

127

128

D P

1 7 1 8 9

12.19

2

DATE OF SURVEY : 14/04/2011
REF : 10-16

D P

2 2 2 7 5

I.J. SOUTER
REGISTERED SURVEYOR