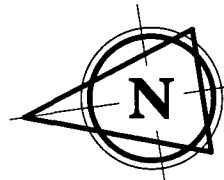


WORK SAFELY

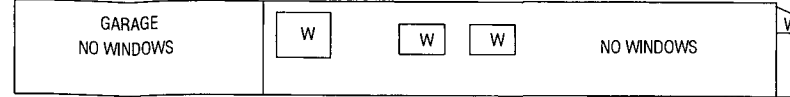
BM 60
NAIL IN KERB
RL 163 98
(AHD)



RENDERED BRICK
RESIDENCE
TILE ROOF
No 23
RIDGE
RL 169 69

EAVE RL 166 38

FL 163 88



FOR STORMWATER DESIGN - REFER TO
HYDRAULIC ENGINEERING DETAILS PREPARED BY ALW

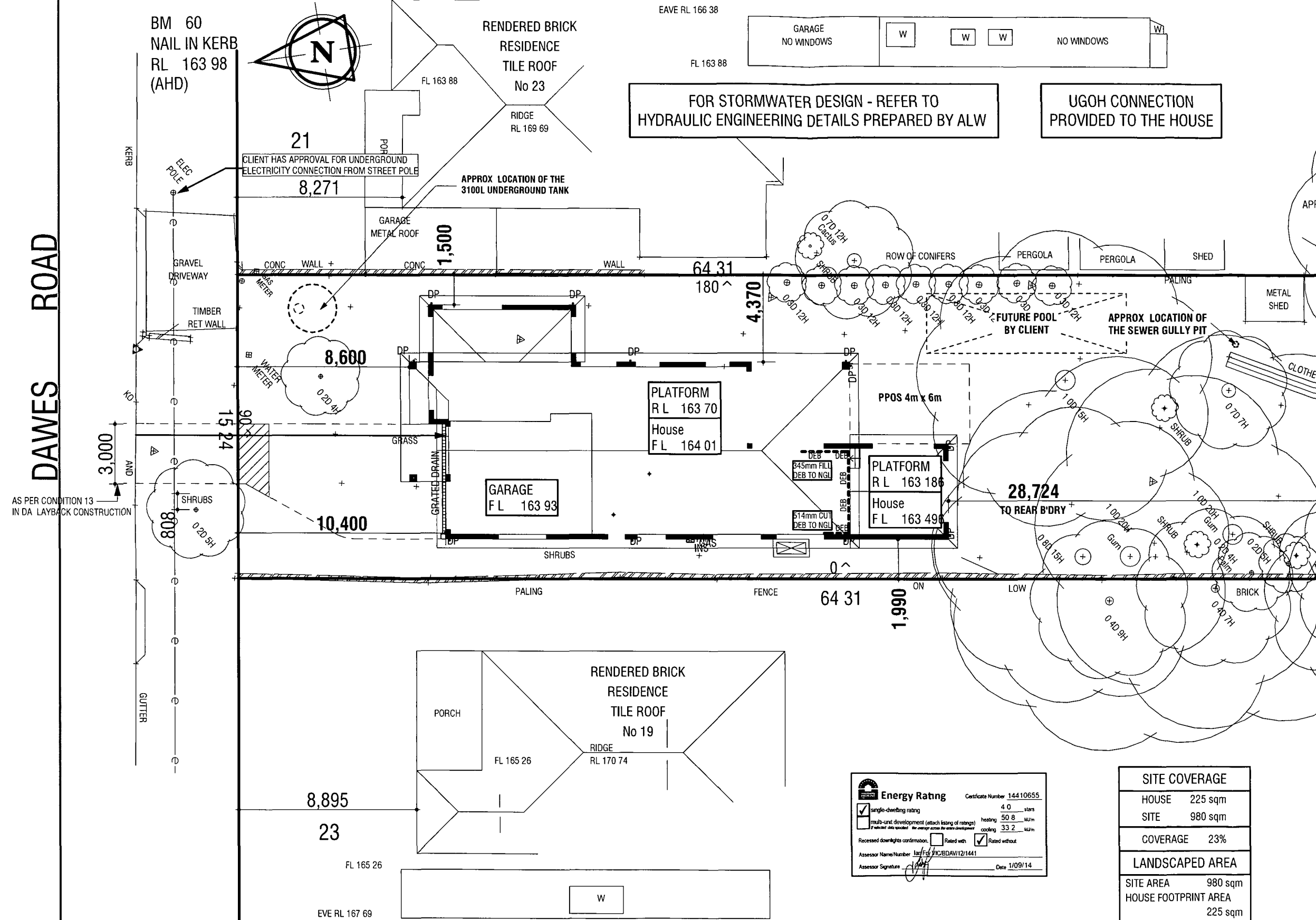
UGOH CONNECTION
PROVIDED TO THE HOUSE

CLIENT HAS APPROVAL FOR UNDERGROUND
ELECTRICITY CONNECTION FROM STREET POLE

APPROX LOCATION OF THE
3100L UNDERGROUND TANK

DAWES ROAD

AS PER CONDITION 13
IN DA LAYBACK CONSTRUCTION



LEGEND	
Existing Trees	
Stormwater Main	
Stormwater Disposal	
Existing Fencing	
Underground Power	
Overhead Power	
100 Dia Stormwater	
Trees to be removed prior to commencement of building operations	
A G Drain	
Sewer Pipe	
Fencing by Contractor	
Grated Drain	

NOTE MIN 200mm FREEBOARD
SITE CUT & FILL LEVELS MAY VARY DUE TO SITE CONDITIONS

DETAILS

DATUM RL 163 98 AHD

CONTOUR INTERVALS 0.20 Metres

WATER CONNECTION (BY THE BUILDER)
20mm line from water meter to entry point

WASTE DISPOSAL (BY THE BUILDER)
Connection to mains sewer in accordance with local authority requirements

ROOFWATER DISPOSAL (BY THE BUILDER)
Connection of downpipes to water tank and underground drain
Position of roofwater lines are indicative only and may vary depending on site

POWER CONNECTION
Installation to underground line by the builder
Connection of power to main line by Electricity Authority

EARTHWORKS (BY THE BUILDER) AG Drains 0 Metres
Cut and fill to create level building platform
Remove spoil from site
Earthworks indicated on the plan are for construction purposes only

LOCAL AUTHORITY WARRINGAH

TITLE PARTICULARS

LOT 22	DIA/PLAN 20287
VOL 980 1	PARISH MANLY COVE
FOL 22/20287	COUNTY CUMBERLAND

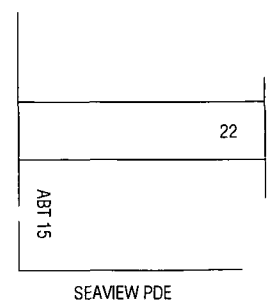
LOCATION UBD REF 156,H14

MAP REFERENCE LAT 33 73482

LONG 151 22305



DAWES ROAD



LEGEND

KO DENOTES KERB OUTLET

WC EC TC DENOTES SERVICE CONDUIT

SV DENOTES STOP VALVE

HYD DENOTES HYDRANT

NOTE BEARINGS SHOWN HAVE BEEN DETERMINED
FROM LAND & PROPERTY INFORMATION PLANS
AND ARE RELATED TO MAGNETIC NORTH
TRUE NORTH IS APPROXIMATE ONLY
FURTHER INVESTIGATION WOULD BE REQUIRED
TO DETERMINE ACCURATE TRUE NORTH



Energy Rating Certificate Number 14410655

Single-dwelling rating 4.0 stars

Multi-unit development (attach listing of ratings)

heating 50.8 MJ/m

cooling 33.2 MJ/m

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number: Iain F. McRae/12/1441

Assessor Signature: [Signature] Date: 1/09/14

SITE COVERAGE	
HOUSE	225 sqm
SITE	980 sqm
COVERAGE	23%
LANDSCAPED AREA	
SITE AREA	980 sqm
HOUSE FOOTPRINT AREA	225 sqm
PAVED AREA	52 sqm
LANDSCAPE OPEN SPACE	71%

AMENDED WORK ORDER

AMENDMENTS	RESIDENCE FOR
1 EL 7 3 NHP1b	MRS TOWILL
2 RC 20 9 13	LOT 22, 21 DAWES ROAD
3 MS 31 10 13	BELROSE 2085
4 LM 14 03 14 DA	
5 MS 29 8 14	
6	
7	
8	



68 Waterloo Rd Macquarie Park NSW 2113
Tel (02) 8817 1400 Fax (02) 8817 4801

Sekisui House Services (NSW) Pty Limited
ABN 42119550220 BL 226045C

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Site Plan		HAND	SHEET NO
Tiara 280		LH	01-2
NATURAL			2 of 18
DESIGN ID	NDUTIANA44N1	CONTRACT No	101176
SPECIFICATION	Essence	NHP	NHC
S I No	ISSUE	MASTER	DA 18/02/13
GEN	P	1/1/2012	SK 12/9/11
HT		EL 15 4 13	RC 24 5 13
		PC 02 05 13	LM 15 04 14
		ESSENCE UPGRADE	
		Aurora	

NOTE
OPENING RESTRICTOR TO SASH OF BEDROOM
WINDOWS AS REQUIRED BY THE BCA
NOTE
TRUSS STRENGTHENING BY MANUFACTURER
FOR AC MOTOR AS REQUIRED

**Energy Rating**

Certificate Number 14410655

☒ Single dwelling rating

4.0 stars

☒ Multi-unit development (attach listing of ratings)

50.8 MJ/m²

Relevant design information

☐ Rated with ☒ Rated without

33.2 MJ/m²

Assessor Name Number

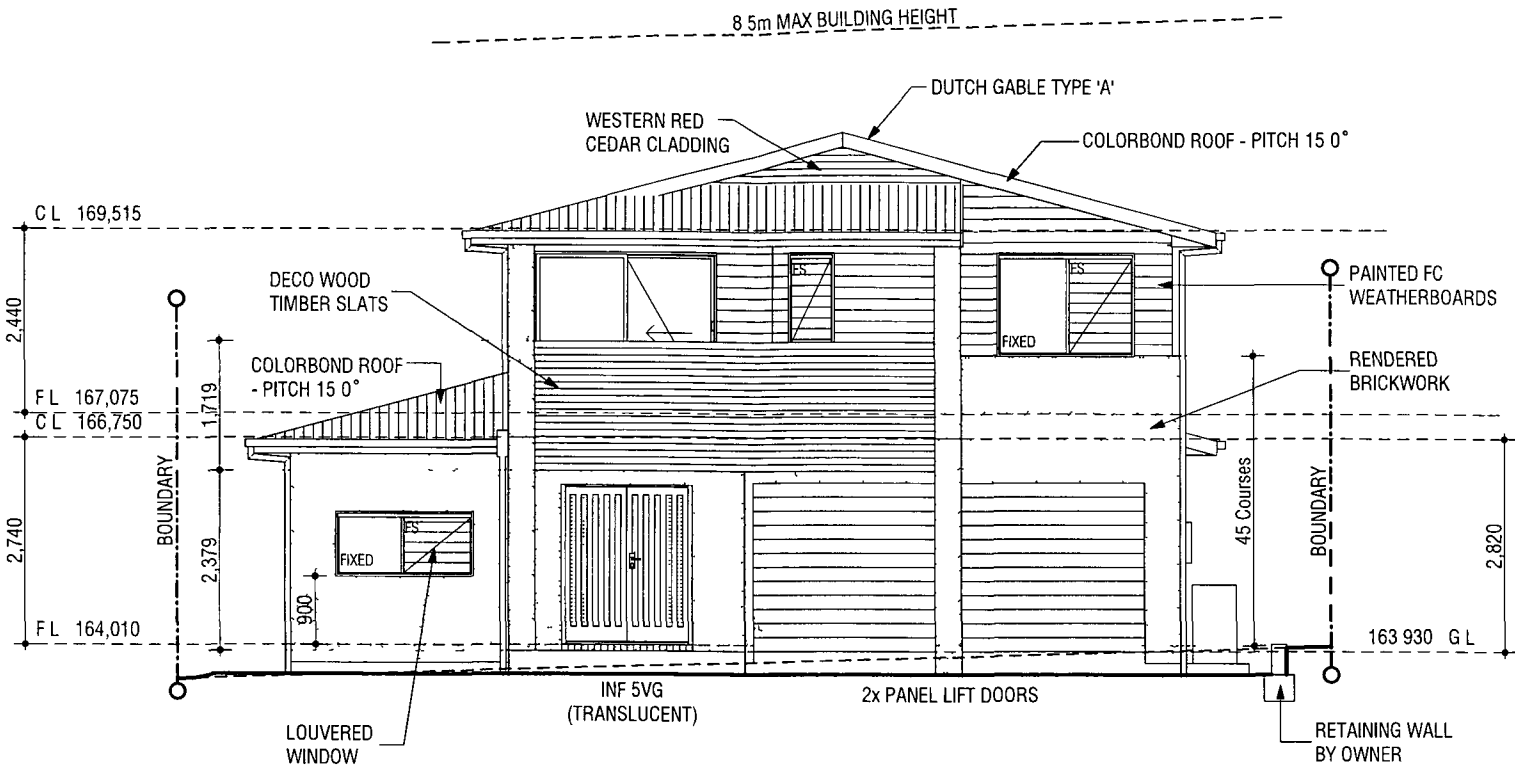
14410655/12/1441

Assessor Signature

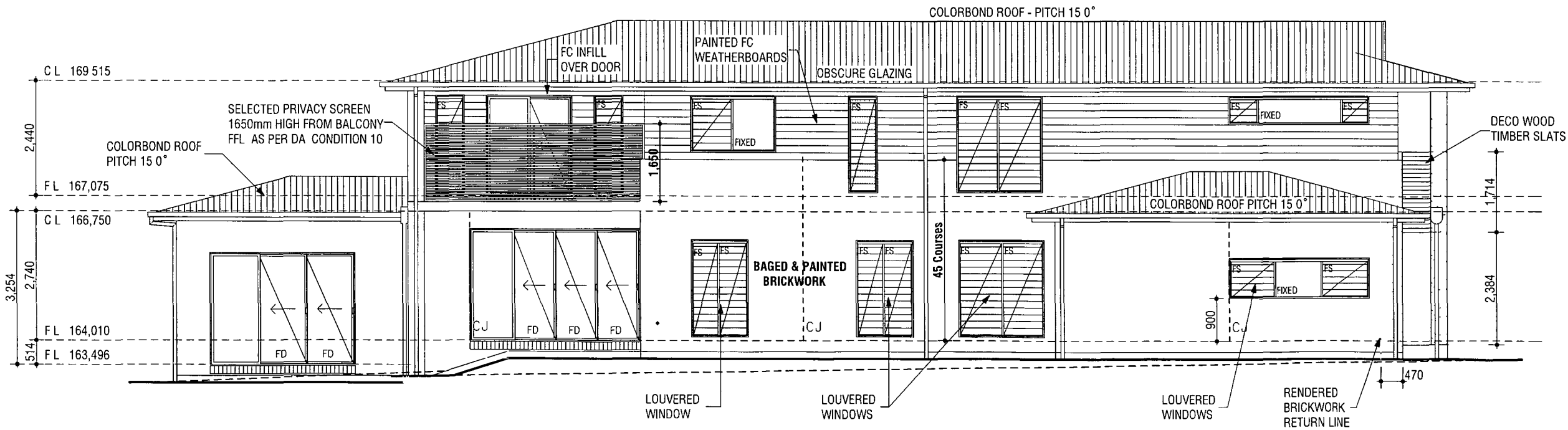


Date

1/09/14



Elevation A - North Elevation



Elevation B - East Elevation

- NOTES -
- * TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
 - * EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
 - * ALL GLAZING TO AUSTRALIAN STANDARD 1288 2006
 - * WINDOW SASH LOCATION AND GLAZING BAR CONFIGURATION TO MANUFACTURERS SPECIFICATIONS
 - * ALL BRICKWORK HEIGHTS DIMENSIONED FROM HOUSE OR GARAGE FLOOR LEVEL ARE NOMINAL

AMENDED WORK ORDER

AMENDMENTS	RESIDENCE FOR	External Elevations					HAND	SHEET No
1 EL 7.3 NHP1b	MRS TOWILL LOT 22, 21 DAWES ROAD BELROSE 2085 68 Waterloo Rd Macquarie Park NSW 2113 Tel (02) 8817 1400 Fax (02) 8817 4801 Sekisui House Services (NSW) Pty Limited ABN 42119550220 BL 226045C COPYRIGHT 2014 REPRODUCTION IN PART OR WHOLE FORBIDDEN	Tiara 280					LH	03-1
2 RC 20.9.13		NATURAL						7 of 18
3 MS 31.10.13		DESIGN ID	NDUTIANA44N1	CONTRACT No	101176		SCALE 1:100	
4 LM 14.03.14 DA		SPECIFICATION	Essence	NHP	NHC	WO	ESSENCE UPGRADE	
5 MS 29.8.14		S1 No	ISSUE	MASTER	DA 18/02/13	RC 24.5.13	Aurora	
6		GEN	P	1/1/2012	SK 12/9/11	EL 15.4.13		
7		HT			PC 02.05.13			
8								

**Energy Rating**

Certificate Number 14410655

☒ single-dwelling rating

4.0 stars

☒ multi-unit development (attach listing of ratings)

50.8 MJ/m²/year

☐ Planned only specified for ratings above 4.0 stars

33.2 MJ/m²/year

Revised drawings confirmation

☐ Rated with

☒ Rated without

Assessor Name/Number

Matthew J. C. SDA/1271441

Assessor Signature

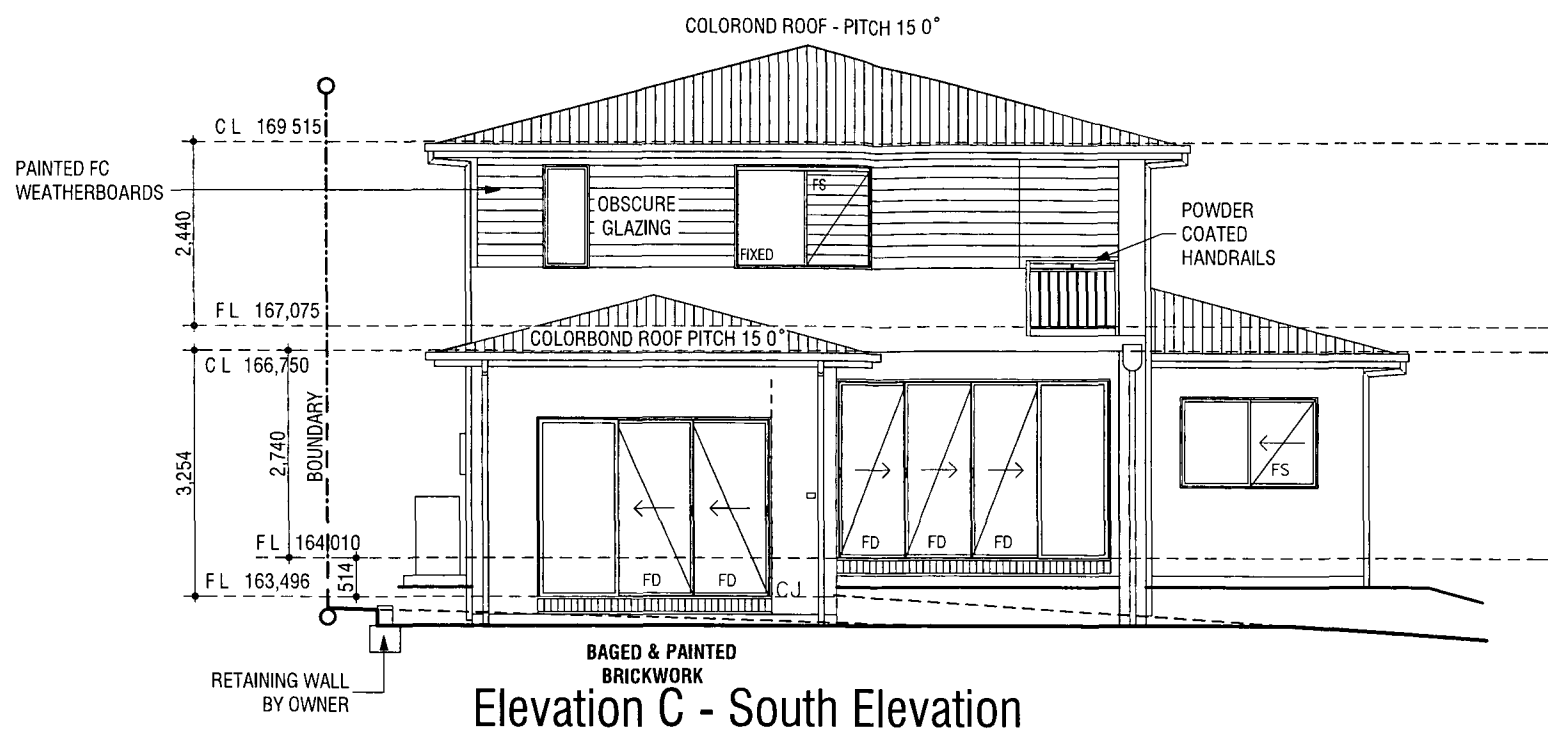


Date

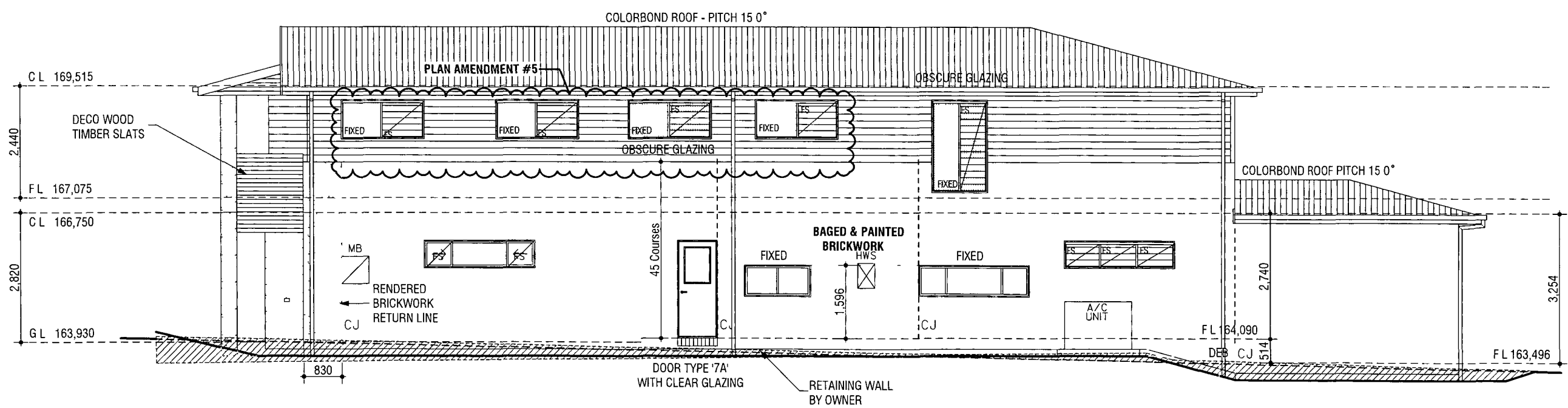
1/09/14

NOTE
OPENING RESTRICTOR TO SASH OF BEDROOM
WINDOWS AS REQUIRED BY THE BCA

NOTE
TRUSS STRENGTHENING BY MANUFACTURER
FOR AC MOTOR AS REQUIRED



Elevation C - South Elevation

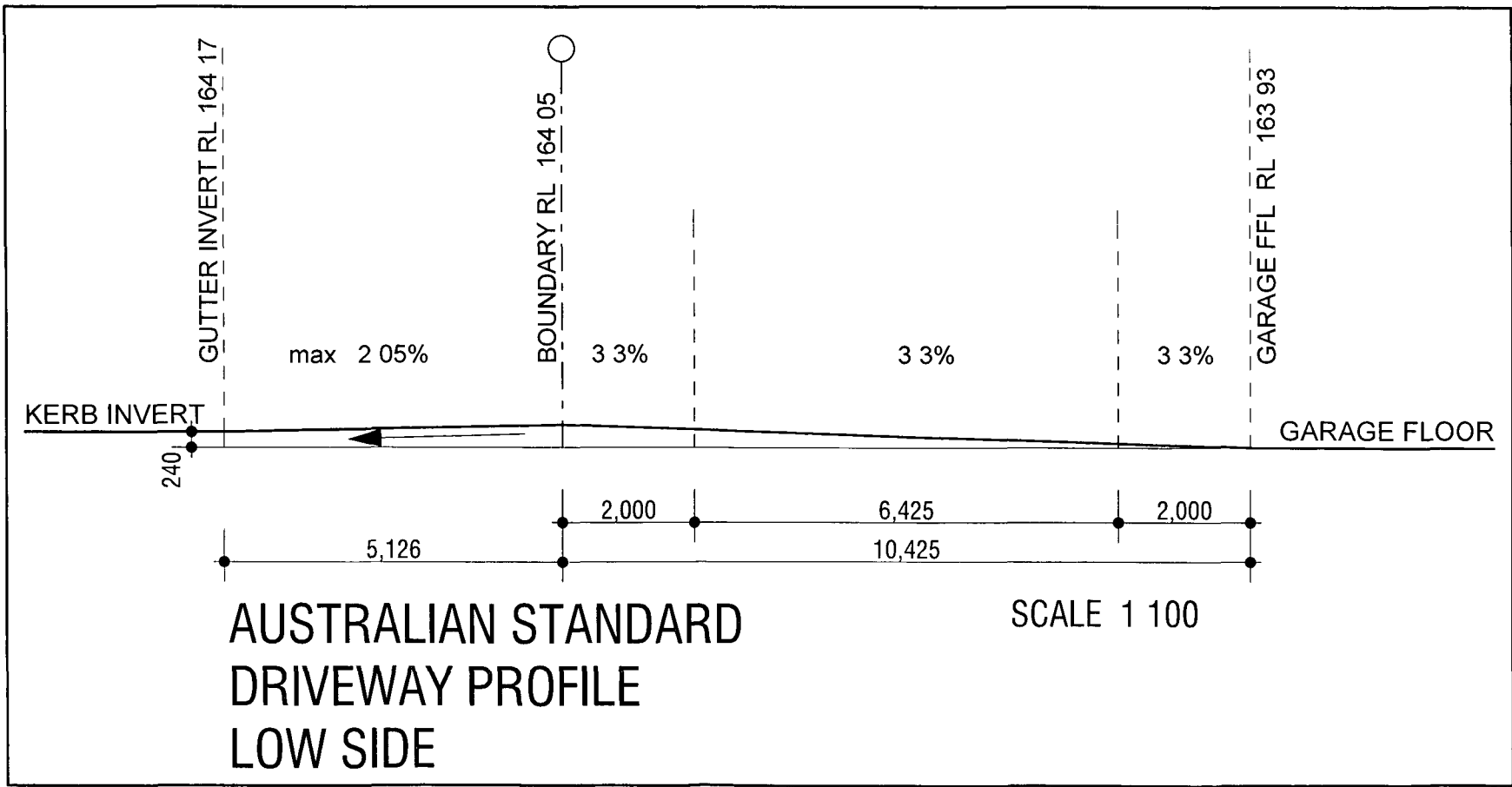
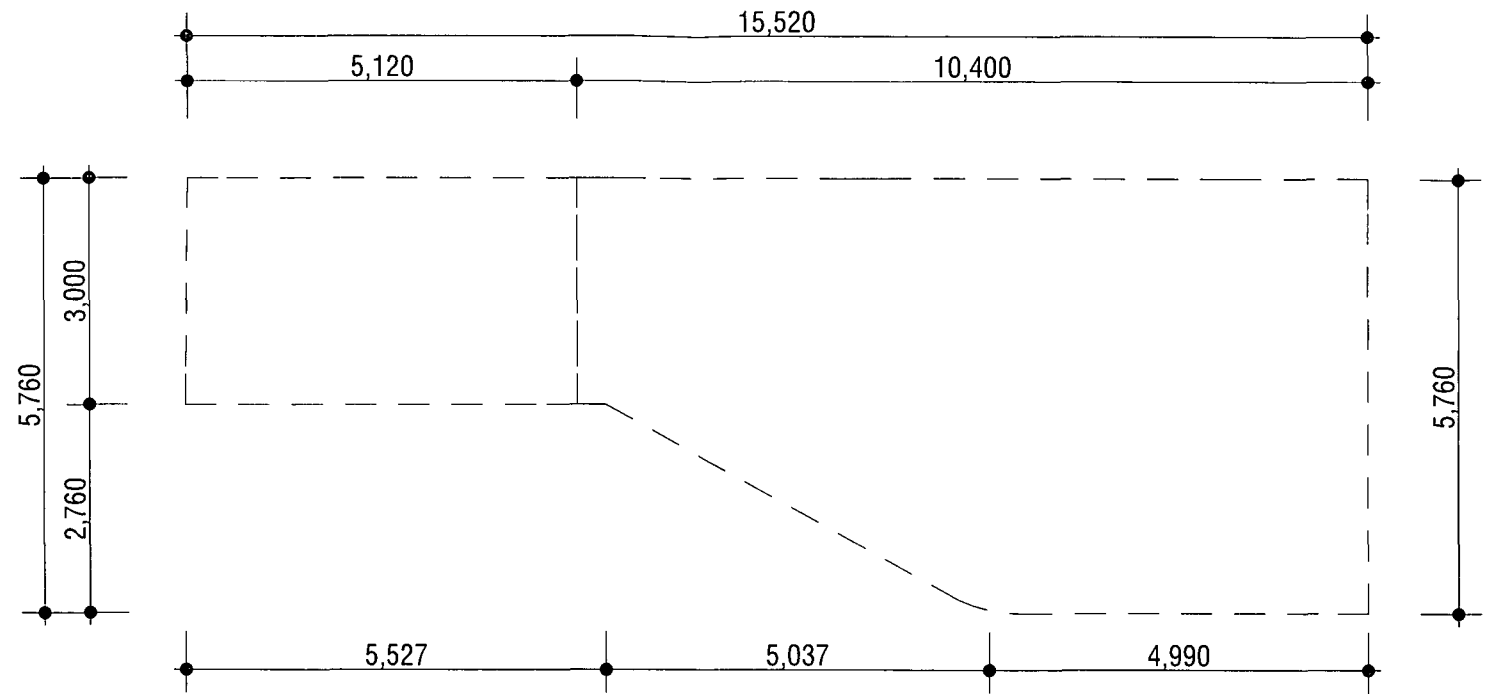


Elevation D - West Elevation

- NOTES -
- * TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS
 - * EXPANSION JOINTS ARE TO BE PROVIDED IN ACCORDANCE WITH ENGINEERS SPECIFICATIONS
 - * ALL GLAZING TO AUSTRALIAN STANDARD 1288 2006
 - * WINDOW SASH LOCATION AND GLAZING BAR CONFIGURATION TO MANUFACTURERS SPECIFICATIONS
 - * ALL BRICKWORK HEIGHTS DIMENSIONED FROM HOUSE OR GARAGE FLOOR LEVEL ARE NOMINAL

AMENDED WORK ORDER

AMENDMENTS	RESIDENCE FOR	External Elevations					HAND	SHEET No
1 EL 7.3 NHP1b	MRS TOWILL LOT 22, 21 DAWES ROAD BELROSE 2085 68 Waterloo Rd Macquarie Park NSW 2113 Tel (02) 8817 1400 Fax (02) 8817 4801 Sekisui House Services (NSW) Pty Limited ABN 42119550220 BL 226045C COPYRIGHT 2014 REPRODUCTION IN PART OR WHOLE FORBIDDEN	Tiara 280					LH	03-2
2 RC 20.9.13		NATURAL						8 of 18
3 MS 31.10.13		DESIGN ID	NDUTIANA44N1	CONTRACT No	101176		SCALE 1:100	
4 LM 14.03.14 DA		SPECIFICATION	Essence	NHP	NHC	WO	ESSENCE UPGRADE	
5 MS 29.8.14		S I No	ISSUE	MASTER	DA 18/02/13	RC 24.5.13	Aurora	
6		GEN	P	1/1/2012	SK 12/9/11	EL 15.4.13		
7		H T			PC 02.05.13			
8								



AUSTRALIAN STANDARD
DRIVEWAY PROFILE
LOW SIDE

Energy Rating Certificate Number 14410655

4.0 stars

Single-dwelling rating

Multi-unit development (attach listing of ratings)

heating 50.8 MJ/m²/yr

cooling 33.2 MJ/m²/yr

Recessed downlights confirmation: ☐ Rated with ☒ Rated without

Assessor Name/Number Jan Fong WIC/BDW/12/1441

Assessor Signature *[Signature]* Date 1/09/14

AMENDED WORK ORDER

AMENDMENTS		RESIDENCE FOR
1	2	
1	EL 7 3 NHP1b	MRS TOWILL LOT:22, 21 DAWES ROAD BELROSE 2085
2	RC 20 9 13	
3	MS 31 10 13	
4	LM 14 03 14 DA	
5	MS 29 8 14	
6		68 Waterloo Rd Macquarie Park NSW 2113 Tel (02) 8817 1400 Fax (02) 8817 4801
7		
8		

Driveway Details				
Tiara 280				
NATURAL				
DESIGN ID	NDUTIANA44N1	CONTRACT No	101176	
SPECIFICATION	Essence	NHP	NHC	WO
S I No	ISSUE	MASTER	DA 18/02/13	RC 24 5 13 LM 15 04 14
GEN	P	1/1/2012	SK 12/9/11	EL 15 4 13 RC 5 6 13
H T			PC 02 05 13	

HAND **LH** SHEET No **01-4** 4 of 18

SCALE 1:100

ESSENCE UPGRADE

Aurora