

PLANNING
BUILDING
HERITAGE
LANDSCAPE
URBANDESIGN

CITY
PLAN
SERVICES

TELEPHONE 8270 3500
FACSIMILE 8270 3501
LEVEL 1 364 KENT STREET
SYDNEY NSW 2000
WWW.CITYPLAN.COM.AU

**PLEASE SEND A RECEIPT FOR
TAXATION PURPOSES.**

25 July 2007

Customer Service Department
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

10 PARK STREET, MONA VALE, NSW
DEVELOPMENT APPLICATION NO. 188/07
CONSTRUCTION CERTIFICATE NO. 27116

City Plan Services have issued a Construction Certificate under Part 4A of the Environmental Planning and Assessment Act 1979 for the above premises.

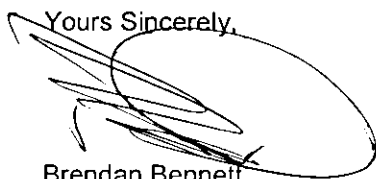
Please find enclosed the following documentation:

- Construction Certificate No. CC 27116
- Copy of application for Construction Certificate.
- Documentation used to determine the application for the Construction Certificate as detailed in Schedule 1 of the certificate.
- Notice of Appointment of Principal Certifying Authority.
- Cheque for Council's registration fee.

Our client has been advised of the necessity to submit to Council the notice of commencement of building works 48 hours prior to the commencement of works.

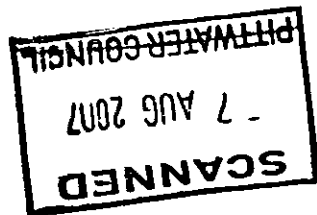
Should you need to discuss any issues, please do not hesitate to contact the Project Building Surveyor Tony Truong on 8270-3500.

Yours Sincerely,



Brendan Bennett
Director

Encl



R. 220363

N:\CPCertification\CPC2007\27-116 Monavale Shopping Centre, Monavale\CC27116\Letter CC Council.doc

PRVC \$30-

NOTICE OF APPOINTMENT OF PRINCIPAL CERTIFYING AUTHORITY

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(i) & 86(1)(a1)(i)

PROPOSAL

Address of land on which the work is to be carried out:
Description of building works covered by this Notice:

**10 Park Street, Mona Vale, NSW
Erection of new sanitary facilities &
alterations to loading docks only**

APPLICANT

Name of person having benefit of the development consent:

**Jonathan Key – Multiplex Property
Services**

Address:

Level 1, 1 Kent Street, Sydney 2000

Contact Details:

Phone: 9979 4455 Fax: 9979 2788

The applicant has appointed Brendan Bennett as the Principal Certifying Authority as stated in the Construction Certificate Application lodged with City Plan Services for the building works identified in this Notice.

RELEVANT CONSENTS

Development Consent No:
Date of Development Consent:
Construction Certificate No:
Date of Construction Certificate:

**188/07
13.06.07
CC 27116
25.07.07**

CERTIFYING AUTHORITY

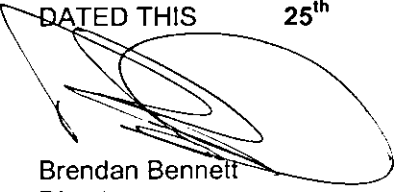
**Brendan Bennett for and on behalf of
City Plan Services Pty Ltd**

ACCREDITATION NUMBER

BPB 0027

That I, Brendan Bennett, of City Plan Services located at Level 1, 364 Kent Street, Sydney accept the appointment as the Principal Certifying Authority for the building works identified and covered under the relevant Construction Certificate as stated in this Notice.

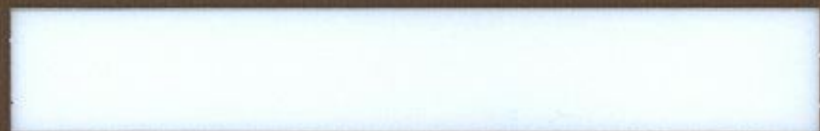
DATED THIS 25th day of July 2007



Brendan Bennett
Director

PLANNING
BUILDING
HERITAGE
LANDSCAPE
URBAN DESIGN

CITY PLAN SERVICES



10 Park Street, Mona Vale, NSW
Construction Certificate No. 27116

CONSTRUCTION CERTIFICATE NO. 27116

Issued under Section 81A(5) and Part 4A Sections 109C, of the Environmental Planning and Assessment Act 1979

APPLICANT

Name of person having benefit of the development consent:
Address:
Contact Details:

Jonathan Key – Multiplex Property Services
Level 1, 1 Kent Street, Sydney 2000
Phone: 9979 4455 Fax: 9979 2788

OWNER

Name:
Address:
Contact Details:

Andrew Junor – Multiplex Capital
Level 1, 1 Kent Street, Sydney 2000
Phone: 9979 4455 Fax: 9979 2788

DEVELOPMENT CONSENT

Consent Authority/Local Government Area:
Development Consent No:
Date of Development Consent:

Pittwater Council
188/07
13.06.07

PROPOSAL

Address of land on which the work is to be carried out:
Building Classification:
Type of Construction:
Scope of building works covered by this Notice:

10 Park Street, Mona Vale, NSW
Class 6
Type A
Erection of new sanitary facilities & alterations to loading docks only
\$657,983.00
Schedule 1
Schedule 2
See attached Notice
Nil
Nil

Value of Construction Certificate (Incl GST):

Plans and Specifications approved:

Fire Safety Schedule:

Critical stage inspections:

Exclusions:

Conditions (Clause 187 or 188 of the Environmental Planning & Assessment Regulation 2000):

PROJECT BUILDING SURVEYOR

Please contact **Tony Truong**
for any inquiries

CERTIFYING AUTHORITY

Brendan Bennett for and on behalf of
City Plan Services Pty Ltd

ACCREDITATION NUMBER

BPB 0027

That I, Brendan Bennett, as the certifying authority, certify that the work if completed in accordance with the plans and specifications identified in Schedule 1 (with such modifications verified by the certifying authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation 2000 as referred to in section 81A(5) of the Environmental Planning and Assessment Act 1979.

DATED THIS **25th** day of **July** **2007**


Brendan Bennett
Director

NB: Prior to the commencement of work S81A(2)(b)(i) and (ii) and (b2)(i) and (ii) and (iii) and (c) of the Environmental Planning and Assessment Act 1979 must be satisfied.

SCHEDULE 1 APPROVED PLANS AND SPECIFICATIONS

1. Endorsed Architectural plans prepared by Terroir

Plan Title	Drawing No	Revision	Date
Cover sheet		A	15.06.07
Bathroom and Parent's room plan	CD00	A	15.06.07
Reflected ceiling plan	CD01	A	15.06.07
Section A – Corian joinery unit 1 Women's toilet	CD02	A	15.06.07
Section B – Toilet cubicals Women's toilet	CD03	A	15.06.07
Section C – Sanitary fixtures in toilet cubical Women's toilet	CD04	A	15.06.07
Section D – Joinery Unit 1 make up counter Women's toilet	CD05	A	15.06.07
Section E – Corian joinery unit 2	CD06	A	15.06.07
Section F – Toilet cubicals	CD07	A	15.06.07
Section G – Sanitary fixtures Disabled toilet & Parent's room toilet	CD08	A	15.06.07
Section H - Sanitary fixtures Disabled toilet & Parent's room toilet	CD09	A	15.06.07
Section I – Disabled Toilet & joinery 3	CD10	A	15.06.07
Section J – Joinery unit 3 & Toilet parent's room	CD11	A	15.06.07
Section K – Joinery unit 3 Parent's room	CD12	A	15.06.07
Section L – Signage details Corridor	CD13	A	15.06.07

Additional Architectural Endorsed plans

Plan Title	Prepared By	Drawing No	Revision	Date
Floor Plan	STC Architects	DA-02	C	15.05.07
Proposed additions and alterations to existing shopping centre	Leffler Simes Architects	DA-01	D	31.05.07
Part Retail Floor Plan	Leffler Simes Architects	GA01	C	31.05.07
South East Elevation	Leffler Simes Architects	GA02	B	05.06.07

2. Endorsed Electrical plans prepared by Lincolne Scott

Plan Title	Drawing No	Revision	Date
Drawing Index	E00	A	27.06.07
Legend of Symbols	E01	A	27.06.07
Retail Level – Power, Comms and Security layout	E02	A	27.06.07
Retail Level – Lighting layout and PA layout	E03	A	27.06.07
Main switchboard and Reticulation schematic	E04	A	27.06.07

3. Endorsed Fire Service plans prepared by Lincolne Scott

Plan Title	Drawing No	Revision	Date
Drawing Index	F00	A	28.06.07
Legend of Symbols	F01	A	28.06.07
Retail Level – Power, Comms and Security layout	F02	A	28.06.07
Retail Level – Lighting layout and PA layout	F03	A	28.06.07

4. Endorsed Mechanical plans prepared by Lincolne Scott

Plan Title	Drawing No	Revision	Date
Drawing Index	M00	A	28.06.07
Retail level – Air conditioning and Ventilation layout	M01	A	28.06.07
Roof level – Part roof plan, details and legend of symbols	M02	A	28.06.07

5. Other documents relied upon

Title	Prepared By	Reference	Date
Construction Certificate Application	Multiplex Property Services	-	20.07.07
Long Service Levy Payment Receipt	Pittwater Council	219003	17.07.07
Structural Design Certification	BG&E Consulting Engineers	S07018	20.07.07
Demolition of structures Compliance Certificate	Integrated Project Group	-	23.07.07
Design Certificate	Leffler Simes Architects	C0719	20.07.07
Annual Fire Safety Statement	Multiplex pty Ltd	-	30.11.06
Design Certificate – Structural drawing	GCA Consultants	-	19.07.07
Electrical Design Statement	Lincolne Scott	NSSY24490E	13.07.07
Mechanical Design Statement	Lincolne Scott	NSSY24490E	13.07.07
Fire Protection Design Statement	Lincolne Scott	NSSY24490E	19.07.07
Bathroom quotation and drawings	H.Dallas Industries Pty Ltd	-	07.06.07

SCHEDULE 2 FIRE SAFETY SCHEDULE

FIRE SAFETY MEASURES	EXISTING STANDARD OF PERFORMANCE	PROPOSED STANDARD OF PERFORMANCE
Access Panels, doors and hoppers to fire resisting shaft	BCA C3.13 & AS1905.1-1997	
Automatic fail safe devices (main entrance of the mall)	BCA Part C3 & D2.21 Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003	
Automatic fire detection and alarm system including smoke detectors in return air line of the air conditioning systems	BCA E2.2 & Spec E2.2a, & AS 1670.1-1995, AS 3786-1993	BCA E2.2 & Spec E2.2a, & AS 1670.1-1995, AS 3786-1993
Automatic fire suppression system (sprinkler including fast response heads & drenchers of glazing to escalator voids)	BCA E1.5, Spec E1.5 & AS 2118.1-1999 & Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003	BCA E1.5, Spec E1.5 & AS 2118.1-1999 & Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003
Emergency lighting	BCA E4.2, E4.4 & AS/NZS 2293.1-1998	BCA E4.2, E4.4 & AS/NZS 2293.1-2005
Exit signs	BCA E4.5, E4.6. & E4.8, AS/NZS 2293.1-1998	BCA E4.5, E4.6. & E4.8, AS/NZS 2293.1-2005
Fire Control Centres and rooms	BCA E1.8 & Spec E1.8	
Fire dampers	BCA C3.12 & C3.15, AS/NZS1668.1-1998, AS 1668.2-1991 & AS 1682.1-1990 & AS 1682.2-1990	BCA C3.12 & C3.15, AS/NZS1668.1-1998, AS 1668.2-1991 & AS 1682.1-1990 & AS 1682.2-1990
Fire doors	BCA Spec.C3.4 & AS1905.1-1997	
Fire hydrant systems	BCA E1.3 AS2419.1-1994	
Fire seals protecting openings in fire resisting components of the building	BCA C3.12, C3.15, Spec. C3.15	
Hose reel system	BCA E1.4 & AS2441-1998	
Mechanical air handling system	BCA E2.2, Spec E2.2b & AS/NZS 1668.1-1998 & Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003	BCA E2.2, Spec E2.2b & AS/NZS 1668.1-1998 & Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003
Portable fire extinguishers	BCA E1.6 & AS2444-1995	
Smoke Control System	BCA E2.2, Spec E2.2b, AS1668.1 & Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003	
Wall wetting sprinkler and drencher systems	C3.4	
Warning and operational signs	EPA Regulation (80GG) – Form 15B, BCA E3.3 (lifts), D2.23 Signs on exit doors	
Alarm Monitoring Signal	Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003	
Glazing to escalator voids	Fire safety Study prepared by Fire Modelling & Computing titled Mixed Commercial Development, 10 Park Street, Mona Vale dated January 2003	

NOTICE TO APPLICANT OF CRITICAL STAGE INSPECTIONS

Made under Part 4 of the Environmental Planning and Assessment Act 1979 Sections 81A(2)(b1)(ii)

PROPOSAL

Address of land on which the work is to be carried out:
Description of building works covered by this Notice:

10 Park Street, Mona Vale, NSW
Erection of new sanitary facilities & alterations to loading docks only

APPLICANT

Name of person having benefit of the development consent:

Jonathan Key – Multiplex Property Services

Address:

Level 1, 1 Kent Street, Sydney 2000

Contact Details:

Phone: 9979 4455 Fax: 9979 2788

RELEVANT CONSENTS

Development Consent No:

188/07

Date of Development Consent:

13.06.07

Construction Certificate No:

CC 27116

Date of Construction Certificate:

25.07.07

INSPECTION TELEPHONE NUMBER

Please telephone the following number to book a critical stage inspection:

Ph: 8270 3500

A minimum period of 48 hours is to be provided

CERTIFYING AUTHORITY

**Brendan Bennett for and on behalf of
City Plan Services Pty Ltd**

ACCREDITATION NUMBER

BPB 0027

MANDATORY CRITICAL STAGE INSPECTIONS

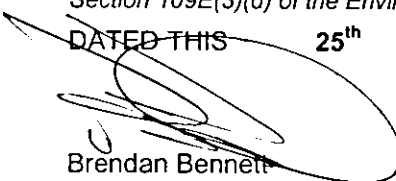
That I, Brendan Bennett, of City Plan Services located at Level 1, 364 Kent Street, Sydney acting as the principal certifying authority hereby give notice in accordance with Section 81A(2)(b1)(ii) of the Environmental Planning and Assessment Act 1979 to the person having the benefit of the development consent that the mandatory critical stage inspections identified in Schedule 1 & Schedule 2 are to be carried out in respect of the building work.

The applicant, being the person having benefit of the development consent is required under Section 81A(2)(b2)(iii) of the Environmental Planning and Assessment Act 1979 to notify the principal contractor (if not an owner-builder) of the applicable mandatory critical stage inspections specified under this notice.

To allow a principal certifying authority or another certifying authority time to carry out mandatory critical stage inspections, the principal contractor for the building site, or the owner builder, must notify the principal certifying authority at least 48 hours before building work is commenced at the site if a mandatory critical stage inspection is required before the commencement of the work in accordance with Clause 163 of the Environmental Planning & Assessment Regulation 2000.

Failure to request a mandatory critical stage inspections will prohibit the principal certifying authority under with Section 109E(3)(d) of the Environmental Planning and Assessment Act 1979 to issue an occupation certificate.

DATED THIS 25th day of July 2007


Brendan Bennett
Director

SCHEDULE 1 MANDATORY CRITICAL STAGE INSPECTIONS

NO.	CRITICAL STAGE INSPECTION	INSPECTOR
1.	At commencement of building work	Certifying Authority
2.	Prior to covering any stormwater drainage connections	Certifying Authority
3.	After the building work has been completed & prior to any occupation certificate being issued in relation to the building	Principal Certifying Authority

SCHEDULE 2 OTHER MANDATORY INSPECTION SPECIFIED BY THE PRINCIPAL CERTIFYING AUTHORITY

NO.	OTHER CRITICAL STAGE INSPECTIONS	INSPECTOR
	None have been specified in this instance	N/A

CONSTRUCTION CERTIFICATE APPLICATION
Made under the *Environmental Planning and Assessment Act 1979*
Sections 81A(2), 109C(1)(b)

IDENTIFICATION OF BUILDING

Address 10 PARK STREET
Lot, DP/MPS etc LOT 10 DP 818304
Suburb or town NOVA VALE Post Code 2043

DESCRIPTION OF DEVELOPMENT
Detailed Description:

Erection of new sanitary
facilities + alterations to
tenny back of house

APPLICANT

Name Jonathan Key Company Multiplex Property Services
Address Level 1, 1 Kent Street
Suburb or town Sydney Post Code 2000
Phone B/H 9979 4455 Fax No 9979 2788
Mobile 0405069274 Email Jonathan.Key@multiplex-bis

As the applicant, I/we hereby submit this Construction Certificate Application under the *Environmental Planning & Assessment Act 1979*, with City Plan Services Pty Ltd.

Signature of applicant:

Sign [Signature] Date 2017/10/7

CONSENT TO ALL OWNER(S)

Name Andrew Junior Company Multiplex Capital
on behalf of MPX
Address Level 1 Kent Street
Suburb or town Sydney Post Code 2000
Phone B/H _____ Fax No _____
Mobile _____ Email _____

As the owner of the above property:

1. I/we consent to this application; and
2. I/we appoint Brendan Bennett of City Plan Services Pty Ltd as the Principal Certifying Authority for the building work identified in this application.

Signature of Owner

Sign [Signature] Date 2017/10/7

VALUE OF WORK

Estimated Cost of work:

\$ 598,166

GST:

\$ 59,817

For developments over \$5 million, a Quantity Surveyors Certificate verifying the cost must be submitted on lodgement of the application.

DEVELOPMENT CONSENT

Development Consent No

No. 188 / 07

Date of Determination

Date 13 / 6 / 07

BUILDING CODE OF AUSTRALIA BUILDING CLASSIFICATION

Nominated on the Development Consent

Class 6

RESIDENTIAL BUILDING WORK

Relevant only to residential building work

Owner-builder Permit No.

or

Name of Builder

Address

Telephone

Fax

Contractor License No.

REQUIRED ATTACHMENTS

- Note 1 details the information that must be submitted with an application for a construction certificate for proposed building works
- Note 2 details the additional information that may be submitted with an application for a construction certificate for proposed residential building work.

Schedule 1 information to be
Collected for ABS Particulars of the proposal

DESCRIPTION

What is the area of the land (m²)

12,558 m²

Gross floor area of existing building (m²)

12,087 m² GLA

What are the current uses of all or parts of the building(s)/land?

Commercial + Retail
Shopping centre

(If vacant state vacant)

Location

Use

Does the site contain a dual occupancy?

What is the gross floor area of the proposed addition or new building (m²)

What are the proposed uses of all parts of the building(s)/land?

Location

Use

Number of pre-existing dwellings

Number of dwellings to be demolished

How many dwellings are proposed?

How many storeys will the building consist of?

MATERIALS TO BE USED

Walls	Code	Roof	Code
Brick veneer	12	Aluminium	70
Full brick	11	Concrete	20
Single brick	11	Concrete tile	10
Concrete block	11	Fibrous cement	30
Concrete/masonry	20	fibreglass	80
Concrete	20	Masonry/terracotta shingle tiles	10
Steel	60	Slate	20
Fibrous cement	30	Steel	60
Hardiplank	30	Terracotta tile	10
Timber/weatherboard	40	Other	80
Cladding aluminium	70	Unknown	90
Curtain glass	50		
Other			
Unknown	90		
Floor	Code	Frame	Code
Concrete	20	Timber	40
Timber	10	Steel	60
Other	80	Other	80
Unknown	90	Unknown	90

Schedule 2 – Existing Essential Fire Safety Measures
Part 1 of 2

Item No.	Existing Measure	Is this measure installed in the Building? Yes / No	If yes, enter the current standard of performance (eg: ORD 70 Clause 19.2 or BCA Clause E1.5 & AS 2118.1-1999)
	<i>As per attached Annual Fire Statement dated 30/11/06</i>		
1	Access Panels, doors and hoppers to fire resisting shaft		
2	Automatic fail safe devices		
3	Automatic fire detection and alarm system		
4	Automatic fire suppression system (sprinkler)		
5	Automatic fire suppression system (others – specify)		
6	Emergency lighting		
7	Emergency lifts		
8	Emergency warning and intercommunication system		
9	Exit signs		
10	Fire control centres and rooms		
11	Fire dampers		
12	Fire doors		
13	Fire hydrant systems		
14	Fire seals (protecting openings in fire resisting components of the building)		
15	Fire shutters		
16	Fire windows		
17	Hose reel system		
18	Light weight construction		
19	Mechanical air handling systems		
20	Paths of travel stairways passageways or ramps		
21	Perimeter vehicle access for emergency vehicles		
22	Portable fire extinguishers		
23	Pressurising system		
24	Required (automatic) exit doors		
25	Safety curtains in proscenium openings		
26	Smoke and Heat Vents		
27	Smoke Control System		
28	Smoke dampers		
29	Smoke detectors and heat detectors		
30	Smoke doors		
31	Solid-Core doors		
32	Stand-By Power Systems		
33	Wall wetting sprinkler and drencher systems		
34	Warning and operational signs		
35	OTHERS - Specify		

This is an accurate statement of all existing Fire Safety Measures implemented in the whole building.

Signed *[Signature]* (Owner/ Agent) Name *Jonathan Key* Date *20/7/07*

Schedule 3 – Proposed Essential Fire Safety Measures
Part 2 of 2

Item No.	Proposed New Measure	Is this measure installed in the Building? Yes or No	If yes, enter the current standard of performance (eg: BCA Clause E1.5 & AS2118.1-1999)
1	Access Panels, doors and hoppers to fire resisting shaft		Au to
2	Automatic fail safe devices		BCA 2007
3	Automatic fire detection and alarm system	✓	
4	Automatic fire suppression system (sprinkler)	✓	
5	Automatic fire suppression system (others – specify)		
6	Emergency lighting	✓	
7	Emergency lifts		
8	Emergency warning and intercommunication system		
9	Exit signs	✓	
10	Fire control centres and rooms	✓	
11	Fire dampers	✓	
12	Fire doors	✓	
13	Fire hydrant systems	✓	
14	Fire seals (protecting openings in fire resisting components of the building)	✓	
15	Fire shutters		
16	Fire windows		
17	Hose reel system	✓	
18	Light weight construction		
19	Mechanical air handling systems		
20	Paths of travel stairways passageways or ramps	✓	
21	Perimeter vehicle access for emergency vehicles		
22	Portable fire extinguishers	✓	
23	Pressurising system		
24	Required (automatic) exit doors		
25	Safety curtains in proscenium openings		
26	Smoke and Heat Vents		
27	Smoke Control System		
28	Smoke dampers		
29	Smoke detectors and heat detectors		
30	Smoke doors		
31	Solid-Core doors		
32	Stand-By Power Systems		
33	Wall wetting sprinkler and drencher systems		
34	Warning and operational signs	✓	
35	OTHERS - Specify		

This is an accurate statement of all proposed Fire Safety Measures to be installed/ modified in the whole building.

Signed [Signature] (Owner/ Agent) Name Jonathan Key Date 20/7/07

NOTES For Completing Construction Certificate Application

Note 1

The following information must accompany applications for a construction certificate for building and subdivision work.

Building Work

In the case of an application for a construction certificate for **building work**:

- a) Copies of compliance certificates relied upon
- b) Four (4) copies of detailed plans and specifications

The plan for the building must be drawn to a suitable scale and consist of a general plan and a block plan. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, construction and provision for fire safety and fire resistance (if any).

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building the general plan is to be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the proposed alteration, addition or rebuilding.

Where the proposed building work involves a modification to previously approved plans and specification the general plans must be coloured or otherwise marked to the satisfaction of the certifying authority to adequately distinguish the modification.

The specification is:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
 - state whether the materials proposed to be used are new or second hand and give particulars of any second-hand and give particulars of any second-hand materials to be used.
- c) Where the application involves an alternative solution to meet the performance requirements of the BCA, the application must also be accompanied by:
 - details of the performance requirements that the alternative solution is intended to meet, and
 - details of the assessment methods used to establish compliance with those performance requirements.
 - d) Evidence of any accredited component, process or design sought to be relied upon.
 - e) Except in the case of an application for, or in respect of, a class 1a or class 10 building:
 - a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated; and
 - if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated.

The list must describe the extent, capacity and basis of design of each of the measures concerned.

Note 2

Home Building Act Requirements

In the case of an application for a construction certificate for residential building work (within the meaning of the *Home Building Act 1989*) attach the following:

- a) In the case of work by a licensee under that Act:
 - (i) a statement detailing the licensee's name and contractor licence number, and
 - (ii) documentary evidence that the licensee has complied with the applicable requirements of that Act*, or
- b) In the case of work done by any other person:
 - (i) a statement detailing the person's name and owner-builder permit number, or
 - (ii) a declaration signed by the owner of the land, to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of *owner-builder work* in section 29 of that Act.
 - (iii)

*A certificate purporting to be issued by an approved insurer under Part 6 of the *Home Building Act 1989* to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements of that Part.

COMMONWEALTH BANK
EFTPOS
PITTWATER COUNCIL
MONA VALE NSW 3
TERMINAL: 22192700

CUSTOMER COPY

CARD NO.: 376028-007
EXPIRY DATE: 12/09
CREDIT 004508
PURCHASE 2114.94
TOTAL AUD2114.94

17 JUL 2007 13:15
AMERICAN EXPRESS

APPROVED

08

Pittwater Council

ABN: 61340837871

TAX INVOICE OFFICIAL RECEIPT

17/07/2007 Receipt No 219003

To MULTIPLEX PROPERTY SERVICES

PITTWATER PLACE
10 PARK ST
MONA VALE

Qty/ Applic	Reference	Amount
----------------	-----------	--------

	OLSL-Buil	\$2,094.00
GL Rec 1	X NO188/07 LONG	
	SERVICE LEVY	
1	CCGST-CCa	\$19.04
GL Rec 1		
	GST	\$1.90
GL Rec		
	To GL Receipt:	

Total Amount: \$2,114.94
Includes GST of: \$1.90

Amounts Tendered

Db/Cr Card	\$2,114.94
Total	\$2,114.94
Rounding	\$0.00
Change	\$0.00
Nett	\$2,114.94

Printed 17/07/2007 1:17:14 PM
Cashier NCullis

BG&E PTY LIMITED
ABN 14 104 853 081

LEVEL 2
8 WINDMILL STREET
SYDNEY NSW 2000
AUSTRALIA
TEL: +61 2 9770 3300
FAX: +61 2 9770 3399
EMAIL: info@bgeeng.com
WEBSITE: www.bgeeng.com

**BG
&E**
**CONSULTING
ENGINEERS**

**SYDNEY
PERTH
DUBAI**

Ref. BG&E S07018/Design cert-ltr

20 July 2007

Multiplex Facilities Management Pty Ltd
Level 1, 1 Kent Street
SYDNEY NSW 2000

Attention: Mr J Key

Dear Sirs,

**PITTWATER PLACE SHOPPING CENTRE, MONA VALE
SHOP 37 FITOUT- HARRIS FARM
STRUCTURAL DESIGN CERTIFICATION**

BG&E Pty Limited, being chartered consulting engineers and members of the Association of Consulting Engineers of Australia, hereby certify that this practice has carried out the structural design review of the building works associated with the fitout of the above tenancy located at Pittwater Place Shopping Centre, Mona Vale.

Based on the existing structural drawings for this project prepared by ourselves, we have carried out the structural design and checking of the existing structure in accordance with the structural provisions of the Building Code of Australia, SAA Codes AS 1170.1 - Dead and Live Loads, AS 1170.2 - Wind Loads, AS 1170.4 - Earthquake Loads, AS 3600 - Concrete Structures, AS 3700 - Masonry Structures and AS 4100 - Steel Structures, together with other ancillary codes and with accepted engineering principles and practice.

Our involvement, and this certification, shall not be misconstrued as relieving the building contractor and any other party of their contractual responsibilities.

Yours faithfully,
for BG&E PTY LIMITED



.....
DAVID FARAH
Senior Engineer

enc.

LEVEL 4,
180 PACIFIC HWY
NORTH SYDNEY NSW 2060

PH: 02 8920 8477
FAX: 02 8920 8488

EMAIL: enquiries@integratedproject.com.au
WEB: www.integratedproject.com.au

Integrated Project Group
ABN 28 118 320 193

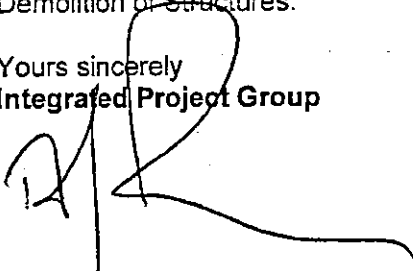
23rd July 2007

To Whom It May Concern

RE: Pittwater Place Refurbishment

With the demolition of structures we will comply with all the rules and regulations of AS 2601-1991-
Demolition of Structures.

Yours sincerely
Integrated Project Group



Andrew Robertson
Director

LEFFLER SIMES ARCHITECTS

Ref: sjc O:\OFFICE\WINWORD\2458 PITTWATER PLACE\2458_07\C0719.doc

20 July 2007

The Directors
Multiplex Facilities Management Pty. Ltd.
GPO Box 5366
SYDNEY NSW 2000

Attention: Mr. Jonathan Keys
Senior Project Manager

Dear Sir,

**RE: PROPOSED ADDITIONS AND ALTERATIONS
'PITTWATER PLACE' SHOPPING CENTRE
PARK STREET MONA VALE
DESIGN CERTIFICATE**

We hereby seek to confirm that Leffler Simes Pty. Ltd., Architects, have designed the above project to generally comply with the Deemed To Satisfy provisions of the Building Code of Australia.

We hope the above information proves satisfactory. Should you require clarification of any matter contained therein, please do not hesitate to contact the undersigned.

Yours Faithfully,

A large, stylized handwritten signature in black ink, appearing to read 'Stephen J. Camillo'.

STEPHEN J. CAMILLO B. Arch NSWIT ARAIA (4961)
DESIGN DIRECTOR
LEFFLER SIMES PTY. LTD. ARCHITECTS

LEFFLER SIMES PTY LTD ARCHITECTS www.lefflersimes.com.au ACN 001 043 992 ABN 39 001 043 992
SYDNEY: 7, YOUNG ST NEUTRAL BAY, NSW 2089 AUSTRALIA TEL: +612 9909 3344 FAX: +612 9909 3828
MELBOURNE: LEVEL 2, 18 OLIVER LANE, VIC 3000 AUSTRALIA TEL: +613 9654 6344 FAX: +613 9654 8244
DIRECTORS: G E SMITH ARAIA AATA MAH, S J CAMILLO ARAIA, C S GOODMAN ARAIA, R A GIETZ ARAIA
ASSOCIATES: J P MAYNARD ARAIA, S J EVANS ARAIA FIDA CONSULTANTS: F N LEFFLER ARAIA, E SIMES ARAIA

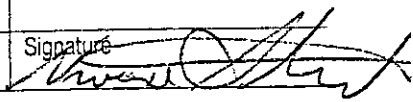


COPY

ANNUAL/SUPPLEMENTARY FIRE SAFETY STATEMENT
Under Part 9 of the Environmental Planning & Assessment Regulation 2000

Type of Statement	☒ annual	☐ supplementary
*annual statement name owner/agent	I Vivienne Stewart	
Address	Of Multiplex Pty Ltd Certify:	
	(a) that each essential fire safety measure specific in this statement has been assessed by a properly qualified person and was found, when it was assessed, to be capable of performing:- (i) in the case of an essential fire safety measure applicable by virtue of a fire safety schedule, to a standard no less than that specified in the schedule, or (ii) in the case of an essential fire safety measure applicable otherwise than by virtue of a fire safety schedule, to a standard no less than that to which the measure was originally designed and implemented, and (b) the building has been inspected by a properly qualified person and was found, when it was inspected, to be in a condition that did not disclose any grounds for a prosecution under Division 7 of Part 9 and (c) the information contained in this certificate is, to the best of my knowledge and belief, true and accurate.	
(*Delete if this does not apply)		
*supplementary statement name owner/agent	_____	
Address	of _____ Certify:	
	(a) that each essential fire safety measure specific in this statement has been assessed by a properly qualified person and was found, when it was assessed, to be capable of performing to at least the standard required by the current fire safety schedule for the building for which this statement is issued. (b) the information contained in this certificate is, to the best of my knowledge and belief, true and accurate.	
(*Delete if this does not apply)		
Identification of building	House/unit no or name:	Pittwater Place Shopping Centre
	Street:	10 Park Street
	Suburb:	Mona Vale
Location		NSW 2103
	Description of part (where applicable)	_____
Owner's details	Name:	Multiplex Capital
	Address:	Level 1, 1 Kent Street Sydney NSW 2000
	Phone:	02 9241 4455
	Fax:	02 9241 5522

Essential/critical fire safety measures	Measure	Date Assessed	Standard of Performance
	Automatic Fire Detection & Alarm System (including smoke detectors in return air line of the air conditioning system)	30/09/2006	BCA E2.2 & Spec E2.2a & AS 1670.1 – 1995 & AS 3786 – 1993
	Automatic Fail Safe Devices (main entrance of the mall)	30/09/2006	BCA Part C3 & D2.21 & Fire Safety Study prepared by Fire Modelling & Computing titled 'Mixed Commercial Development, 10 Park Street Mona Vale' dated March 2004
	Automatic Fire Suppression System (sprinklers including fast response heads & drenching of glazing to escalator voids)		BCA E1.5, Spec1.5, C3.4 & AS 2118.1 - 1999 & Fire Safety Study prepared by Fire Modelling & Computing titled 'Mixed Commercial Development, 10 Park Street Mona Vale' dated March 2004
	Access Panels	30/9/2006 & 24/08/2006	BCA C3.13 & AS 1905.1 - 1997
	Emergency Lighting	30/09/2006	BCA C1 E4.4 & E4.2 AS/NZS 2293.1 – 1998
	Exit Signs	30/09/2006	BCA C1 E4.5 & E4.8 AS/NZS 2293.1 – 1998
	Emergency Warning & Intercommunication System (EWIS)	24/08/2006	AS 2220.1
	Fire Doors	30/09/2006	BCA Spec C3.4 & AS 1905.1 – 1997
	Fire Seals	30/09/2006	BCA C3.12, C3.15, Spec C3.15
	Fire Dampers	24/08/2006	BCA C3.12 & C3.15, AS/NZS 1668.1 – 1998, AS 1668.2 – 1991, AS 1682.1 – 1990 & AS1682.2 - 1990
	Fire Hydrants	30/09/2006/	BCA E1.3 & AS 2419.1 - 1994
	Fire Hose Reels	30/09/2006	BCA E1.4 & AS 2441 - 1998
	Fire Control Centres and Rooms	30/09/2006	BCA E1.8 & Spec E1.8
	Lifts	30/11/2006	AS 1735 Parts 1 through 14 AS 3000 Construction Safety Act 1912 Construction Safety Reg 1950

	Mech. Ventilation System	24/08/2006	BCA E2.2, Spec E2.2b & AS/NZS 1668.1 – 1998 & Fire Safety Study prepared by Fire Modelling & Computing titled 'Mixed Commercial Development, 10 Park Street Mona Vale' dated March 2004
	Portable Fire Extinguishers	30/09/2006	BCA E1.6 & AS 2444 - 1995
	Smoke Exhaust	24/08/2006	BCA E2.2, Spec E2.2b & AS/NZS 1668.1 – 1998 & Fire Safety Study prepared by Fire Modelling & Computing titled 'Mixed Commercial Development, 10 Park Street Mona Vale' dated March 2004 AS – 1668-1-AS1668-2
	Warning and Operational Signs	30/09/2006	EPA Act 2000
Date on which building or part of building was inspected	Dated: Thursday 30	day of November	2006
Date of Statement	Dated: Thursday 30	day of November	2006
Authorization	Vivienne Stewart		
	Print Name	Agent	Signature 

FALSE OR MISLEADING STATEMENTS

A person is guilty of an offence if the person makes any statement, knowing it to be false or misleading in an important respect, in or in connection with any document lodged with a consent authority or certifying authority for the purposes of the Act or this Regulation. (Clause 283 of the Environmental Planning and Assessment Regulation 2000)

NOTES:

- ❖ A copy of this statement (together with a copy of the current fire safety schedule) must be forwarded to the Council and the Fire Commissioner of the NSW Fire Brigades, Fire Safety Division, Locked Bag 12, PO GREENACRE NSW 2190.
- ❖ A copy of this statement (together with a copy of the current fire safety schedule) must be prominently displayed in the building.

DESIGN CERTIFICATE

ADDRESS Pittwater Place, 10 Park St, Mount Vale
PROJECT Harris Farm Markets - Condensor Unit to Roof.

Pursuant to the provisions of Clause A2.2 of the Building Code of Australia, Volume 1.

I MARK MANNING of GCA CONSULTANTS
(Appropriately qualified person) (Firm)

(Address)

Qualifications and experience: BE(Civil) Hons I, MIE Aust (#441703), CPEng, NPER

Phone numbers:

Bus: 02 9957 2294

Fax: 9929 4393

Mob:

hereby certify:-

That the structural drawings listed in Schedule A have been checked and comply with:-
(Type of drawings and specifications)

- a) The relevant clauses of the Building Code of Australia, as follows: SECTION B
- b) The architectural plans submitted to the Accredited Certifier for approval (Schedule B),
- c) The relevant Australian Standards listed in the Building Code of Australia
(Specification A1.3) as follows: AS 1170.1 ; AS 4100
- d) The following additional Australian Standards (if applicable): _____

Other practices or standards relied upon for this certification:

- e) Exclusions: ~~YES~~ NO: _____

Signature: Mark Manning

Date: 19-7-07

DESIGN CERTIFICATION

ADDRESS Pittwater Place 10 Park St, Mount Vale
PROJECT Harris Farm Markets - Condenser Unit to Roof.

SCHEDULE A

Design Drawing Numbers and Revision List and Specifications reference.

07080 - sk of 1 rev A - Condenser Support Frame
to Roof

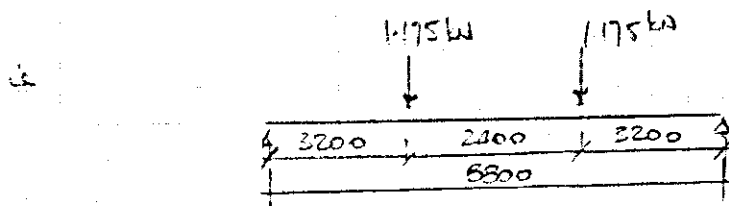
From HRC Alliance The proposed condenser weighs 477 kg.

$$\therefore 477 \text{ kg} = \frac{477 \times 9.81 \text{ kN}}{1000} = \underline{\underline{4.7 \text{ kN}}}$$

The grid spacing from David Farnh (B&E Pty Ltd) is 8.8m.

The load is to be supported by a pair of channels

$\therefore$ Each channel supports 2 legs of the condenser unit



$$\therefore M = P_2 = 1.175 \text{ kN} \times 3.2 = 3.76 \text{ kNm}$$

$$M^* = 1.2 \times 3.76 = 4.6 \text{ kNm}$$

$$\text{Max Effective length} = 1.1 \times 3.2 = 4.5 \text{ m}$$

$$\text{TRY } 180 \text{ UB } 18 \quad \therefore \phi M_b = 14.9 \text{ kNm} > 4.6 \text{ kNm} \quad \therefore \text{OK}$$

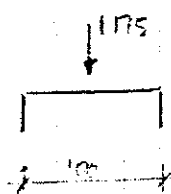
$$\text{Check Defn} \quad \delta = \frac{PL^3}{6EI} \left(\frac{3a}{4L} - \frac{a^3}{L^3} \right)$$

$$= \frac{1.175 \times 10^3 \times 8800^3}{6 \times 200000 \times 12.1 \times 10^6} \left(\frac{3 \times 3200}{4 \times 8800} - \frac{3200^3}{8800^3} \right)$$

$$= 12.4 \text{ mm} = \frac{L}{710} \quad \therefore \text{OK}$$

ADOPT 180 UB 18 as support beam.

Check BR Bolted Mount



$$M_w = \frac{PL}{4} = \frac{1.175 \times 0.1}{4} = 0.029 \text{ kNm}$$

$$Z = \frac{bd^2}{6} = \frac{(100-20) \times 10^2}{6} = 1332 \text{ mm}^3$$

$$\sigma = \frac{M}{Z} = \frac{0.029 \times 10^6}{1332}$$

$$= 22.5 \text{ MPa}$$

$$< 0.6 F_y = 150$$

$\therefore$ More than adequate.

Impact on existing rafter capacity

Assuming only the space occupied by the condenser unit then the space occupied reduces: The available line loading area by $3.658 \times 1.555 = 5.7 \text{ m}^2$

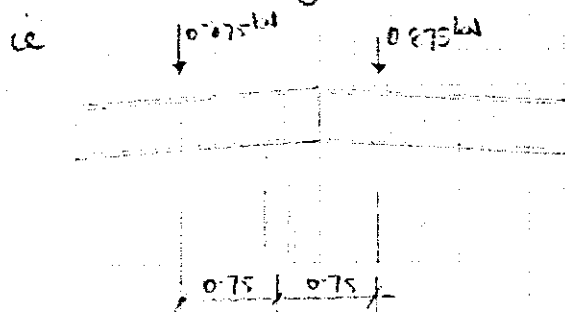
$\therefore$ with $U = 0.25 \text{ kPa}$ ultimate load no longer available on the roof due to the space occupied by the unit is:

$$1.5 \times 0.25 \times 5.7 = 2.14 \text{ kN}$$

The ultimate dead load due to the unit is $1.2 \times 4.7 \text{ kN} = 5.64 \text{ kN}$

$\therefore$ the differential in ultimate load is 3.5 kN

$\therefore$ on the supporting rafter this is $\frac{3.5}{4} = 0.875 \text{ kN}$ either side of the rafter support.



$\therefore M^{\text{extra}}$ due to unit is $2 \times (0.875 \times 0.75) = 1.32 \text{ kNm}$

As the existing rafter is flybraced the effective length is $< 7.0 \text{ m}$
However, @ 7.0 m M_b about $60 = 285 \text{ kNm}$

$\therefore$ The increase in bending moment at ultimate in the beam is $\frac{1.32 \text{ kNm}}{285 \text{ kNm}} \times 100\% = 0.47\%$

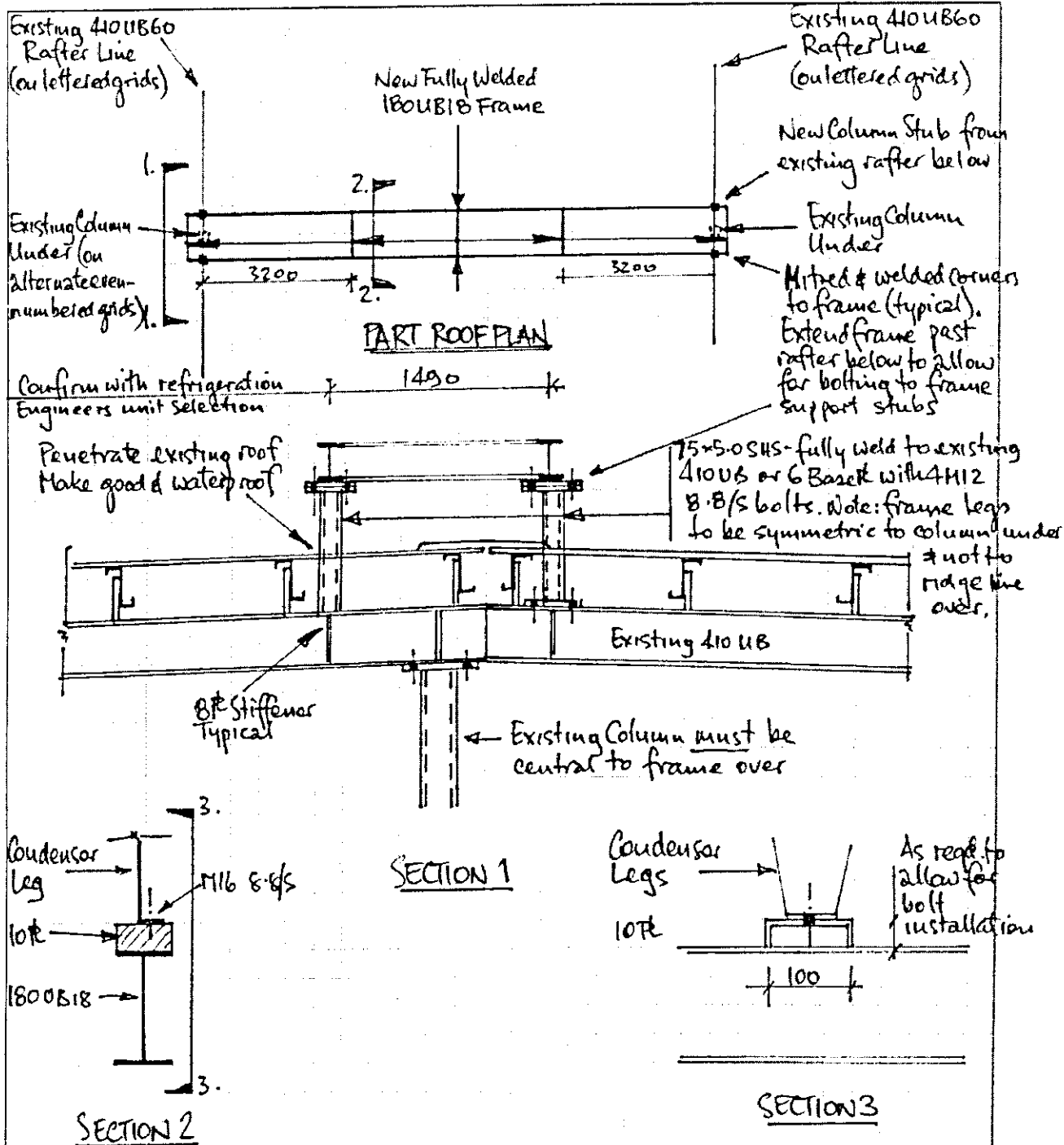
$\therefore$ clearly trivial & insignificant

DESIGN CERTIFICATION

ADDRESS Pittwater Place, 10 Park St, Mona Vale
PROJECT Harris Farm Markets - Condenser Unit to Roof

SCHEDULE B:
Architectural Drawing Numbers and Revision List.

NONE



NOTES:

1. All steelwork & bolts to be hot-dipped galvanized.
2. Maximum equipment load of 480 kg
3. Platform to be located as per part roof plan. Refer any locational queries to the structural engineer prior to proceeding.

Consulting Engineers
Adelaide Auckland Bangkok
Brisbane Cairns Canberra
Honolulu Melbourne Perth
San Diego Singapore Sydney

Lincolne Scott Australia Pty Ltd
ABN 47 005 113 468
Level 1 41 McLaren Street
PO Box 6245 North Sydney
New South Wales 2060 Australia
Telephone 51 2 5907 0900
Facsimile 61 2 9957 4127
sydney@lincolnescott.com
lincolnescott.com

Lincolne Scott

Electrical Design Statement

To	Multiplex Property Services Pty Ltd		
Attention	Jonathan Key	Date	13/7/2007
Address	Level 1, 1 Kent Street	Email	Jonathan.key@multiplex.biz
	Sydney, NSW 2001	Project No	NSSY24490E
Project	Alterations To Pittwater S.C.	No of Pages	1
Copies			

The Electrical systems for the building works described below have been designed in accordance with:

- General BCA 2007, AS/NZS 3000 - 2000
- Internal Lighting AS 1680.2.1 - 1993
- Energy Efficiency BCA 2007 Section J6
- Exit Signs AS 2293.1 - 2005 & BCA 2007 - Clauses E4.5, E4.6 & E4.8
- Emergency Lighting AS 2293.1 - 2005 & BCA 2007 - Clauses E4.2 & E4.4

Building Description and Location

The works involve modifications to the base building infrastructure within existing Pittwater Place Shopping Centre to accommodate the new tenancies. The shopping centre is located at:

Pittwater Place, 10 Park St, Mona Vale

Documents

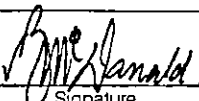
E00 Rev A E01 Rev A E02 Rev A E03 Rev A E04 Rev A

Electrical Services Specification Tender Issue

Owner

Multiplex Property Services Pty Ltd

Details of Person Signing

Position in Company	Electrical Engineer		
Qualifications and Experience	BE(Hons), 8 years experience		
Name	Brett McDonald	 Signature	Date 13/7/07

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NSSY24490E.0.5.SXR.70713.Electrical Design Statement
Form Revision: H 03/07



a climate
neutral
company

Consulting Engineers
Adelaide Auckland Bangkok
Brisbane Cairns Canberra
Honolulu Melbourne Perth
San Diego Singapore Sydney

Lincolne Scott Australia Pty Ltd
ABN 47 005 113 468
Level 1 41 McLaren Street
PO Box 6245 North Sydney
New South Wales 2080 Australia
Telephone 61 2 8997 0900
Facsimile 61 2 9957 4127
sydney@lincolnescott.com
lincolnescott.com

Lincolne Scott

Mechanical Design Statement

To	Multiplex Property Services Pty Ltd		
Attention	Jonathan Key	Date	13/7/2007
Address	Level 1, 1 Kent Street	Email	Jonathan.key@multiplex.biz
	Sydney, NSW 2001	Project No	NSSY24490E
Project	Alterations To Pittwater S.C.		
Copies		No of Pages	1

The Mechanical Ventilation and Air Conditioning systems for the building works described below have been designed in accordance with:

- General BCA 2007
- Energy Efficiency BCA 2007 Section J
- Mechanical Ventilation Systems AS1668.2 – 1991 & BCA 2007 Clauses F4.5, F4.11, F4.12
- Mechanical Plant AS 3666.1 – 2002 & BCA 2007 Clause F4.5
- And as amended by Fire safety study Report No. FER- 61F, prepared by Fire Modelling & Computing dated March 2004

Building Description and Location

The works involve modifications to the base building infrastructure within existing Pittwater Place Shopping Centre to accommodate the new tenancies. The shopping centre is located at:

10 Park Street, Mona Vale

Documents

M00 Revision A Cover Sheet
M01 Revision A Retail Level - Air Conditioning and Ventilation Layout
M02 Revision A Roof Level - Part Roof Plan Details and Legend as Symbols
Mechanical Services Specification Tender Issue

Owner

Multiplex Property Services Pty Ltd

Details of Person Signing

Position in Company	Mechanical Engineer		
Qualifications and Experience	BEng(Hons), MASHRAE. 5 years experience		
Name	Hui Xin Ng		Date 13/07/07

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NSSY24490E 0.5.HXN.70713.Mech Design Statement
Form Revision: H 03/07



Consulting Engineers
Adelaide Auckland Bangkok
Brisbane Cairns Canberra
Honolulu Melbourne Perth
San Diego Singapore Sydney

Lincolne Scott Australia Pty Ltd
ABN 47 005 113 468
Level 1 41 McLaren Street
PO Box 6245 North Sydney
New South Wales 2060 Australia
Telephone 61 2 8907 0900
Facsimile 61 2 9957 4127
sydney@lincolnescott.com
lincolnescott.com

Lincolne Scott

Fire Protection Design Statement

To	Multiplex Property Services Pty Ltd		
Attention	Jonathan Key	Date	19/7/2007
Address	Level 1, 1 Kent Street	Facsimile	Jonathan.key@multiplex.biz
	Sydney, NSW 2001	Project No	NSSY24490E
Project	Alterations to Pittwater S.C	No of Pages	2

Copies

The Fire Protection systems for the building works described below have been designed in accordance with:

- Fire sprinkler system BCA 2007 E1.5 , AS2118.1-1999
- Smoke detection for smoke control systems BCA 2007 E2.2a clause 5 , AS1668.1-1998
- Occupant Warning system BCA 2007 E4.9 , AS1670.1 -2004
- Fire hydrants BCA 2007 E1.3 , AS2419.1-2005
- Fire hose reels BCA 2007 E1.4 , AS2441-2005
- Portable fire extinguisher BCA 2007 E1.6 , AS2444 - 2001
- And as amended by Fire Safety Engineering Report FER-61F prepared by fire modelling and computing

Building Description and Location

The works involve modifications to the base building infrastructure within existing Pittwater Place Shopping Centre to accommodate the new tenancies. The shopping centre is located at:

10 Park Street, Mona Vale

Documents

NSSY24490E.F00.A-Drawing index & Legend-Tender Issue
NSSY24490E.F01.A-Retail Level wet fire system-Tender Issue
NSSY24490E.F02.A-Retail Level Dry fire system-Tender Issue
NSSY24490E.F03.A-Dry fire schematics-Tender Issue
NSSY24490E.SPEC.FoA-Tender Issue

Owner

Multiplex Property Services Pty Ltd

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NSSY24490E.0 5.WZA 70719.Fire Design Statement.doc
Form Revision: H 03/07



a climate
neutral
company

Details of Person Signing

Position in Company Fire Services Engineer

Qualifications and Experience BA Mech Eng

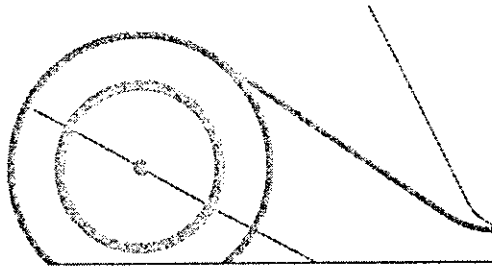
Master of Engineering Management , 2 Years Experience

Name Wasef Al-sleibi


Signature

Date 11/7/2007

This document shall in no way relieve the Builder and or Contractors of any legal responsibility or obligations with respect to the manufacture, installation, operation and respective certifications.



Delivering joinery Solutions Since 1979

HDALLAS
COMMERCIAL JOINERY

SB 2000 TOILET PARTITION SYSTEM

(Not suitable for showers)

**FLOOR MOUNTED - SQUARE FRONT - FREE STANDING
FULLY LAMINATED 18MM & 33MM HMR PARTICLEBOARD
FRONTS SUPPORTED ON STAINLESS STEEL BRACKETS**

ARCHITECTURAL SPECIFICATIONS

To specify this system;

SUBSTRATES AND FINISHES

All toilet cubicles including partitions, fronts, ribs and doors as shown on drawings shall be high moisture resistant (HMR) Particleboard FULLY LAMINATED both sides with 0.8mm post forming grade laminate. All exposed edges shall be edged with 2mm ABS edging. Colours to be from manufacturers' range. Aluminium extrusions to be natural anodized. Materials to be factory prepared by H. Dallas Industries Pty Limited - Phone (02) 9771 4200, Fax (02) 9771 4885.

PARTITIONS AND FRONTAL ASSEMBLY

Partitions shall be of substrate and finishes as described above 1500mm wide x 1700 high x 20mm thick fixed at junctions with aluminium channel. Frontal panel shall be of substrate described above 300mm wide x 1700mm high x 35mm thick forming a "tee" when fixed to the partition.

The whole assembly shall be mounted 200mm above floor supported on a stainless steel cast bracket, bolted using chemical anchors to concrete slab after tiling and at wall junctions with aluminium channel. Cast bracket and fixings shall be concealed with a satin stainless steel cover. Note: Concrete floor required for floor fixings.

NIBS

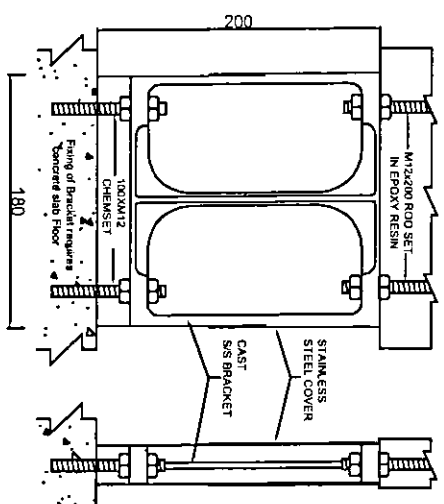
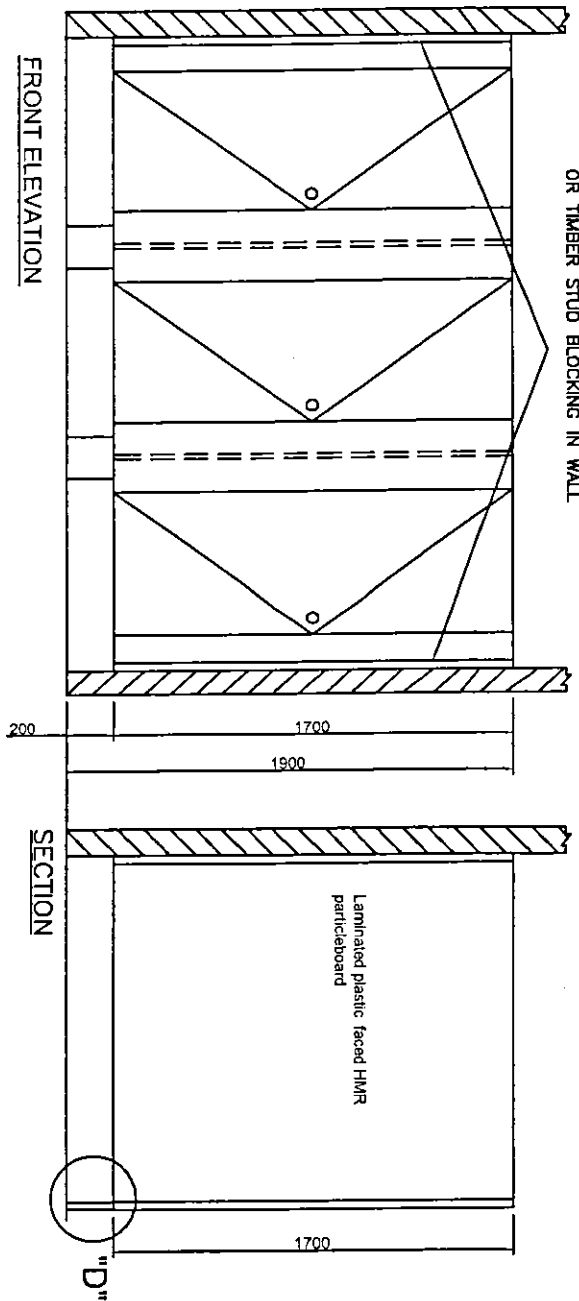
Shall be of substrate and finishes described above 150mm wide x 1700mm high x 35mm thick. Fixed at wall junctions with aluminium channel mounted 200mm above floor and secret dowelled to masonry wall using a 12mm steel pin epoxy set for stability. Note: Wall fixings require masonry wall or timber stud blocking in walls for fixings.

DOOR

Shall be of substrate and finishes described above 592mm wide x 1700mm high x 35mm thick to suit a 600mm opening. Each door shall be fitted with BCA Compliant Door Furniture (gravity hinges, buffer and rubber tipped hat and coat hook).

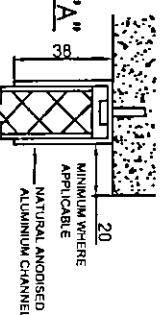
For further information refer to our workshop drawing "SB 2000"

WALL FIXINGS REQUIRE MASONRY WALL
OR TIMBER STUD BLOCKING IN WALL

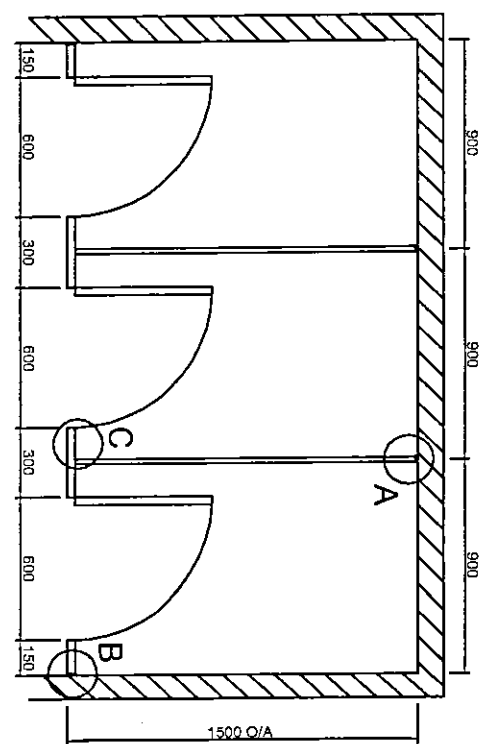


DETAIL "D"

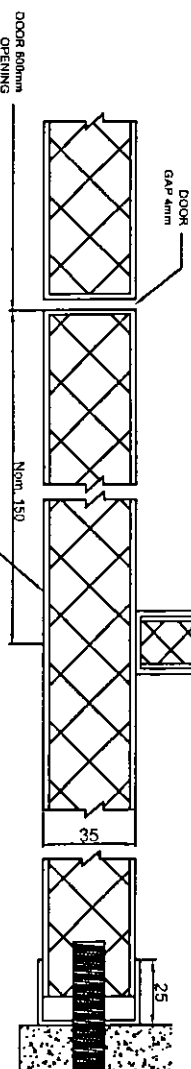
DETAIL "A"



MINIMUM VENTURE
APPLICABLE
NATURAL ANODISED
ALUMINIUM CHANNEL



PLAN VIEW



DETAIL "B"

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

DOOR 600mm
GAP 4mm

SB2000 TOILETS

(Not suitable for showers)

This drawing to be read in conjunction
with specification SB2000 TOILETS.

DESCRIPTION

FLOOR MOUNTED - SQUARE FRONT - FREE STANDING
FULLY LAMINATED 18mm & 33mm HMR PARTICLE BOARD
FRONTS SUPPORTED ON STAINLESS STEEL BRACKETS

NOTE: ALL DIMENSIONS SHOWN ARE NOMINAL

H Dallas Industries Pty Ltd ABN 22 001 776 183
1a Armour Street, Milperra, N.S.W. 2214
P.O. Box. Milperra, N.S.W. 2214
Phone: (02) 9771 4200 Fax (02) 9771 4885
email: sales@dallasind.com.au

GENERAL NOTES

DO NOT SCALE FROM THIS DRAWING

CONFIRM ALL DIMENSIONS AND SETOUTS ON SITE
PRIOR TO MANUFACTURE & INSTALLATION

ALL WORK IN ACCORDANCE WITH
RELEVANT AUSTRALIAN STANDARDS

TO BE READ IN CONJUNCTION WITH
ENGINEERS DOCUMENTS

LEGEND

CD-00	BATHROOMS & PARENT'S ROOM PLAN
CD-01	REFLECTED CEILING PLAN

WOMEN'S TOILET:

CD-02	SECTION A - CORIAN JOINERY UNIT 1
CD-03	SECTION B - TOILET CUBICALS
CD-04	SECTION C - SANITARY FIXTURES IN TOILET CUBICAL
CD-05	SECTION D - JOINERY UNIT 1 MAKE UP COUNTER

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CD-06 SECTION E - CORIAN JOINERY UNIT 2
CD-07 SECTION F - TOILET CUBICALS

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CD-08	SECTION G - SANITARY FIXTURES DIS. TOILET & PARENT'S ROOM TOILET
CD-09	SECTION H - SANITARY FIXTURES DIS. TOILET & PARENT'S ROOM TOILET
CD-10	SECTION I & JOINERY UNIT 3 IN PARENT'S ROOM

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CD-11 SECTION J - JOINERY UNIT 3 & TOILET PARENT'S ROOM
CD-12 SECTION K - JOINERY UNIT 3

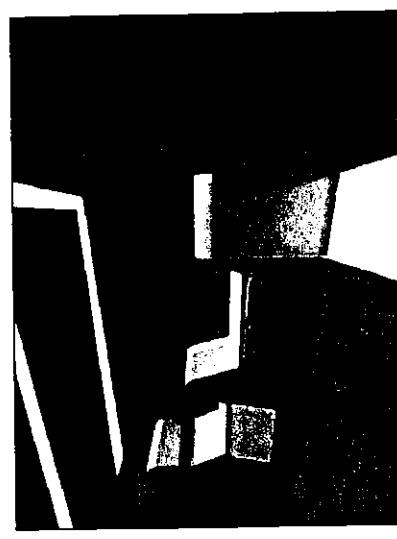
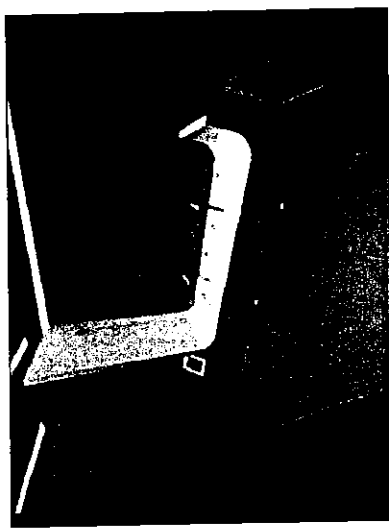
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CD-13 SECTION L- SIGNAGE DETAILS

1:28

1/CD-01
TYPICAL L1 DETAIL

14

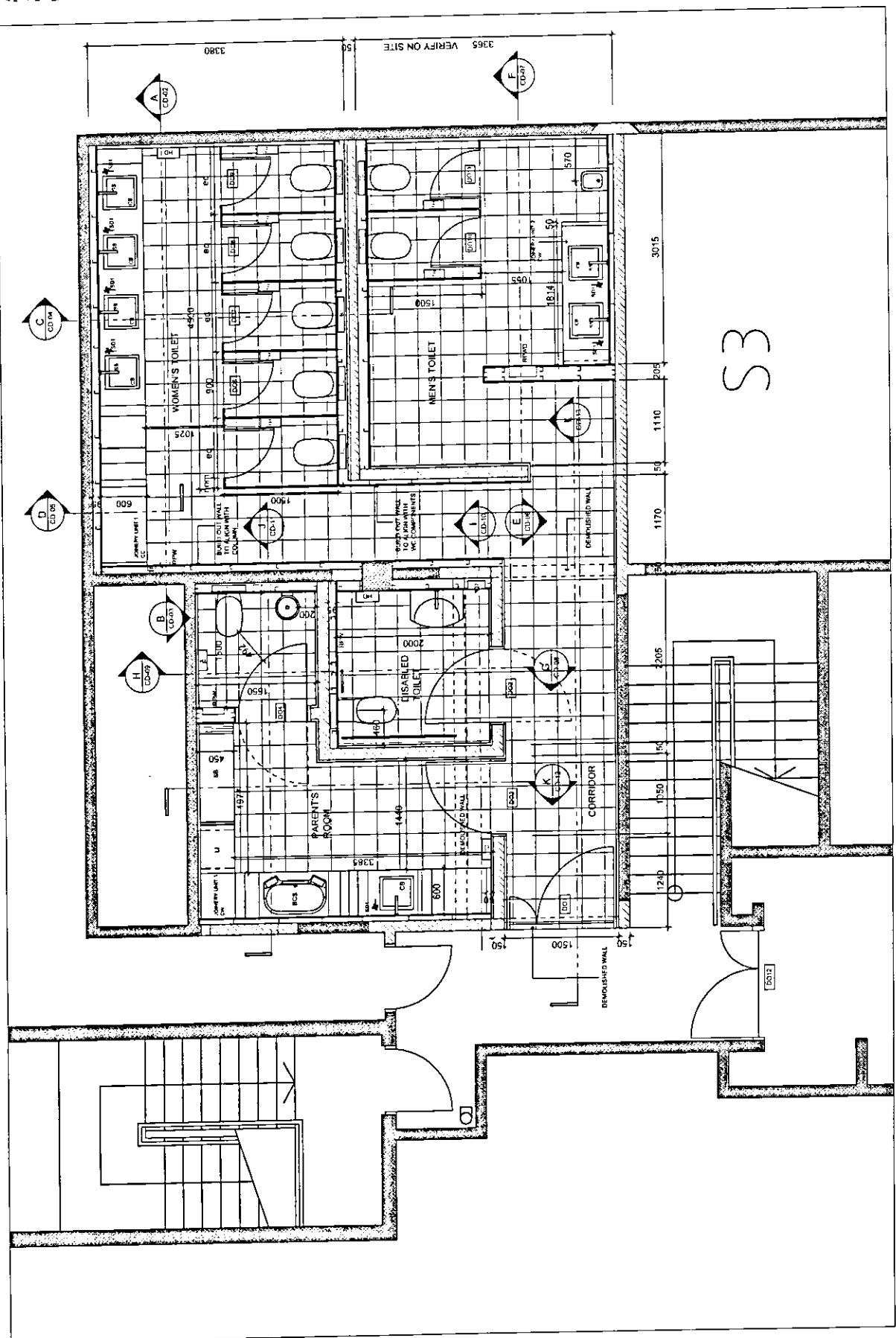
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GENERAL NOTES
 1. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND STANDARDS ON SITE.
 2. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND STANDARDS ON SITE.
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LEGEND

- NOTES**
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 - 10. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL BUILDING REGULATIONS AND STANDARDS ON SITE.

terroir
 PROJECT: VILLE
 PITWATER SHOPPING CENTRE
 BATHROOMS & PARENT'S ROOM PLAN
 DRAWING DESCRIPTION:
 BATHROOMS & PARENT'S ROOM PLAN
 DRAWING NO.: CD-00
 REVISED: A
 CONSTRUCTION DOC.



BATHROOMS & PARENT'S ROOM PLAN

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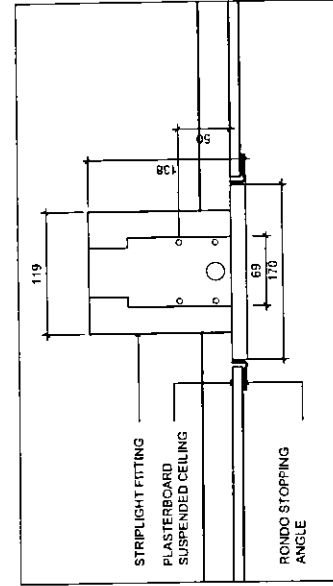
CD-00

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Project:
MONA VALE
PITTWATER SHOPPING CENTRE

Drawing Description:
REFLECTED CEILING PLAN

Drawn by:	Checked by:	Date (Month):
AK	MP	01/11/2007
Project No:	File No:	Scale:
07000	ADM - 2.01	1/50 (EAG)
LONG NO:	CD-01	REV NO: A
Drawing Status:		CONSTRUCTION



REFLECTED CEILING PLAN
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1
CD-01

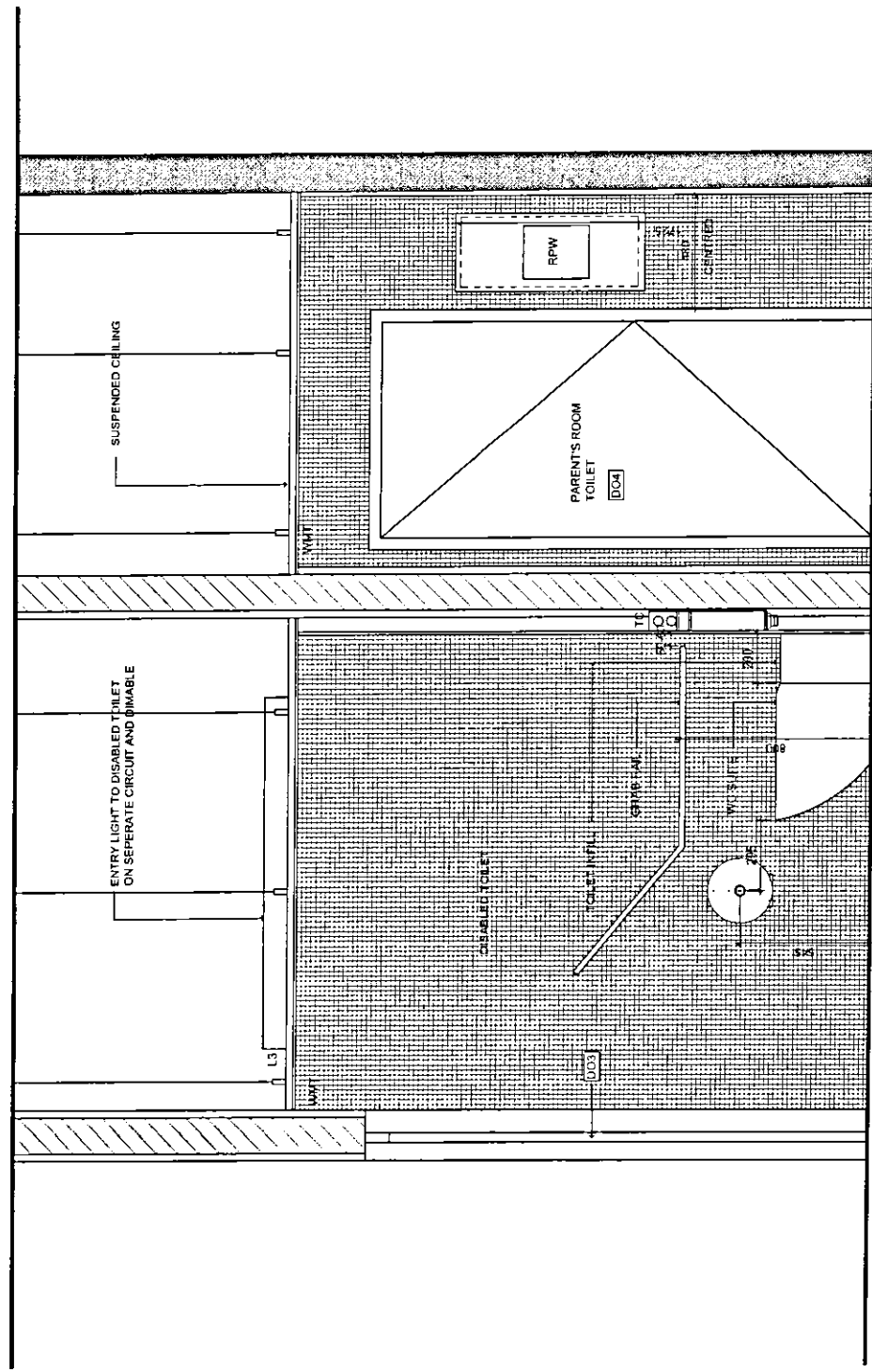
TYPICAL L1 SECTION

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GENERAL NOTES:
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 2. CONSULT ALL DIMENSIONS AND SPACING ON THIS DRAWING TO ALL DIMENSIONS AND SPACING ON THIS DRAWING.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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SECTION G-SANITARY FIXTURES DISABLED TOILET&PARENT'S ROOM TOILET
 1:20



terroir

Project:
 WOODVALE SHOPPING CENTRE
 PITWATER
 SECTION G-SANITARY FIXTURES
 DISABLED TOILET & PARENT'S ROOM TOILET

Client:
 WOODVALE SHOPPING CENTRE
 PITWATER

Architect:
 WOODVALE SHOPPING CENTRE
 PITWATER

Scale:
 1:20

Sheet No:
 CD-01

Sheet Title:
 SECTION G-SANITARY FIXTURES
 DISABLED TOILET & PARENT'S ROOM TOILET

Sheet No:
 CD-01

Sheet Title:
 SECTION G-SANITARY FIXTURES
 DISABLED TOILET & PARENT'S ROOM TOILET

Sheet No:
 CD-01

Sheet Title:
 SECTION G-SANITARY FIXTURES
 DISABLED TOILET & PARENT'S ROOM TOILET

1. **NAME** _____
 2. **DATE** _____
 3. **GRADE** _____
 4. **TEACHER** _____
 5. **SCHOOL** _____
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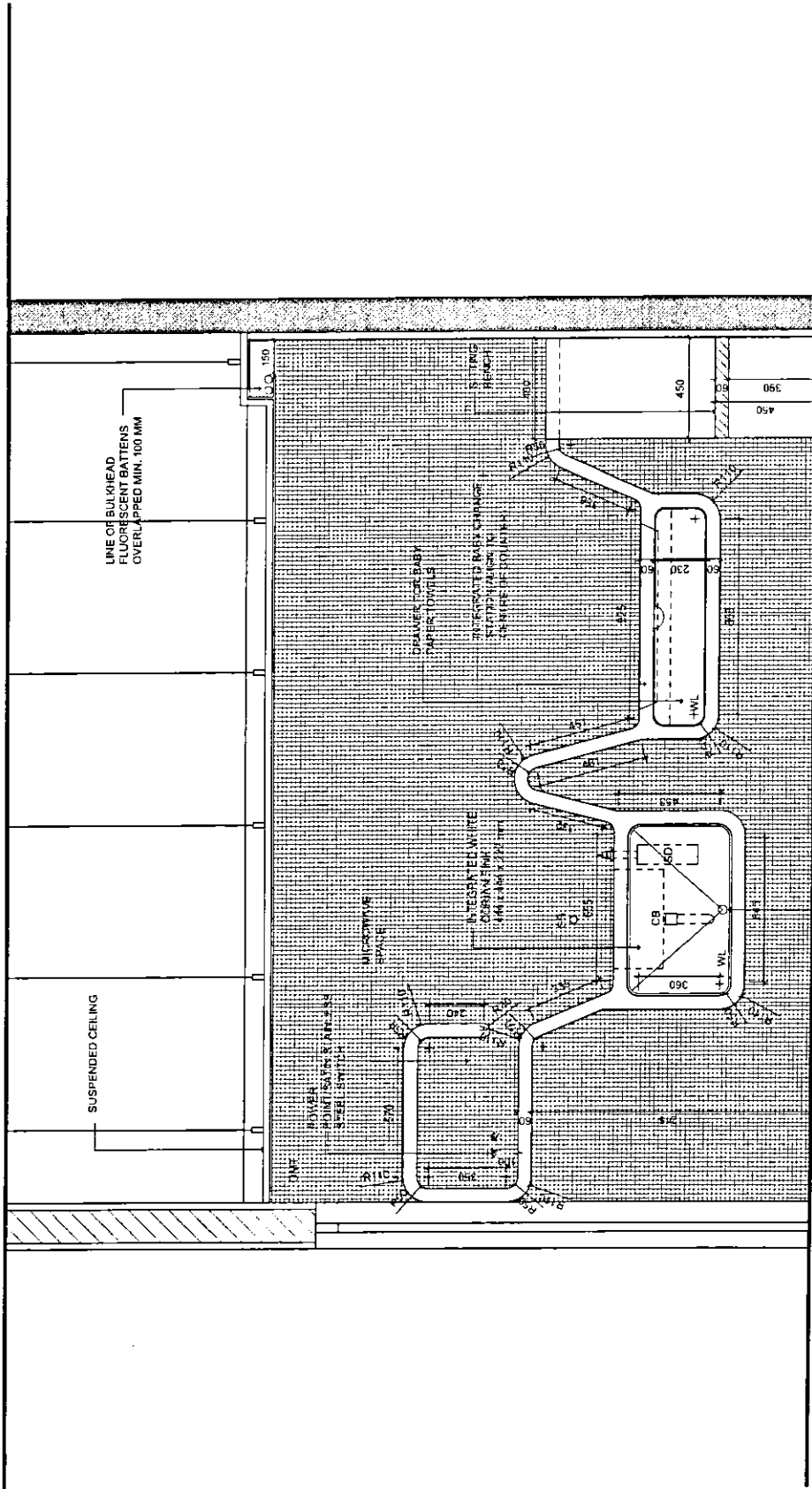
SECTION H - SANITARY FIXTURES DIS. TOILET&PARENT'S ROOM TOILET

1:20

GENERAL NOTES
 1. ALL WORK IS TO BE COMPLETED BY THE END OF THE PROJECT.
 2. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
 3. TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DOCUMENTS.

LEGEND

- NOTE:**
 ALL MATERIALS TO BE COMPLETED BY THE END OF THE PROJECT.
 ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
 TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DOCUMENTS.
- GENERAL:**
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 3. TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DOCUMENTS.
- CEILING STRUCTURE:**
 1. ALL WORK IS TO BE COMPLETED BY THE END OF THE PROJECT.
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- CEILING FINISHES:**
 1. ALL WORK IS TO BE COMPLETED BY THE END OF THE PROJECT.
 2. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
 3. TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DOCUMENTS.
- CEILING LIGHTING:**
 1. ALL WORK IS TO BE COMPLETED BY THE END OF THE PROJECT.
 2. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
 3. TO BE READ IN CONJUNCTION WITH THE ENGINEER'S DOCUMENTS.
- CEILING ACCESSORIES:**
 1. ALL WORK IS TO BE COMPLETED BY THE END OF THE PROJECT.
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- CEILING DETAILS:**
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terroir

PROJECT:
 MUMBAI SHOPPING CENTRE
 PITTSBURGH SHOPPING CENTRE
 JOINERY UNIT 3
 PARENT'S ROOM

DESIGNER:
 terroir

DATE:
 11/11/2011

REVISED:
 11/11/2011

CD-12

SECTION K - JOINERY UNIT 3
 1:20

Legend

10 20

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NOTE
BASE BUILDING WORKS BY LESSOR, LESSEE TO FINISH ALL
FITTINGS AND COOKHOODS

CITY PLAN SERVICES
Construction Cert. No: Approved Date:
27 JUL 2007

Certifying Authority:
Brendan Bennett
Accreditation No: DPP-0027

PRELIMINARY

NAME	REVISION DESCRIPTION	DATE
1. INITIAL DESIGN		
2. REVISED DRAWING		
3. REVISED DRAWING		
4. DEVELOPMENT APPLICATION		
5. DEVELOPMENT APPLICATION		

Client:
HARRIS FARM
HARRIS FARM
PO BOX 17
WARRIOR VILLAGE
NSW 2127

Consultant:
STC architects
STC architects
PO BOX 17
WARRIOR VILLAGE
NSW 2127

Project:
HARRIS FARM MARKETS-
MONA VALE NSW

Address:
SHOP 37, PITWATER PLACE,
10 PARK STREET,
MONA VALE,
NSW

Drawing Title:
FLOOR PLAN

Drawn	Scale	North Point
ST	1:1000	
Approved	Print Date	
STC	15/05/07	
Drawn	Revision	
STC	1	

STC architects CAD File: 27M07-001-01.dwg

ENTRY

MALL

Clear span roller grilles
on shopfront lease line

6

7

8

9

1

FLOOR PLAN

0 1 2 3 4 5 1:100

CITY PLAN SERVICES

Construction Cert. No: Approved Date:

2 7 1 1 6 2 5 JUL 2007

Certifying Authority: Brendan Benfrett

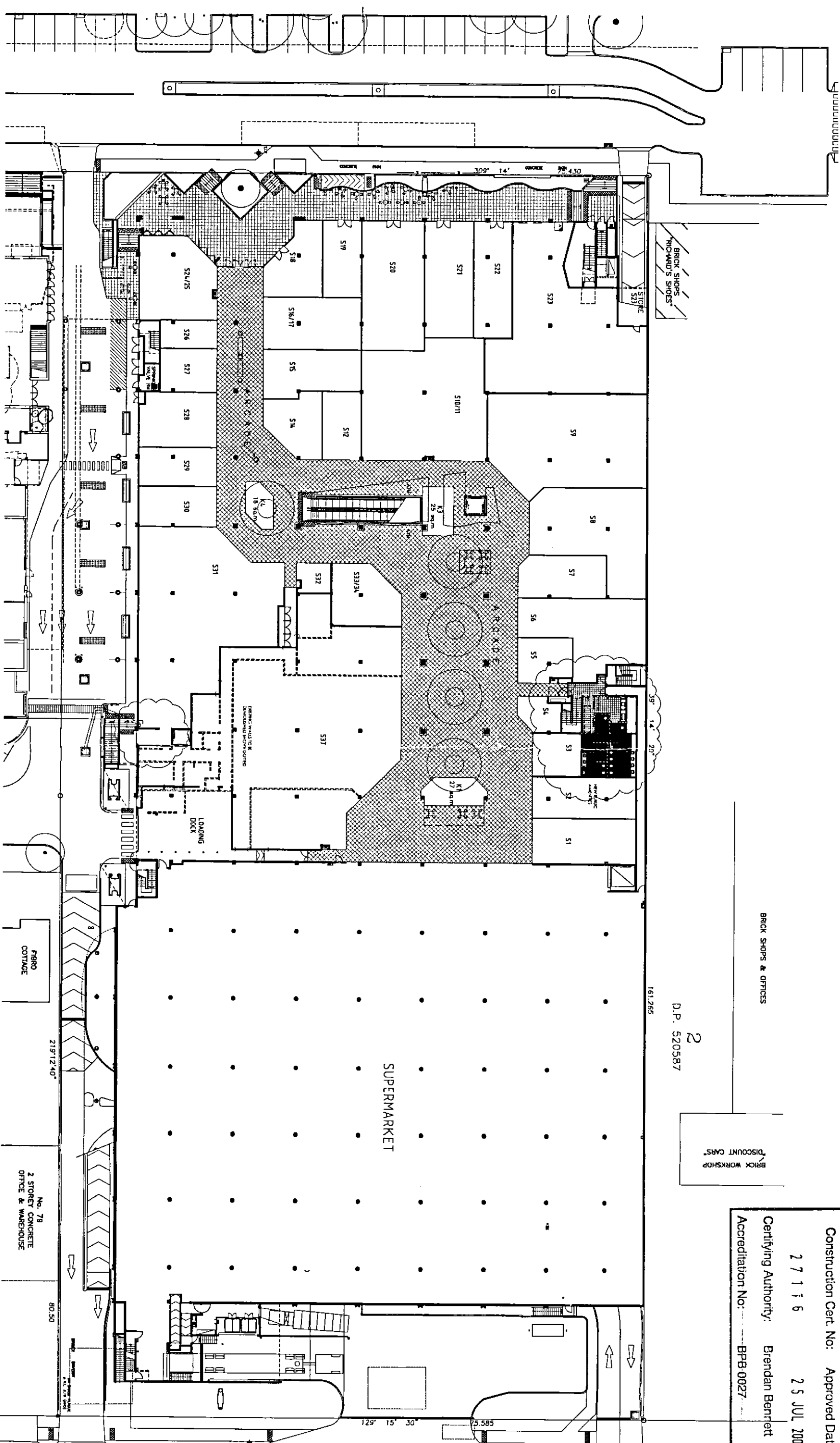
Accreditation No: BFB-0027

BRICK SHOPS & OFFICES

BRICK WORKSHOP
"DISCOUNT CARS"

2
D.P. 520587

161,285



1:200

LEFFLER SIMES ARCHITECTS

LEFFLER SIMES PTY LTD
7 TOWN STREET MONA VALE NSW 2205
ARCHITECTS
AUSTRALIAN
ARCHITECTURAL
ASSOCIATION
MEMBER NO 101 101 101

DATE: 10.11.07
PROJECT No: 2458- DA01/0
SCALE: 1:200

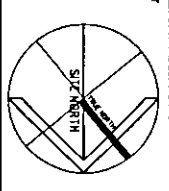


MULTIPLEX

PROPOSED ADDITIONS AND ALTERATIONS TO
EXISTING SHOPPING CENTRE
10 PARK STREET MONA VALE
for PITTMATER PLACE PTY. LTD.

PITTMATER
PLACE

NO.	DATE	REVISION
1	10.11.07	PROPOSED ADDITIONS AND ALTERATIONS TO EXISTING SHOPPING CENTRE
2	10.11.07	REVISION TO PLAN NO. 1
3	10.11.07	REVISION TO PLAN NO. 2
4	10.11.07	REVISION TO PLAN NO. 3
5	10.11.07	REVISION TO PLAN NO. 4
6	10.11.07	REVISION TO PLAN NO. 5
7	10.11.07	REVISION TO PLAN NO. 6
8	10.11.07	REVISION TO PLAN NO. 7
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89	10.11.07	REVISION TO PLAN NO. 88
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98	10.11.07	REVISION TO PLAN NO. 97
99	10.11.07	REVISION TO PLAN NO. 98
100	10.11.07	REVISION TO PLAN NO. 99



ISSUE	DATE	DESCRIPTION
1	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
2	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
3	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
4	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
5	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
6	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
7	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
8	25 JUL 2007	ISSUED FOR PERMIT APPLICATION
9	25 JUL 2007	ISSUED FOR PERMIT APPLICATION

CITY PLAN SERVICES
Construction Cert. No: Approved Date: 2 7 1 1 6 2 5 JUL 2007
Certifying Authority: Brendan Bennett
Accreditation No: BPB-0027

PITTWATER PLACE

Lincolne Scott
ELECTRICAL / MECHANICAL CONSULTANT

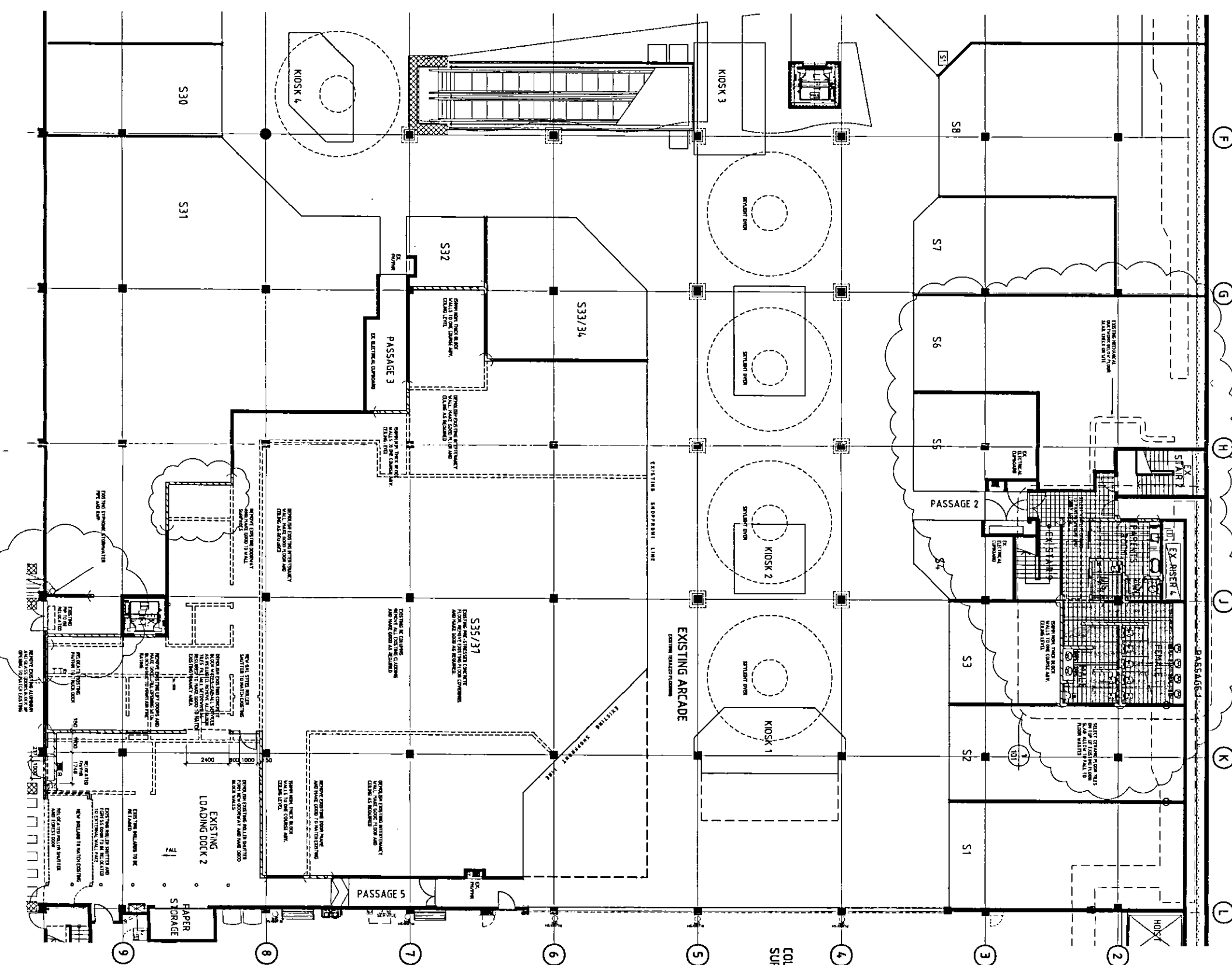
BG & E
STRUCTURAL ENGINEERS
BRUCE G. BELL
100/101 WILSON STREET, SYDNEY NSW 2000
TEL: 02 9550 1111
FAX: 02 9550 1112
WWW.BGANDCO.COM.AU

CLASS 5, 6 & 7 CONSTRUCTION TYPE

MULTIPLEX
LEFFLER SIMES ARCHITECTS
LEFFLER SIMES PTY. LTD.
7 YOUNG STREET, SYDNEY NSW 2000
TEL: 02 9550 1111
FAX: 02 9550 1112
WWW.LEFFLER-SIMES.COM.AU

EXISTING MIXED COMMERCIAL DEVELOPMENT 10 PARK MONA VALE NSW

TITLE	PART RETAIL FLOOR PLAN
DATE	25 JUL 2007
SCALE	1:100
DRAWING NO.	GA01
PROJECT NO.	2458
DRAWING BY	C



ALTERATIONS TO PITTWATER PLACE SHOPPING CENTRE 10 PARK STREET, MONA VALE ELECTRICAL SERVICES

DRAWING INDEX

- E00 DRAWING INDEX
- E01 LEGEND OF SYMBOLS
- E02 RETAIL LEVEL - POWER, COMMS AND SECURITY LAYOUT
- E03 RETAIL LEVEL - LIGHTING LAYOUT AND PA LAYOUT
- E04 MAIN SWITCHBOARD AND RETICULATION SCHEMATIC

CITY PLAN SERVICES

Construction Cert. No: Approved Date:
2 7 1 1 6 2 5 JUL 2007

Certifying Authority: Brendan Bennett

Accreditation No: BPPB 0027 - ----

MULTIPLY

REV	DATE	DESCRIPTION	BY	CHKD
1	27/06/07	THINER LINE	PAK	SRK



REFERENCE COORDINATION DRAWINGS			
DESCRIPTION	DRAWING NO.	REV	DATE

Lincolne Scott

Consulting Engineers
Electrical, Civil, Mechanical, Structural, Surveying, Planning
100 Park Street, Monavale, NSW 1570
Tel: (02) 9439 1111
Fax: (02) 9439 1112
www.lincolnescott.com.au

Land: 10 Park Street
Building: 100 Park Street
100 Park Street, Monavale, NSW 1570
Tel: (02) 9439 1111
Fax: (02) 9439 1112
www.lincolnescott.com.au

PROJECT

ALTERATIONS TO PITTWATER
PLACE SHOPPING CENTRE
10 PARK ST., MONA VALE
OWNER: MULTIPLEX PTY. LTD.

DATE	20/06/07	DESIGNED	PAK
SCALE	1:200	CHECKED	SRK
DRAWN BY	BT	APPROVED	SRK
CAD FILE	P:\NSV\2449\0E\2449E-030.dwg		

FILE

ELECTRICAL SERVICES
DRAWING INDEX

PROJECT NO: 2449.0E E00

DATE: 25 JUL 2007

BY: A

TENDER

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LIGHTING/SW

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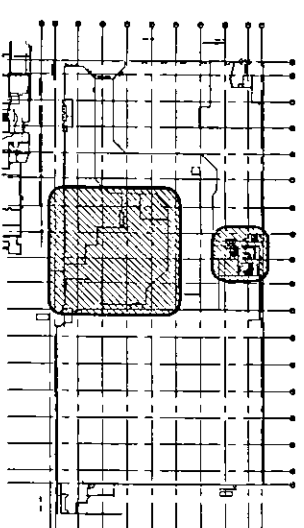
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SCAL	NTS	CHECKED	SXR
CHEK SIZE	B1	APPROVED	HXN
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**ALTERATIONS TO PITTWATER
PLACE SHOPPING CENTRE**
10 PARK ST., MONA VALE
CLIENT
MULTIPIX PTY. LTD.

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KEY PLAN - PITWATER PLACE
SCALE 1/8"=1'-0"

- NOTES:**
1. TRAVELER'S SH. LUNARIES LOCATED IN THE MOUNTAINS; LEAD TRAVELER TO THE TRAILHEAD
 2. GORT'GARD'S SECRET IN THE RED LOCATED TO TRAVELER LOCATED IN THE SECRET
 3. GILGA AND BLIP'G ALL APPROPRIATE'S LUNARIES TO BE REPORTED TO THE TRAILHEAD TO FIGHT THE MOUNTAINS
 4. EXIT ROAD TO BE APPROVED TO ALLOW TRAVELER'S SECRET TO BE SP. TO THE TRAILHEAD
 5. COME TO THE TRAILHEAD SECRET IN THE MOUNTAINS
 6. TRAVELER'S SECRET LOCATED IN THE MOUNTAINS
 7. TRAVELER'S SECRET LOCATED IN THE MOUNTAINS

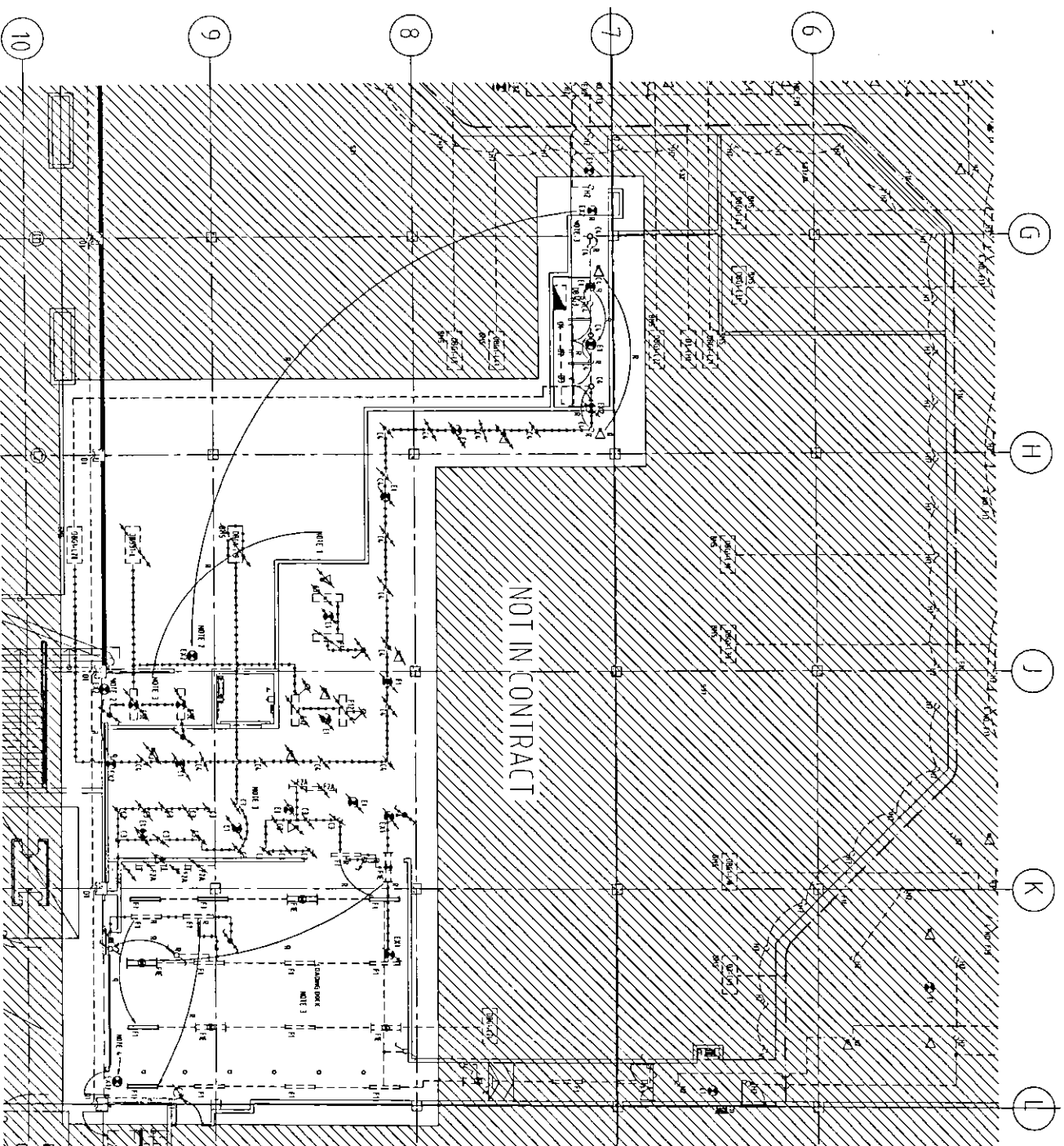
CITY PLAN SERVICES

Construction Cert. No: Approved Date:

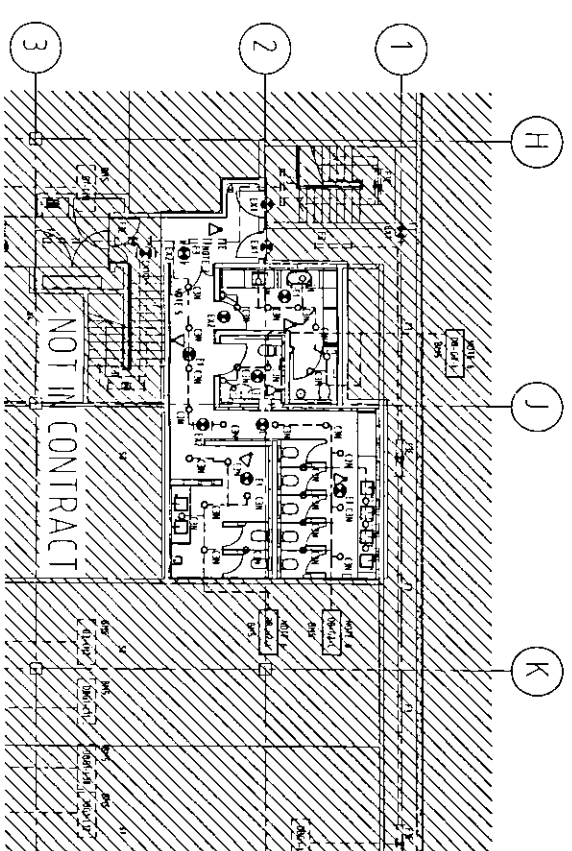
27716 25 JUL 2007

Certifying Authority: Brendan Bennett

Accreditation No. BPD 0027



NOT IN CONTRACT



OTHER CONTRACT

HARRIS FARM TENANCY
SCALE - 100

SHOPPING CENTRE AMENITIES

[illegible]

REFERENCE COORDINATION DRAWINGS		
DESCRIPTION	DRAWING NO.	REV. (DATE)

Lincolne Scott

Continuing Education
 This article is approved for continuing education credit by the International Board of Standards and Practices for Certified Financial Planners, Inc. (IBCFP).
 The IBCFP has approved this article for 1.0 CE hour.
 The IBCFP has approved this article for 1.0 CE hour.

PROJECT
ALTERATIONS TO PITTWATER
PLACE SHOPPING CENTRE
10 PARK ST., MONA VALE
CLIENT
MULTIPLY PTY. LTD.

DATE	20.06.07	DOCTOR	PAK
SCALE	1:100	CHECKED	SXR
SHEET SIZE	B1	APPROVED	HXXN

DATE ONE P:\N5572439E\224395E-E003.dwg

ELECTRICAL SERVICES
 RETAIL LEVEL - LIGHTING LAYOUT
 AND PA LAYOUT

MULTIPLEX

TENDER

FIRE SERVICES

- F00 DRAWING INDEX & LEGEND
- F01 RETAIL LEVEL - WET FIRE SYSTEM LAYOUT
- F02 RETAIL LEVEL - DRY FIRE SYSTEM LAYOUT
- F03 DRY FIRE SYSTEM SCHEMATICS

CITY PLAN SERVICES
Construction Cert. No: Approved Date:
2 7 1 1 5 7 5 JUL 2007
Certifying Authority: Brendan Barnett
Accreditation No: BPB-0027

	NO HOLE PIERCE
	EXCISE HOLE PIERCE
	NEW BLADE PIERCE
	EXISTING HOLE PIERCE
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[illegible]

	GAS NOZZLE - ONE WAY
	GAS NOZZLE - TWO WAY
	GAS NOZZLE - FLOW WAY
	STOP GAS SWITCH
	MANUAL RELEASE OF LOCK
	TREADLE CYLINDER
	TREADLE CYLINDER

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GATE VALUE
 PRESSURE REDUCTION VALUE
 SOLIDITY VALUE
 BALD VALUE
 BALL VALUE
 CORK VALUE
 AMULET VALUE
 PRESTIGE AND VALUE
 ALLOY VALUE
 PNEUMATIC VALUE
 STRANGER

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FREE PUBLICATION PANEL
332

<u>TENANCY</u>	
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N	NEW
N	RELINQUISH
D	DEFEAT

HYDRAULIC ROSEBUD & FINE CRYSTALLINE

	FINE ROSE RED
	FINE CRISTALLINO
	GRUPPO
	DE ROSSO
	DE CRISTALLINO
	J - MARINO



	FINE CRISTALLINO
	A - MARINO
	E - CRISTALLINO
	D - CRISTALLINO
	F - CRISTALLINO
	V - MARINO

[illegible]

REFERENCE COORDINATION DRAWINGS		
DESCRIPTION	DATE	REV

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New South Wales 1585
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Fax 011 9387 4171
info@lincolnescott.com.au

**ALTERATIONS TO PITTMERE
PLACE SHOPPING CENTRE**
10 PARK ST., MONA VALE
MULTIPLY PTY. LTD.

DATE	20.06.97	Duration	GM
SCALE	N.T.S	Checked	WZA
Sheet Size	81	Approved	HVN
Code	PINS5Y24490E/512490E F700.dwg		

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DRAWING NO.		REVISION	A

TENDER

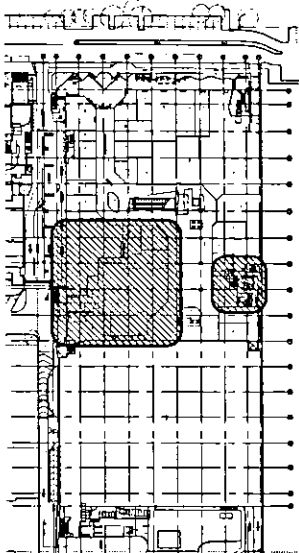
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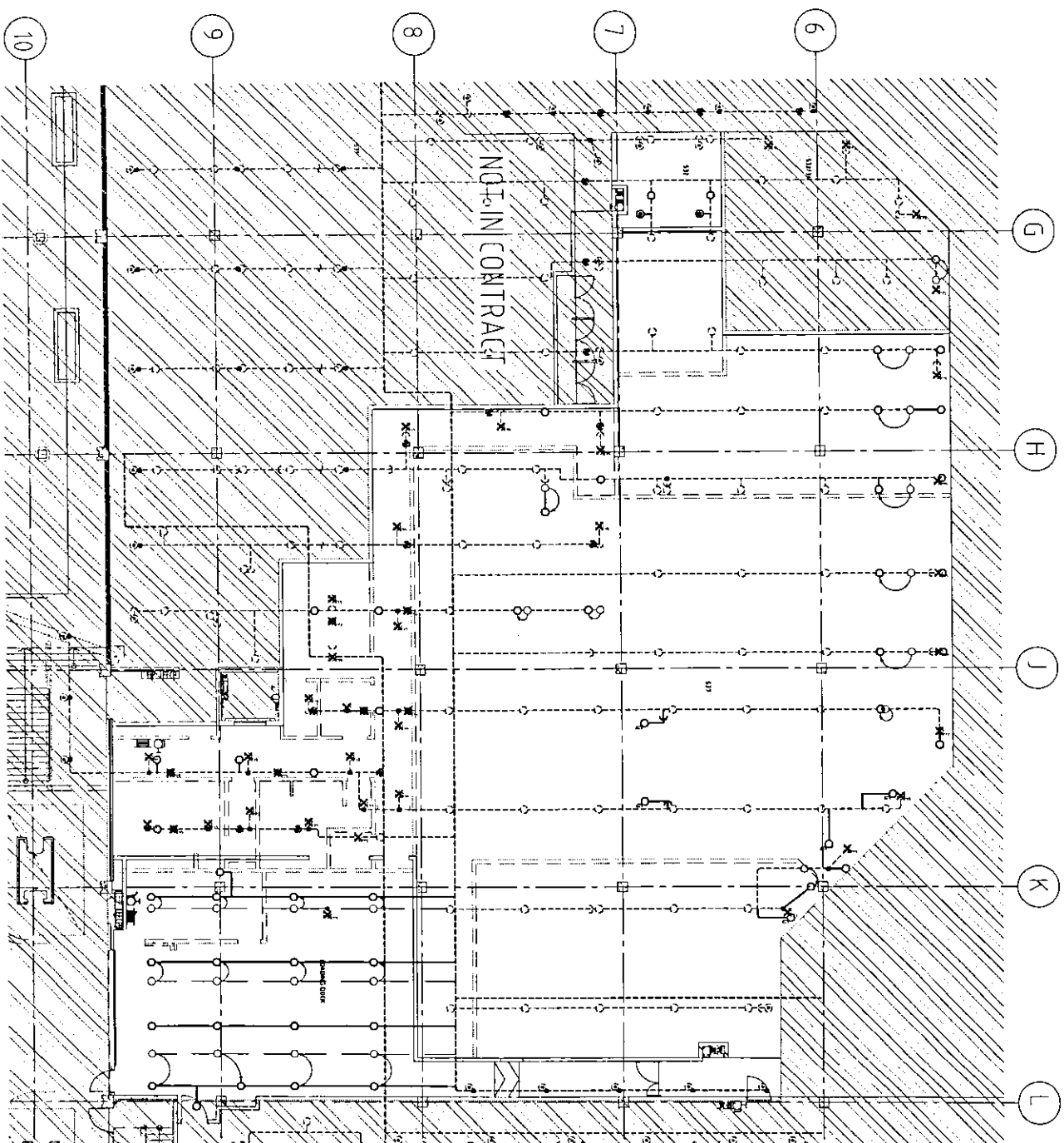
27115 25 JUL 2007

Certifying Authority: Brendan Bennett

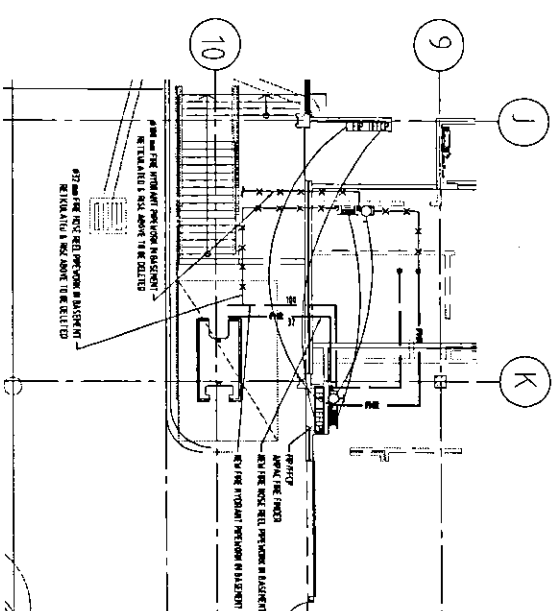
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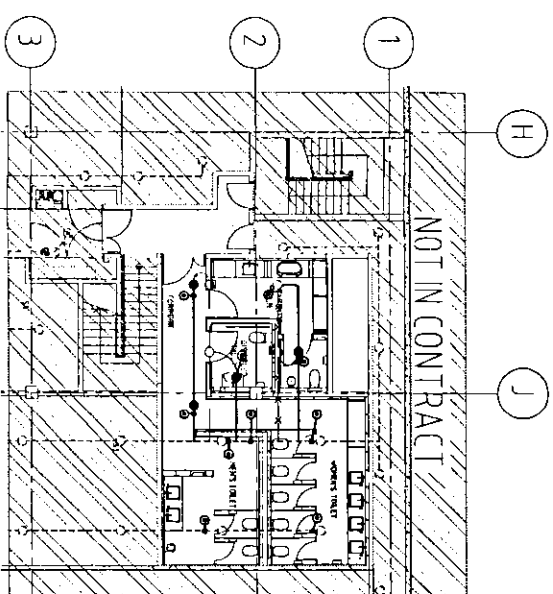
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SCALE: 1:500



HARRIS FARM TENANCY
SCALE: 1:500



FIRE HYDRANT AND HOSE REEL RELOCATION
SCALE: 1:500



SHOPPING CENTRE AMENITIES
SCALE: 1:500

TENDER

DATE	BY	REVISION	DESCRIPTION
27/11/07	AS SHOWN	1	ISSUED FOR TENDER



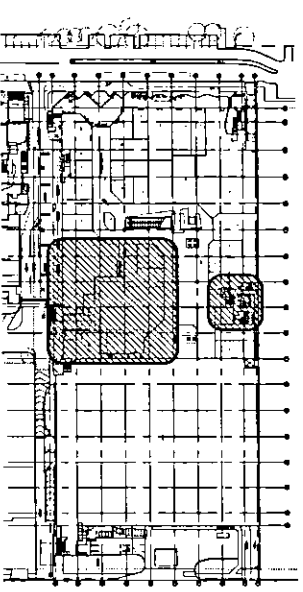
REFERENCE COORDINATION DRAWINGS
10 PARK ST., MONA VALE

Lincolne Scott
Architects & Planners
10 Park St., Mona Vale
NSW 1508
Tel: 02 9438 1111
Fax: 02 9438 1112
www.lincolnescott.com.au

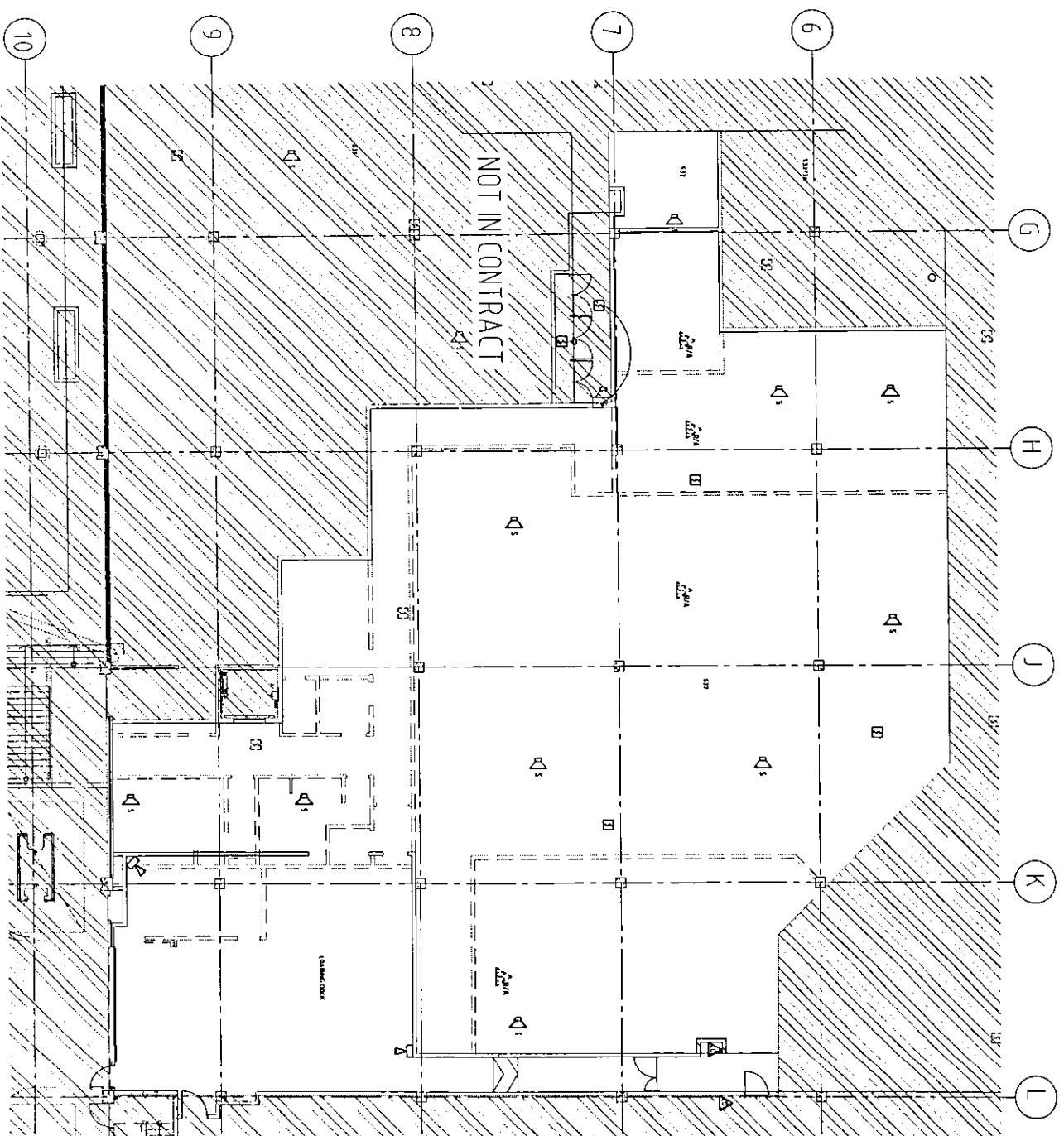
PROJECT:
ALTERATIONS TO PITTWATER
PLACE SHOPPING CENTRE
10 PARK ST., MONA VALE
SCALE: 1:500

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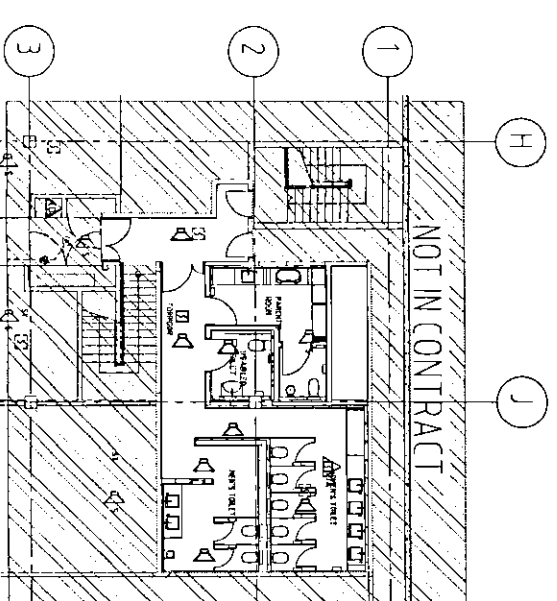
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DRAWING NO: A



KEY PLAN - PITTWATER PLACE
SCALE 1:1000



HARRIS FARM TENANCY
SCALE 1:1000



SHOPPING CENTRE AMENITIES
SCALE 1:1000

CITY PLAN SERVICES
Construction Cert. No: Approved Date:
2 7 1 1 5 2 5 JUL 2007
Certifying Authority: Brendan Bennett
Accreditation No: BPB 0027

DATE	BY	REVISION	DESCRIPTION
21.06.07	AS	1	ISSUED FOR TENDER



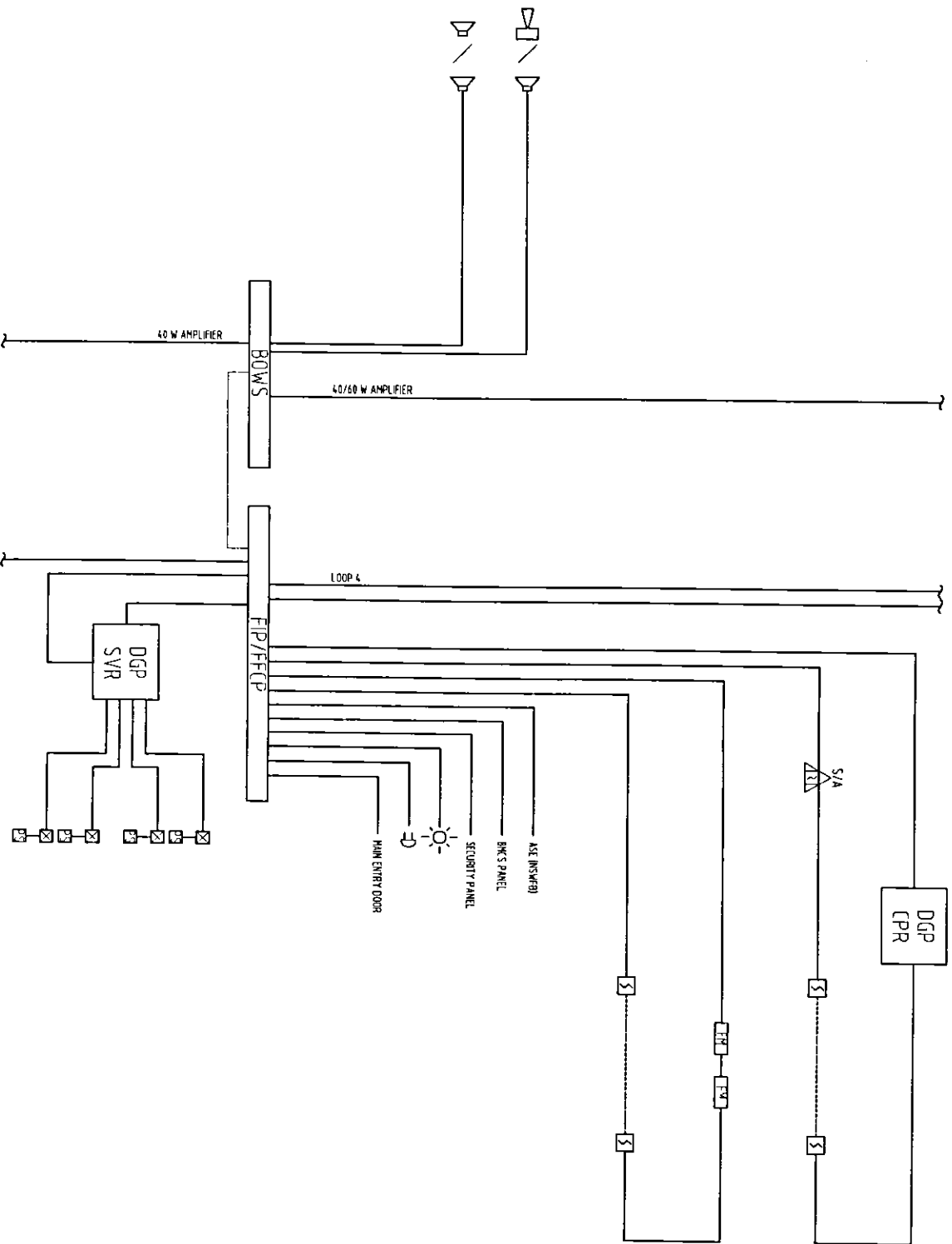
DATE	BY	REVISION	DESCRIPTION
21.06.07	AS	1	ISSUED FOR TENDER

Lincolne Scott
Consulting Engineers
10 Park St, Mona Vale
Tel: 02 9438 1111
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www.lincolnescott.com.au

ALTERATIONS TO PITTWATER PLACE SHOPPING CENTRE
10 PARK ST, MONA VALE
MULTITEX PTY LTD

DATE	BY	REVISION	DESCRIPTION
21.06.07	AS	1	ISSUED FOR TENDER

TENDER
FIRE SERVICES
RETAIL LEVEL
DRY FIRE SYSTEM LAYOUT
N55Y 2449.0E F02
A



RETAIL LEVEL

TENDER

DATE	BY	APP'D BY	NO.
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2008.07	N.T.S.		008
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2008.07	N.T.S.		010

ALTERATIONS TO PITTWATER PLACE SHOPPING CENTRE

10 PARK STREET, MONA VALE

MECHANICAL SERVICES

DRAWING INDEX

- M00 DRAWING INDEX
- M01 RETAIL LEVEL - AIR CONDITIONING AND VENTILATION LAYOUT
- M02 ROOF LEVEL - PART ROOF PLAN, DETAILS AND LEGEND OF SYMBOLS

CITY PLAN SERVICES

Construction Cert. No: Approved Date:

2 7 1 1 8 2 5 JUL 2007

Certifying Authority: Brendan Bennett

Accreditation No: BPB 0027

TENDER

DATE	REV	DESCRIPTION	BY	CHKD
20.06.07	A	ISSUED FOR TENDERS	JAT	MD

REFERENCE COORDINATION DRAWINGS	
REFERENCE	DRAWING NO.

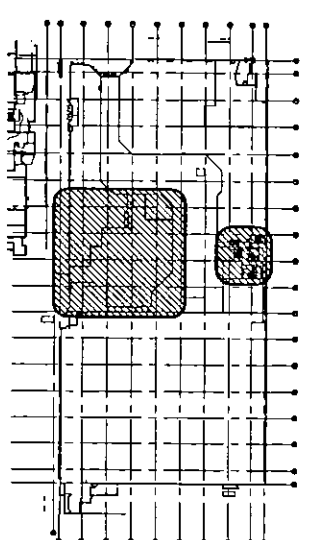
Lincolne Scott	
Consulting Engineers	
10 Park Street, Mona Vale, NSW 1508	
Tel: 02 9438 1234 Fax: 02 9438 1235	
Email: info@lincolnescott.com.au	

PROJECT	
ALTERATIONS TO PITTWATER PLACE SHOPPING CENTRE	
10 PARK ST. MONA VALE	
CLIENT: MULTITEX PTY. LTD.	

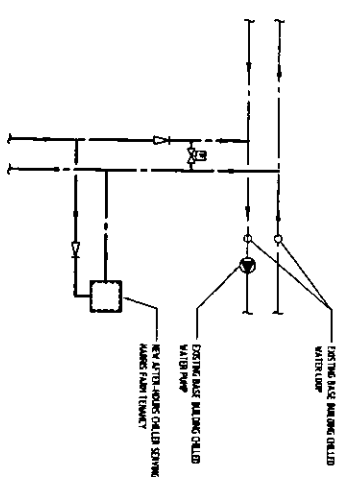
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PROJECT	
MECHANICAL SERVICES	
DRAWING INDEX	
DRAWING NO.	N55\2449.0E.M00
REV. NO.	A

MULTIPLY



KEY PLAN - PITWATER PLACE
SCALE: 1:500



AFTER-HOURS VALVE INTERCONNECTION /
CHANGEOVER SET DETAIL
NOT TO SCALE

DIFFUSER / GRILLE SCHEDULE

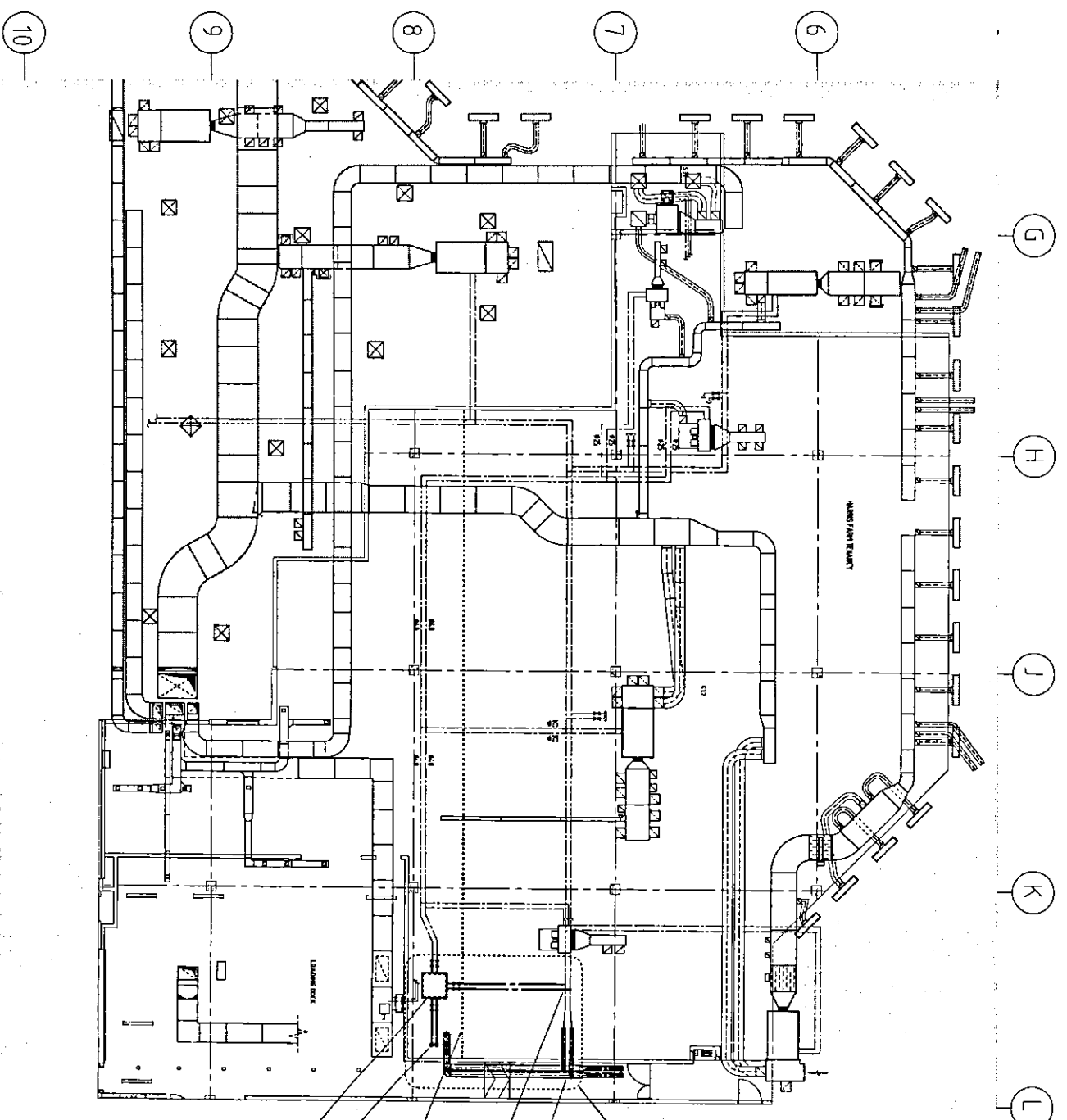
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5	350mm x 350mm	1	EA	350mm x 350mm
6	400mm x 400mm	1	EA	400mm x 400mm
7	450mm x 450mm	1	EA	450mm x 450mm
8	500mm x 500mm	1	EA	500mm x 500mm
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DOOR GRILLE SCHEDULE

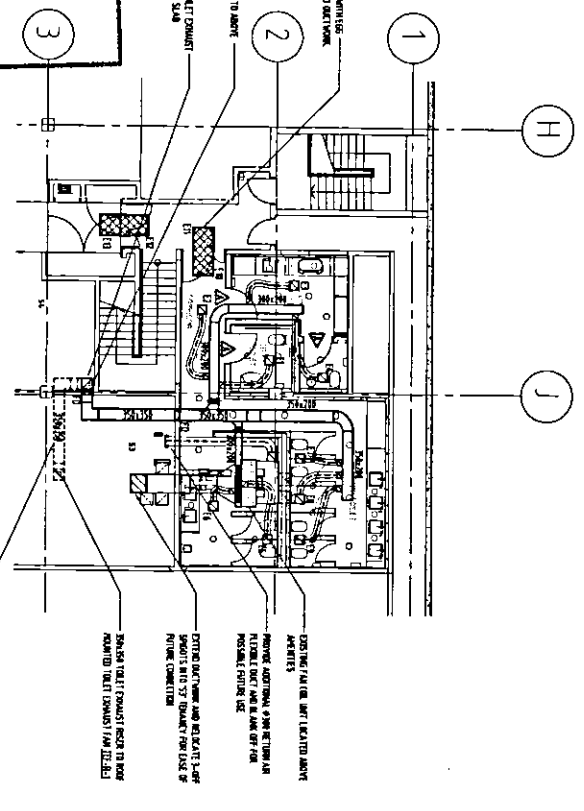
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6	400mm x 400mm	1	EA	400mm x 400mm
7	450mm x 450mm	1	EA	450mm x 450mm
8	500mm x 500mm	1	EA	500mm x 500mm
9	550mm x 550mm	1	EA	550mm x 550mm
10	600mm x 600mm	1	EA	600mm x 600mm

FLEXIBLE DUCT SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	NOTES
1	150mm x 150mm	1	EA	150mm x 150mm
2	200mm x 200mm	1	EA	200mm x 200mm
3	250mm x 250mm	1	EA	250mm x 250mm
4	300mm x 300mm	1	EA	300mm x 300mm
5	350mm x 350mm	1	EA	350mm x 350mm
6	400mm x 400mm	1	EA	400mm x 400mm
7	450mm x 450mm	1	EA	450mm x 450mm
8	500mm x 500mm	1	EA	500mm x 500mm
9	550mm x 550mm	1	EA	550mm x 550mm
10	600mm x 600mm	1	EA	600mm x 600mm



HARRIS FARM TENANCY
SCALE: 1:500

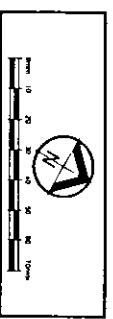


SHOPPING CENTRE AMENITIES
SCALE: 1:500

CITY PLAN SERVICES
Construction Cert. No: Approved Date: 3
27 JUL 2007
25 JUL 2007
Certifying Authority: Brendan Bennett
Accreditation No: BPB 0027

MULTIPLEX

DATE	REV	DESCRIPTION
27 JUL 2007	1	ISSUED FOR TENDER



REFERENCE COORDINATION DRAWINGS

DESCRIPTION	DATE	REV
MECHANICAL SERVICES RETAIL LEVEL - AIR CONDITIONING AND VENTILATION LAYOUT	27 JUL 2007	1

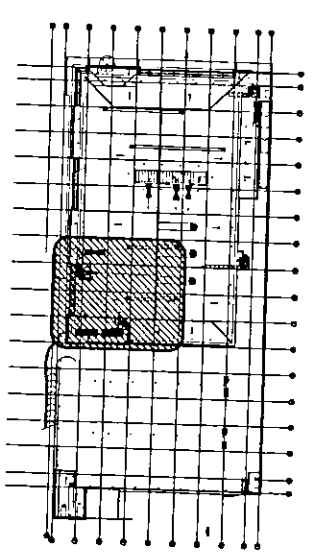
Lincolne Scot
10 PARK ST, MONA VALE
NSW 2244
Tel: 02 4383 1111
Fax: 02 4383 1112
Email: info@lincolnescot.com.au
Website: www.lincolnescot.com.au

ALTERATIONS TO PITWATER PLACE SHOPPING CENTRE
MUL TIPLEK PTY. LTD.

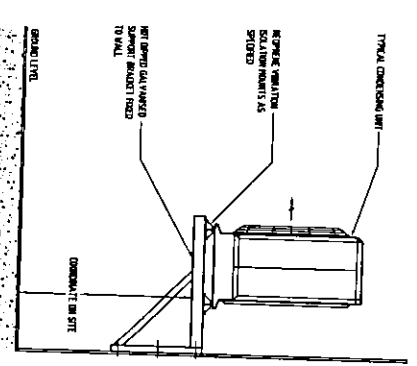
DATE	JOINER	CHANG	NOTES
27 JUL 2007	1	1	ISSUED FOR TENDER

MECHANICAL SERVICES RETAIL LEVEL - AIR CONDITIONING AND VENTILATION LAYOUT
DRAWING NO: N55Y 2449.0E M01 A

TENDER

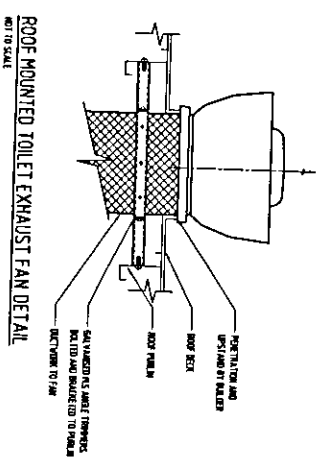


KEY PLAN - PITWATER PLACE
SCALE 1:500

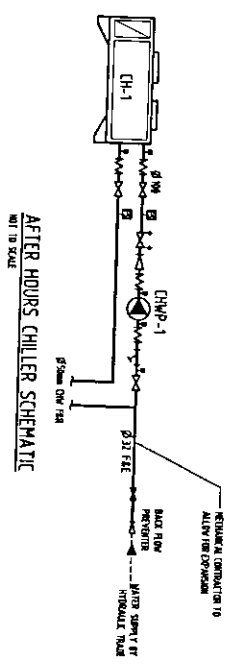


TYPICAL CONDENSING UNIT WALL MOUNTING DETAIL
NOT TO SCALE

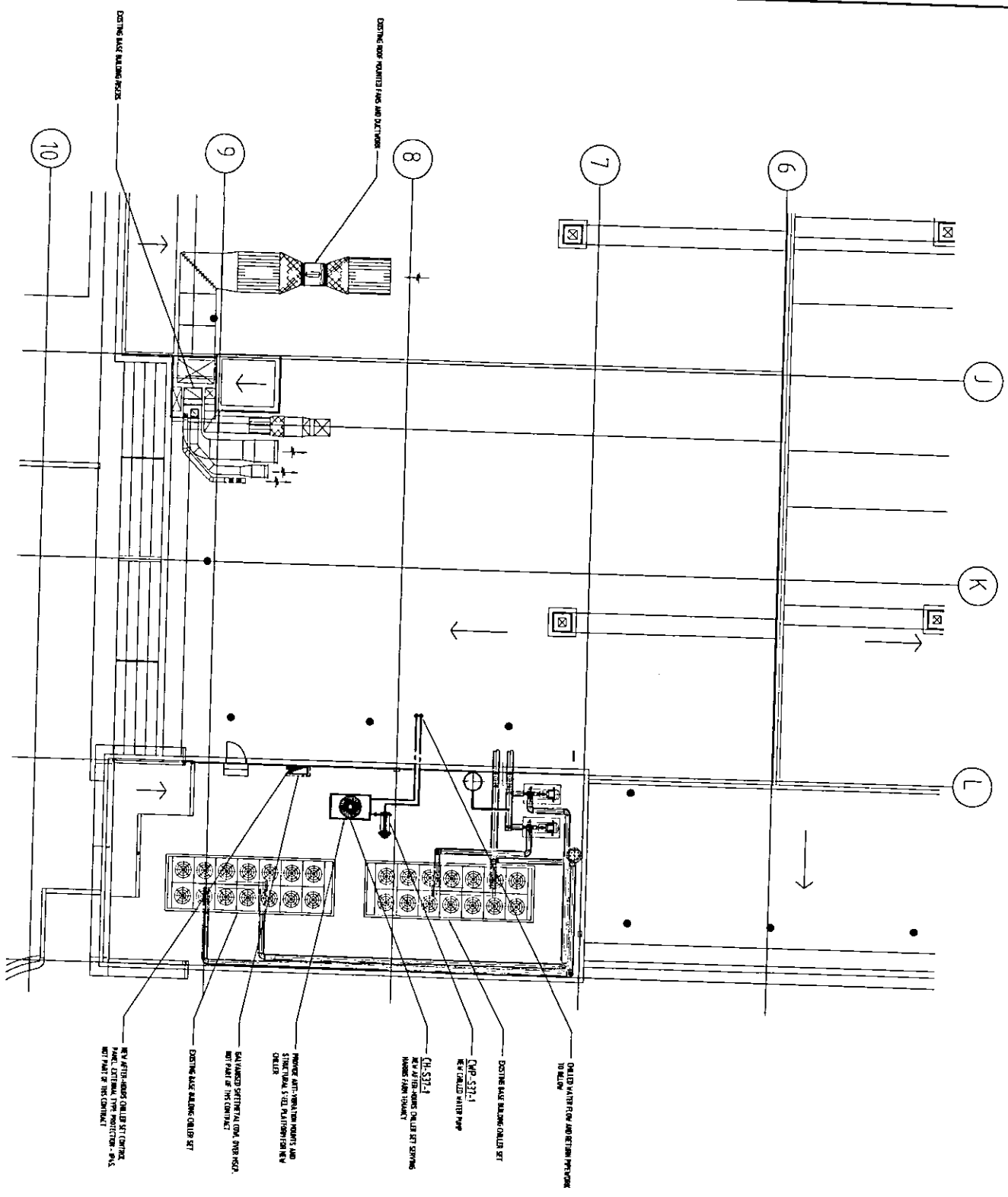
CITY PLAN SERVICES
Construction Cert. No: Approved Date:
2 7 1 1 6 2 5 JUL 2007
Certifying Authority: Brendan Bennett
Accreditation No: BPS 0027



ROOF MOUNTED TOILET EXHAUST FAN DETAIL
NOT TO SCALE



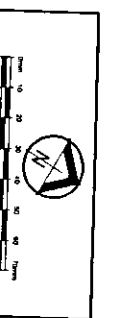
AFTER HOURS CHILLER SCHEMATIC
NOT TO SCALE



PART ROOF PLAN
SCALE 1:500

MULTIPLEX

DATE	REV	DESCRIPTION	BY	CHKD
28.06.07	1	TRUCKED ISSUED	AT	BP



REFERENCE DOCUMENT FOR DRAWINGS	DATE	REVISION
27.06.07	1	TRUCKED ISSUED

Lincolne Scott
Architects
10 Park St., Monna Vale
27.06.07
27.06.07

ALTERATIONS TO PITWATER PLACE SHOPPING CENTRE
10 PARK ST., MONNA VALE
MULTIPLEX PTY LTD.

DATE	UNION	PROJECT	DATE
28.06.07	12.00	CH-1	27.06.07

TENDER
MECHANICAL SERVICES
ROOF LEVEL - PART ROOF PLAN
DETAILS AND LEGEND OF SYMBOLS
NNSV 2449.0E M02
A