

Builder To Confirm Location Of Existing Stormwater Prior To Commencement

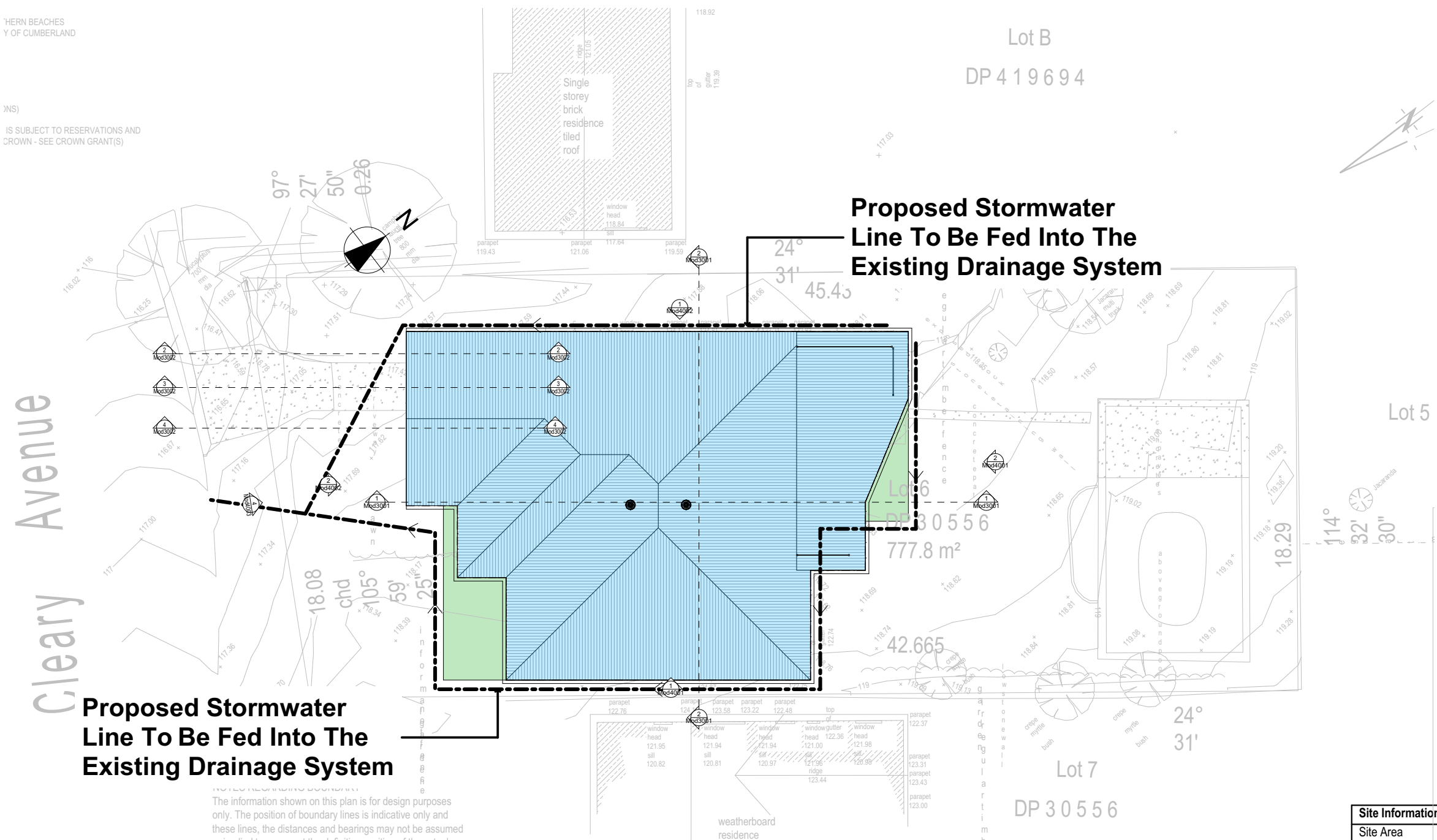
Denotes New Works
Approved Under
DA2018/0579

Denotes New Works

Denotes Demolished Item

HERN BEACHES
Y OF CUMBERLAND

NS)
IS SUBJECT TO RESERVATIONS AND
CROWN - SEE CROWN GRANT(S)



1 Stormwater Plan 1:200

Mod APPLICATION ONLY
Not For Construction

NOTES
3 Cleary Avenue, Forestville is zoned R2 - Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
3 Cleary Avenue, Forestville is not considered a heritage item

Construction
R1.3 Timber & Conc Floor, Cladded Timber Stud & Engaged Brick Walls
Roof Sheet Metal to have R1.5 Insulation
Insulation to External Cladded Timber Stud & Engaged Brick Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740

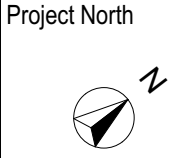
Basix
Basix Certificate Number A310077_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	777.8m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	7.2m	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Minimum side boundry setback (Min.)	0.9m	Yes
Building envelope	4.0m@45Deg	Yes
% of landscape open space (40% min)	52%	Yes
Impervious area (m2)	375.78m2	Yes
Maximum cut into ground (m)	0.5m	Yes
Maximum depth of fill (m)	0.6m	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
Client:
Joanne Vaughan

Client
Joanne Vaughan
Project Name
Alterations & Additions
3 Cleary Avenue, Forestville
2087

Lot 6 D.P.30556
Drawing Title:
Site Plans - Stormwater Plan
Stormwater Plan

Scale: A3 as noted
Status: Mod
Project No.
RP1017VAU

Date: 29/04/19
Checked By: GBJ
Drawing No.
Mod1015