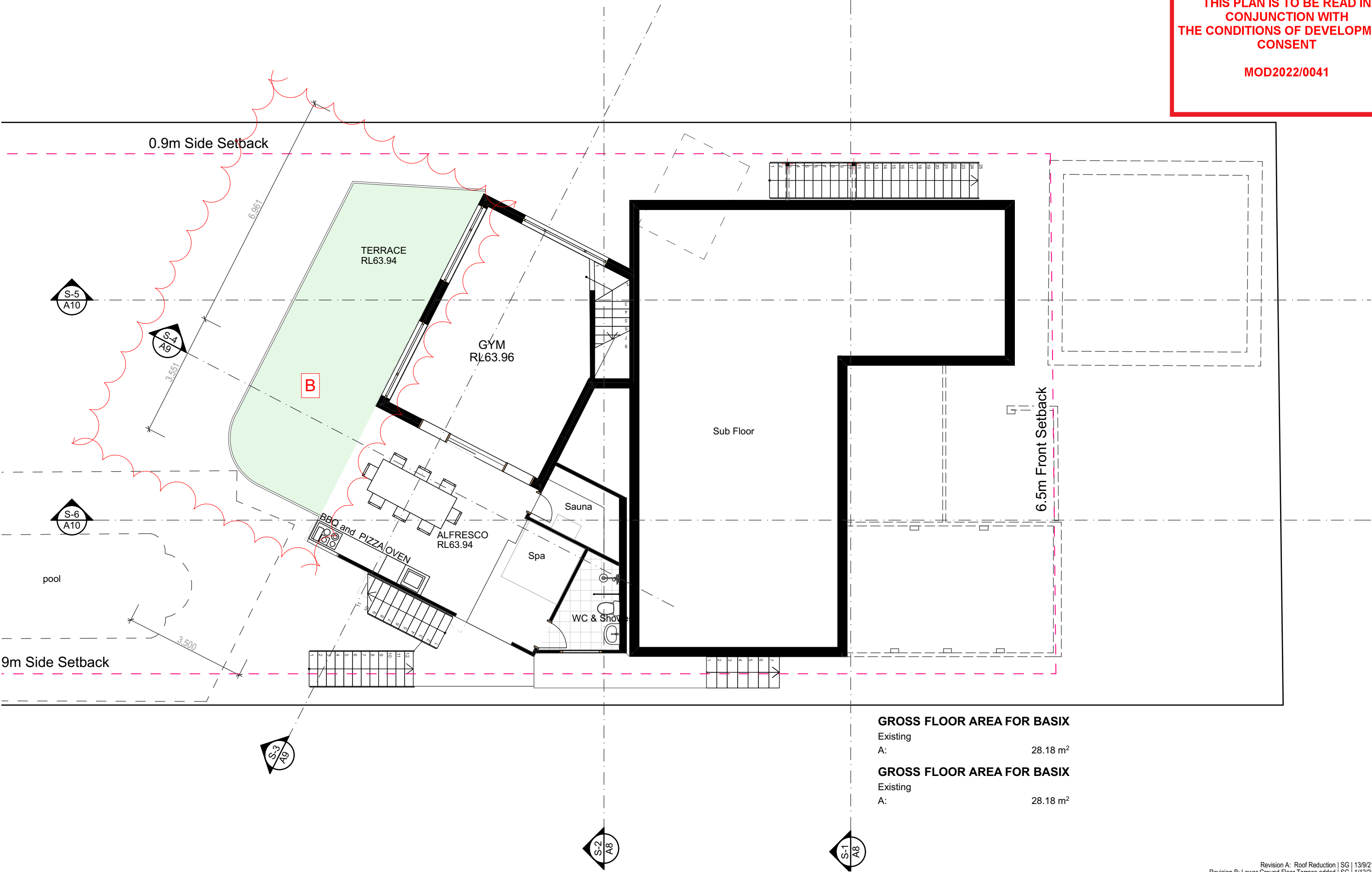




GROSS FLOOR AREA FOR BASIX

Existing
A: 28.18 m²

GROSS FLOOR AREA FOR BASIX

Existing
A: 28.18 m²

NOT FOR CONSTRUCTION
SURVEY DETAILS PROVIDED BY
C.M.S. Surveyors Pty Limited
Dee Why | Reference 19910detail



ACCREDITATION No. 6255
ABN 17 751 732 195

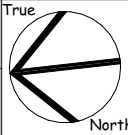
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PLANS DRAWN FOR APPROVAL



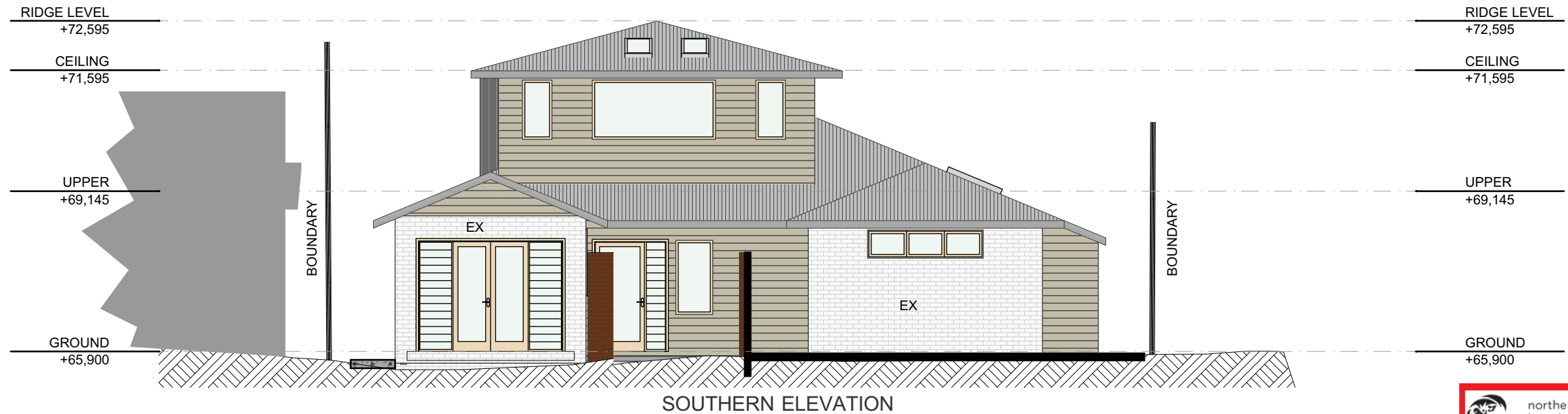
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Client
**Angela
Lovell and
Scott Riddle**

PROPOSED ALTERATIONS and ADDITIONS
73 EDGECLIFFE BOULEVARDE COLLAROY PLATEAU 2097
Drawing Title
LOWER FLOOR PLAN

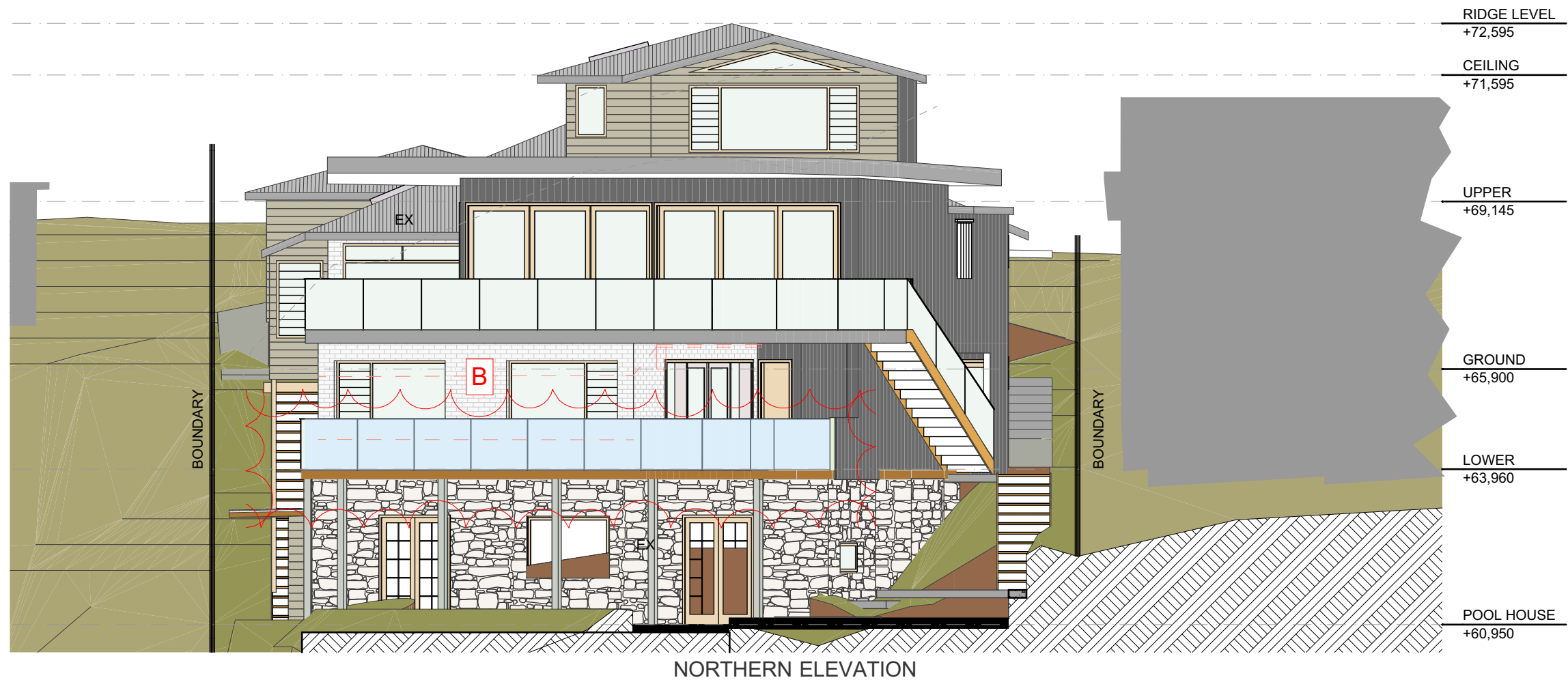


Revision A: Roof Reduction SG 13/9/21 Revision B: Lower Ground Floor Terrace added SG 1/12/21		Job Number 20-1204	
Scale 1:100	Date Wednesday, 8 December 2021	Drawn S.G.	Drawing No. A4



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2022/0041



GENERAL WINDOW AND DOOR NOTE:
All windows to be Powder Coated Aluminium with fly screens.
Front door to be Solid Core Timber Feature door.
Garage Doors; Automatic Panel lift
All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:
A combination of Scyon 180 Linea Weatherboard (smooth texture) ; Axon Cladding
133mm Grained and rendered Masonry
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of
the BCA particularly with respect to the referenced Acceptable Construction
Practice as detailed in the BCA for product materials and installations.

ROOFING:
Lysaght colorbond 'Custom Orb' roof Sheeting
All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the
BCA particularly with respect to the referenced Acceptable Construction Practice
as detailed in the BCA for product materials and installations.

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Client
**Angela
Lovell and
Scott Riddle**

PROPOSED ALTERATIONS and ADDITIONS
73 EDGECLIFFE BOULEVARDE COLLAROY PLATEAU 2097
Drawing Title
ELEVATION SHEET 1

Revision A: Roof Reduction | SG | 13/9/21
Revision B: Lower Ground Floor Terrace added | SG | 1/12/21

Scale 1:100	Job Number 20-1204
Date Wednesday, 8 December 2021	Drawn S.G. Drawing No. A5

GENERAL WINDOW AND DOOR NOTE:

All windows to be Powder Coated Aluminium with fly screens.
 Front door to be Solid Core Timber Feature door.
 Garage Doors; Automatic Panel lift
 All other external doors to be Powder Coated Aluminium.

EXTERNAL CLADDINGS:

A combination of Scyon 180 Linea Weatherboard (smooth texture) ; Axon Cladding
133mm Grained and rendered Masonry
All claddings to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of
the BCA particularly with respect to the referenced Acceptable Construction
Practice as detailed in the BCA for product materials and installations.

ROOFING:

✓ Lysaght colorbond 'Custom Orb roof Sheeting

✓ All roofing to be compliant with the requirements of NCC 2019 vol 2 part 3.5 of the BCA particularly with respect to the referenced Acceptable Construction Practice as detailed in the BCA for product materials and installations.

RIDGE LEVEL
+72,595

CEILING
+71.595

UPPER
+69,145

GROUND
+65,900

LOWER
+63.960

POOL HOUSE	
+60,950	

EASTERN ELEVATION

RIDGE LEVEL
+72.595

CEILING
+71,595

UPPER
+69,145

GROUND
+65.900

LOWER

+63,960

RIDGE LEVEL
+72.595

CEILING
+71,595

UPPER
+69,145

GROUND
+65.900

LOWER
+63,960

8.5m Maximum build Height

EX

Existing Ground Level

WESTERN ELEVATION

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Client
**Angela
Lovell and
Scott Riddle**

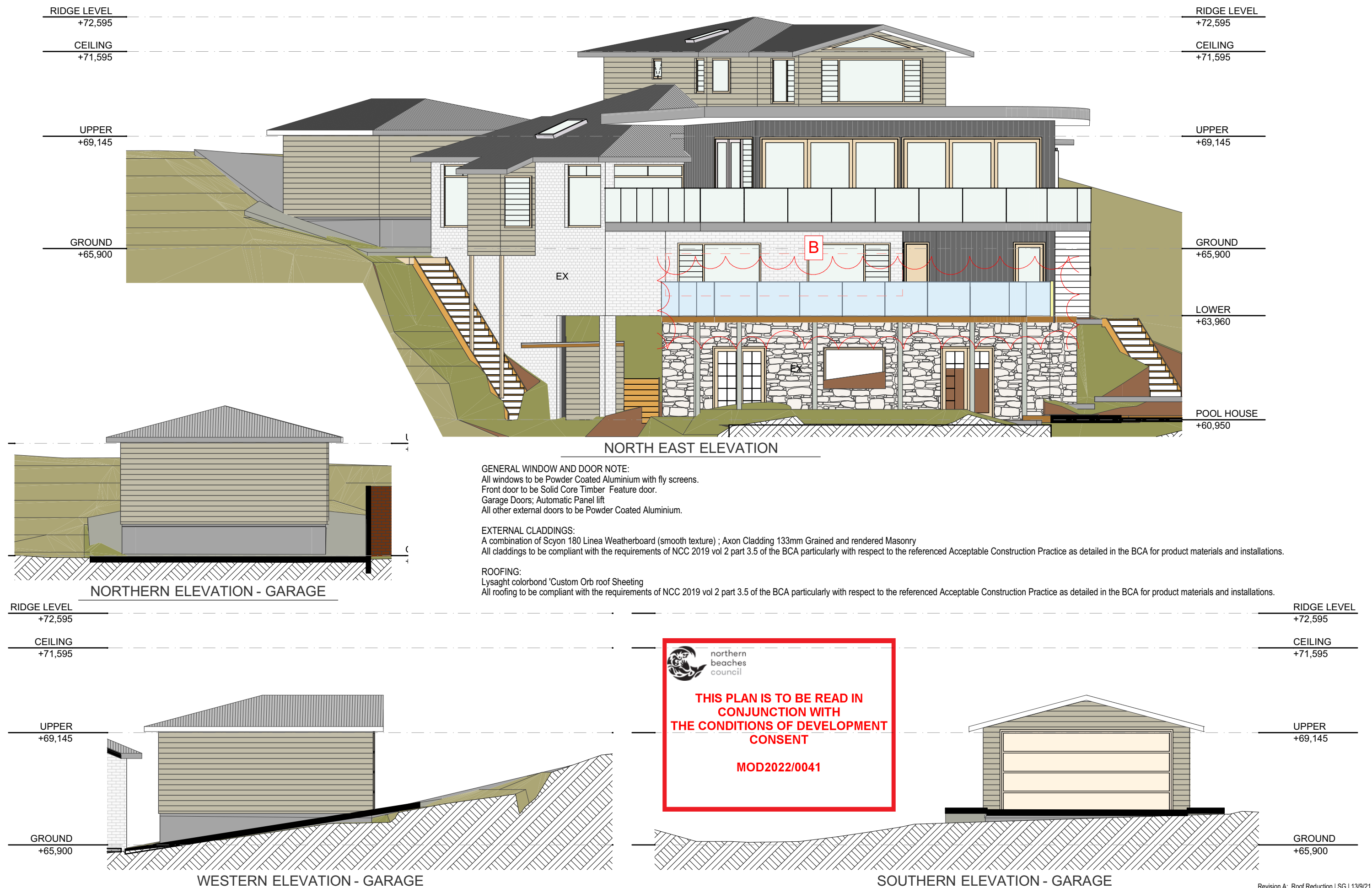
PROPOSED ALTERATIONS and ADDITIONS 73 EDGECLIFFE BOULEVARDE COLLARROY PLATEAU 2097	
Drawing Title	

ELEVATION SHEET 2

Revision A: Roof Reduction | SG | 13/9/21
Revision B: Lower Ground Floor Terrace added | SG | 1/12/21

Scale	1:100	Job Number	20-1204
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Date	Drawn	Drawing No.
Wednesday, 8 December 2021	S.G.	A6



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ACCREDITED
BUILDING DESIGNER

ACCREDITATION No. 6255
ABN 17 751 732 195

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PLANS DRAWN FOR APPROVAL

SustainAbility Design™ Specialist

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Client
Angela Lovell and Scott Riddle

PROPOSED ALTERATIONS and ADDITIONS
73 EDGECLIFFE BOULEVARDE COLLAROY PLATEAU 2097

Drawing Title
ELEVATIONS SHEET 3

Revision A: Roof Reduction SG 13/9/21 Revision B: Lower Ground Floor Terrace added SG 1/12/21		
Scale 1:100	Job Number 20-1204	
Date Wednesday, 8 December 2021	Drawn S.G.	Drawing No. A7

STRUCTURAL WORK
All structural work is to be in accordance with the structural details prepared by a suitably qualified Structural Engineer. Including but not limited to All piers, All footings, All concrete slabs, Retaining walls, Steelwork, Form work, underpinning, Additional structural loads, Timber framing, Wind bracing and associated connections.

BRICKWORK
All brickwork is to be selected by owners
Brickwork is to comply with AS1640, to the heights shown on the drawings.

All masonry is to comply with AS 3700.
All exposed brickwork must be cleaned down on completion.

METALWORK
Provide all metalwork and flashings necessary to satisfactorily complete the works.

TIMBER
All timber construction to be in accordance with AS 1684 - "Timber Framing Code".
External walls to be wrapped in a breathable membrane. Timber cladding is to be battened out 35mm from timber frame to provide an 'air' gap to prevent condensation.

WALL + CEILING LINING
All wall and ceiling linings to be gypsumboard or cement render as selected and villaboard or equal in wet areas.
Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

All bathrooms and wet areas are to be adequately waterproofed with a flexible membrane to manufacturer's specification and AS3740 and Part 3.8.1 of the Building Code of Australia Housing Provisions.

EAVES LINING
All eaves and soffits to be Cemintel eaves lining sheets.
Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications.

ARCHITRAVES + SKIRTING
All architraves and skirting's to be to owner's selection or provide standard colonial moldings or to match existing.
Paint or stain finish as selected.

PLUMBING + DRAINAGE
Plumbing
All plumbing and drainage works to be installed and completed by a licensed trades person.
Provide & connect all new & relocated fittings to drainage system through wastes & traps as required by the Authority and in accordance with the statutory body having authority over the works.
All sanitary drainage must be concealed in service ducts or otherwise hidden from external view to the satisfaction of the Responsible Authority
Connect all waste to Sydney Water sewer line.
Connect all storm water to existing system or street drainage system in accordance with
AS3500 and part 3.1.3 Drainage, of the Building Code of Australia - Housing Provisions.

Water Service
Extend from existing service with copper pipe to allow new & relocated fittings & hose cocks as indicated on plan & terminate with pressure cocks all to Authorities & requirements.

Hot Water
Provide copper water service which is fully lagged to all new & existing fittings as required.

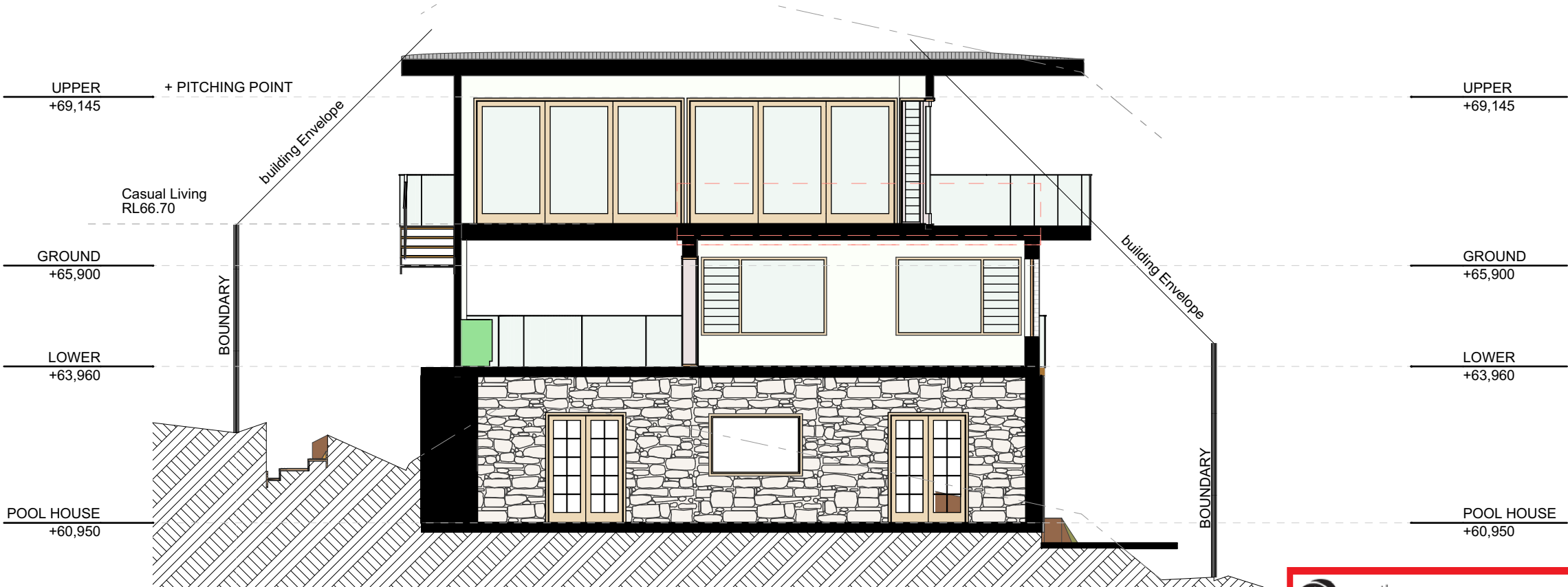
SMOKE DETECTORS
Smoke detector alarms to be installed in accordance with AS3786 and the Building Code of Australia.

TERMITE PROTECTION
Termite protection measures to comply with AS3660 and be installed to manufacturer's specification.

STAIRS + BALUSTRADES
Stairs and Balustrades to comply with part 3.9.1 & 3.9.2 of the Building Code of Australia Housing Provisions. Provide Timber frame stairs with a continuous handrail to each flight and a slip resistant finish

ELECTRICAL WORKS
Electrical works to be in accordance with SAA wiring rules and be done by a licensed tradesman.

PAINTING
All paint colours to be selected by owners
All paints or other coatings shall be of the best quality materials + of approved manufacture.
External grade paints to be used to all external surfaces.
All priming materials shall be of an approved brand and compatible to the finishing coats that they are applied to.
External joinery intended to be painted, shall be primed on all faces at the place of assembly.
Where new or altered works adjoin existing painted surfaces, allow for the repainting of existing surfaces to provide a uniform appearance.
Only ZERO-VOC or LOW-VOC paints and primers are to be used.



S-3 CROSS SECTION



S-4 CROSS SECTION

 northern
beaches
council

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CONSENT**

MOD2022/0041

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Client
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Lovell and
Scott Riddle**

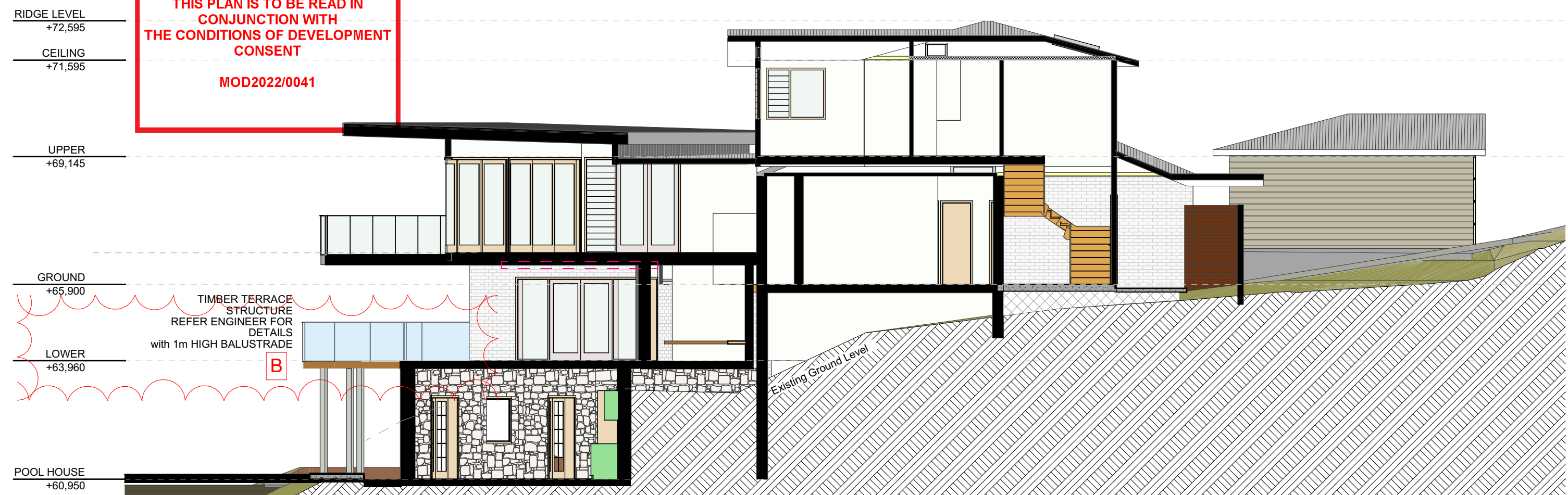
PROPOSED ALTERATIONS and ADDITIONS
73 EDGECLIFFE BOULEVARDE COLLAROY PLATEAU 2097
Drawing Title
SECTIONS SHEET 2

Revision A: Roof Reduction | SG | 13/9/21
Revision B: Lower Ground Floor Terrace added | SG | 1/12/21

Scale 1:100	Job Number 20-1204
Date Wednesday, 8 December 2021	Drawn S.G.
	Drawing No. A9



S-5 LONG SECTION EAST



S-6 LONG SECTION WEST

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bdaa
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**Angela
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PROPOSED ALTERATIONS and ADDITIONS
73 EDGECLIFFE BOULEVARDE COLLAROY PLATEAU 2097
Drawing Title

SECTIONS SHEET 3

Revision A: Roof Reduction | SG | 13/9/21
Revision B: Lower Ground Floor Terrace added | SG | 1/12/21

Scale 1:100	Job Number 20-1204
Date Wednesday, 8 December 2021	Drawn S.G.
	Drawing No. A10