

39 PINE ST, MANLY

NOTE: ALL DOCUMENTATION TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE A1378093



MASTER SET

DWG NO:	TITLE
A_SP_A00	SITE, LANDSCAPE & WASTE MANAGEMENT PLAN
A_SP_A01	FLOOR PLAN
A_SP_A02	FIRST FLOOR PLAN
A_SP_A03	ROOF PLAN
A_SP_A04	NORTH ELEVATION
A_SP_A05	SOUTH ELEVATION
A_SP_A06	EAST ELEVATION
A_SP_A07	WEST ELEVATION
A_SP_A08	SECTION A
A_SP_A09	SECTION B
A_SP_A10	OPEN SPACE CALCULATION PLANS
A_SP_A11	LANDSCAPE CALCULATION PLANS
A_SP_X01	DEMOLITION PLAN

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Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	N/A
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R0.90 (up), roof: foil backed blanket (75 mm)	light (solar absorptance < 0.475)

Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.						
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.						
Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
W1	E	7.3	2.7	1.7	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W2	S	5.21	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	S	1.56	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)

Glazing requirements			
Skylights			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	1.62	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

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architecture & interiors

31A Playfair St
The Rocks, NSW 2000
m: 0414 434 848
studiop.com.au
ABN: 24 968 801 044
ARN: 8959

CLIENT:
Richard & Pippa Parkes

PROJECT ADDRESS:
39 Pine St,
Manly 2095
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COVER PAGE
A_SP_000_01

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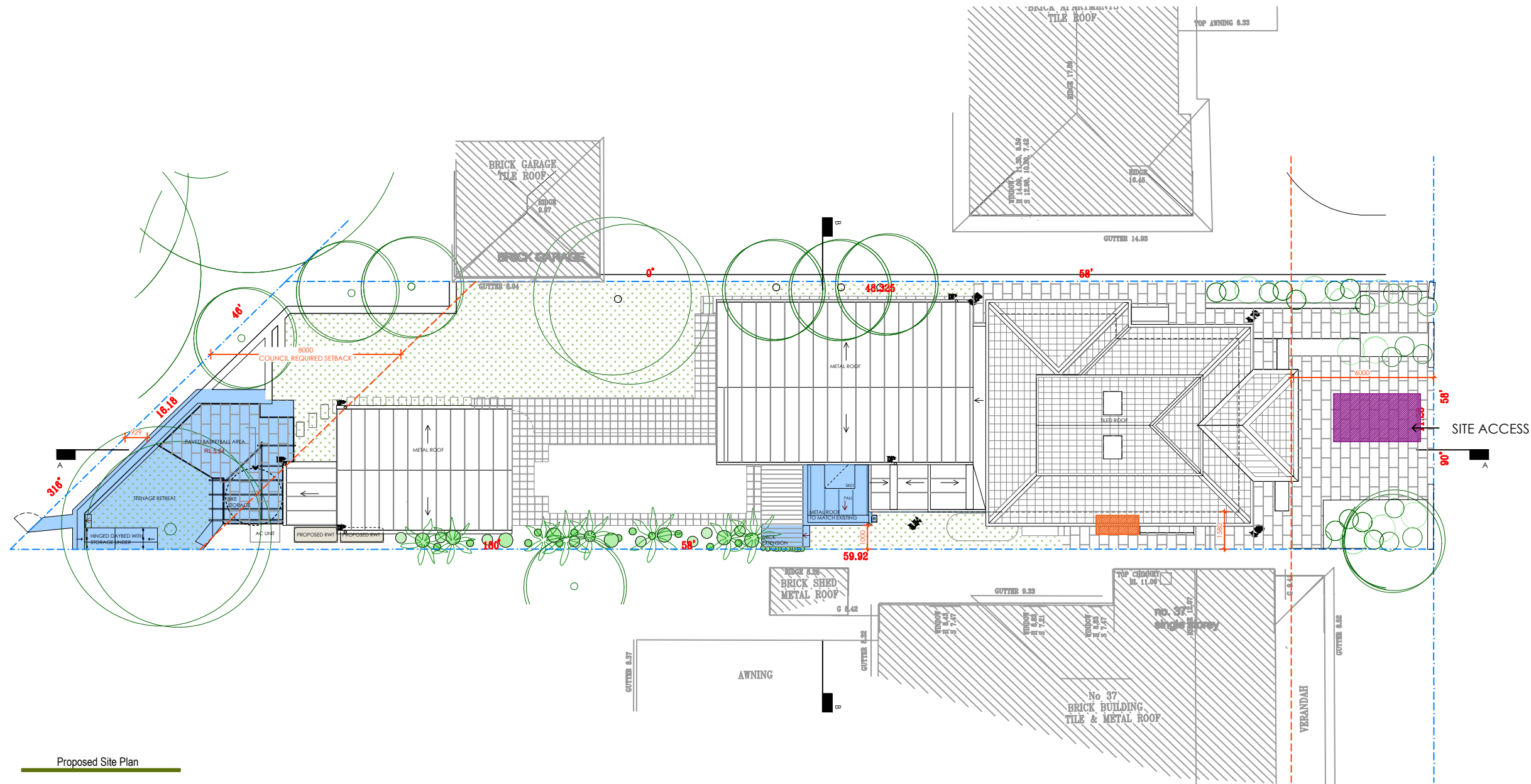
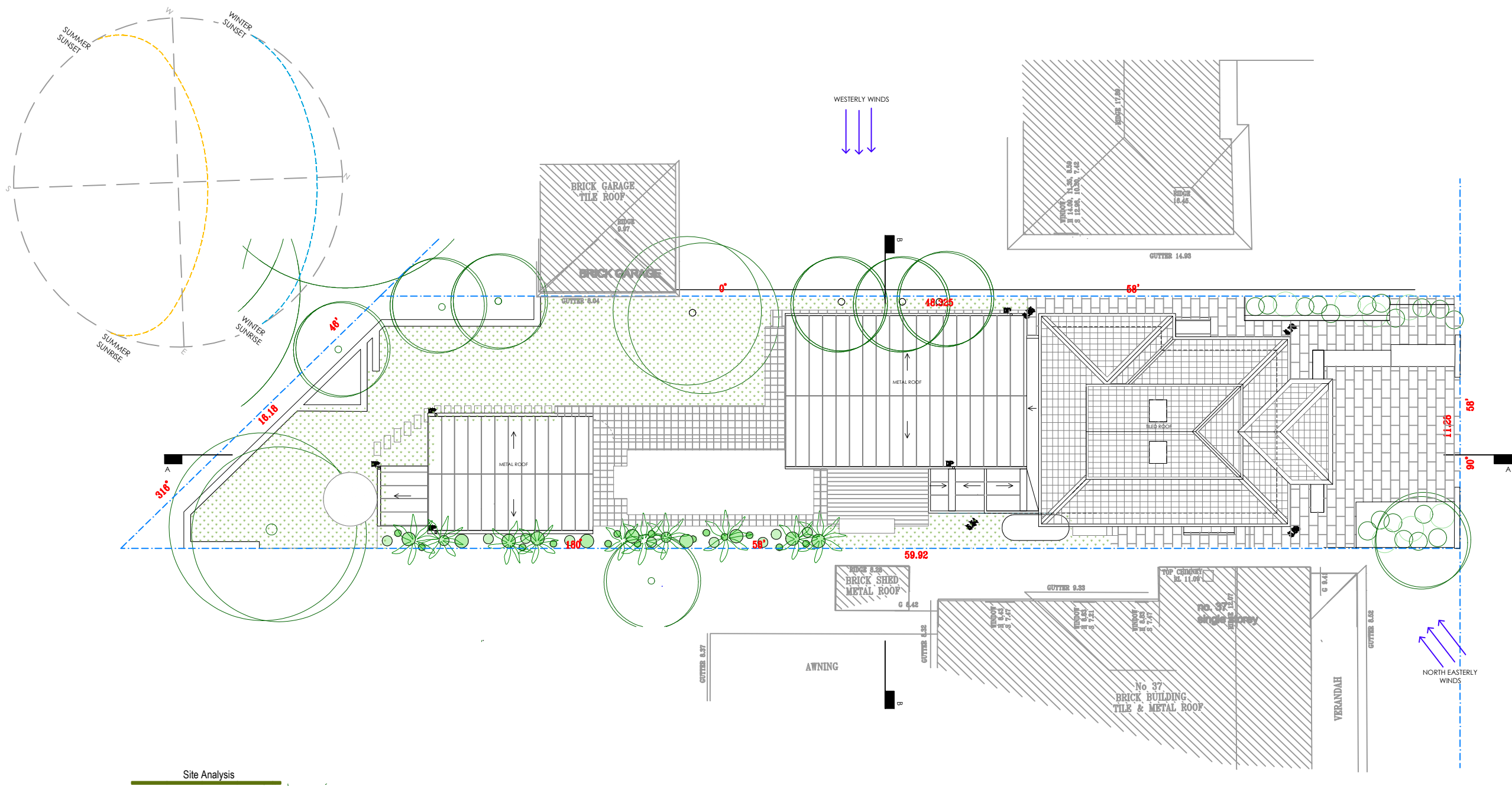
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KEY

PROPOSED WORK

KEY

CONSTRUCTION WASTE LOCATION

HOUSEHOLD WASTE LOCATION

LEP & DCP 2013 ZONING REQUIREMENTS
39 PINE ST MANLY 2095

LAND ZONING : **R1 GENERAL RESIDENTIAL**
FLOOR SPACE RATIO : **0.6:1**
HEIGHT OF BUILDING : **8.5 M**
MIN LOT SIZE : **250 M2**
MIN PRIVATE OPEN SPACE: **55%**
MIN LANDSCAPED AREA: **35% OF OPEN SPACE**
MIN FRONT SET BACK: **CONSISTENT WITH NEIGHBOURING PROPERTIES**
MIN SIDE SETBACK: **MAX 1/3 OF WALL HEIGHT**
MIN REAR SET BACK: **8M**

SITE CALCULATIONS

TOTAL SITE AREA - 610.5m²
TOTAL ALLOWED FLOOR AREA: 366.3 m²
TOTAL EXISTING FLOOR AREA: 275m²
TOTAL PROPOSED FLOOR AREA: 283m²
PROPOSED FSR: 0.46:1
MIN REQUIRED OPEN SPACE: 335.8m²
TOTAL REQUIRED OPEN SPACE: 383m²
MIN REQUIRED LANDSCAPED AREA: 117.5m²
TOTAL PROPOSED LANDSCAPED AREA: 163m²

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SITE & LANDSCAPE PLAN
A_SP_A00_03

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02 FOR APPROVAL 25/08/23
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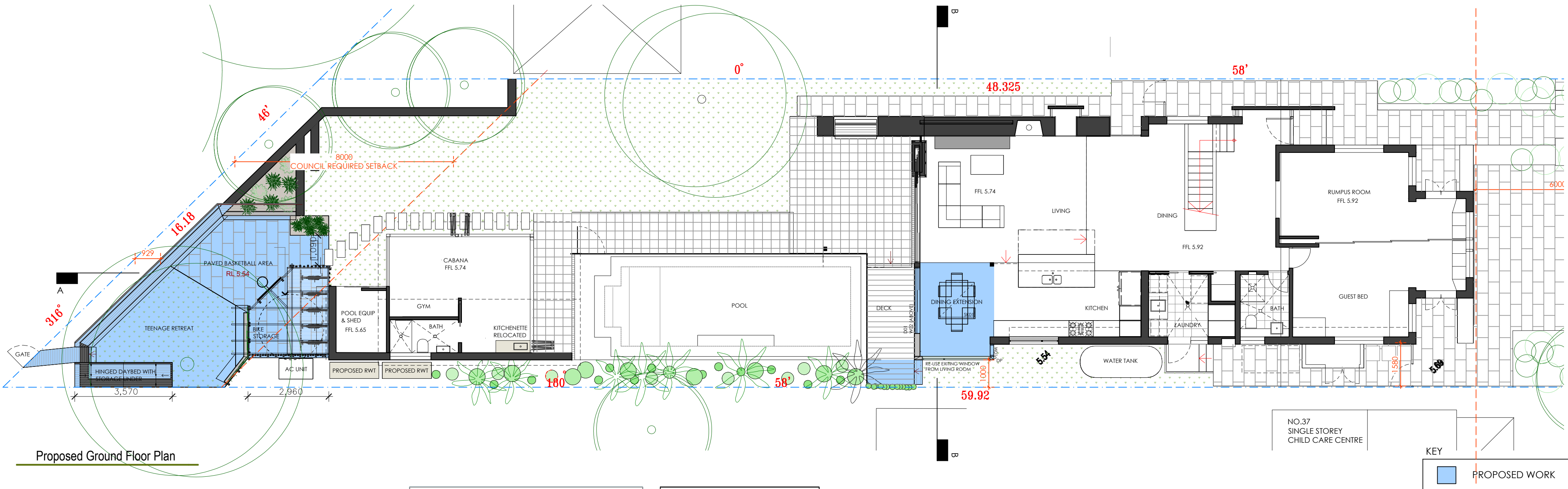
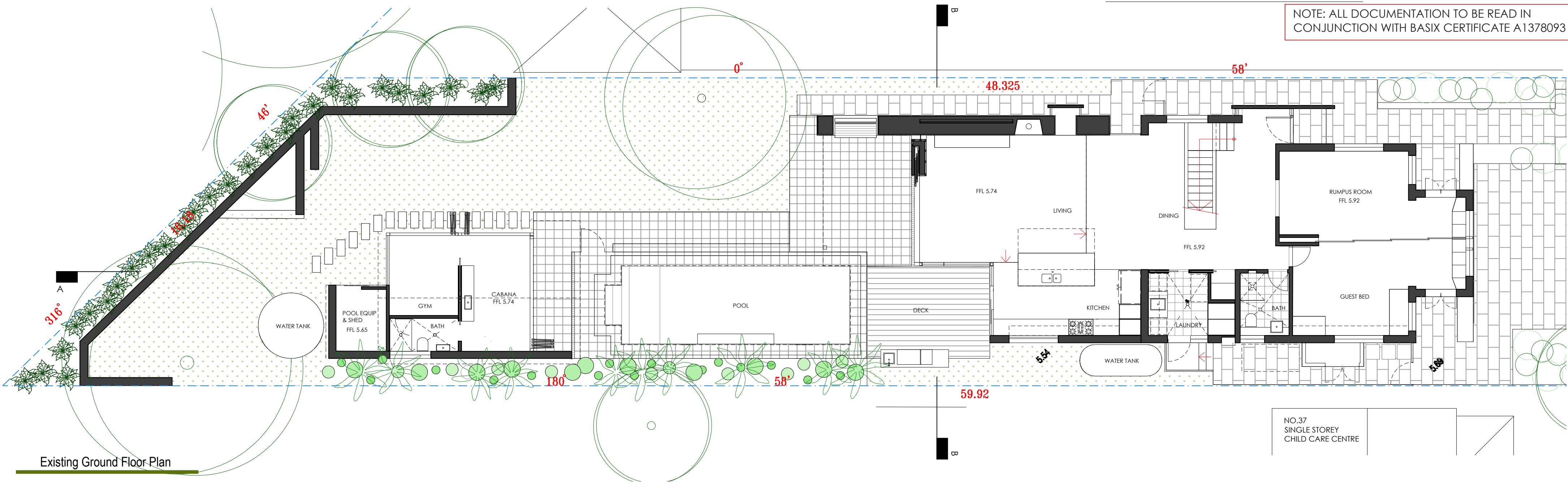
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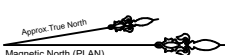
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DRAWING TITLE NUMBER:
GROUND FLOOR PLAN

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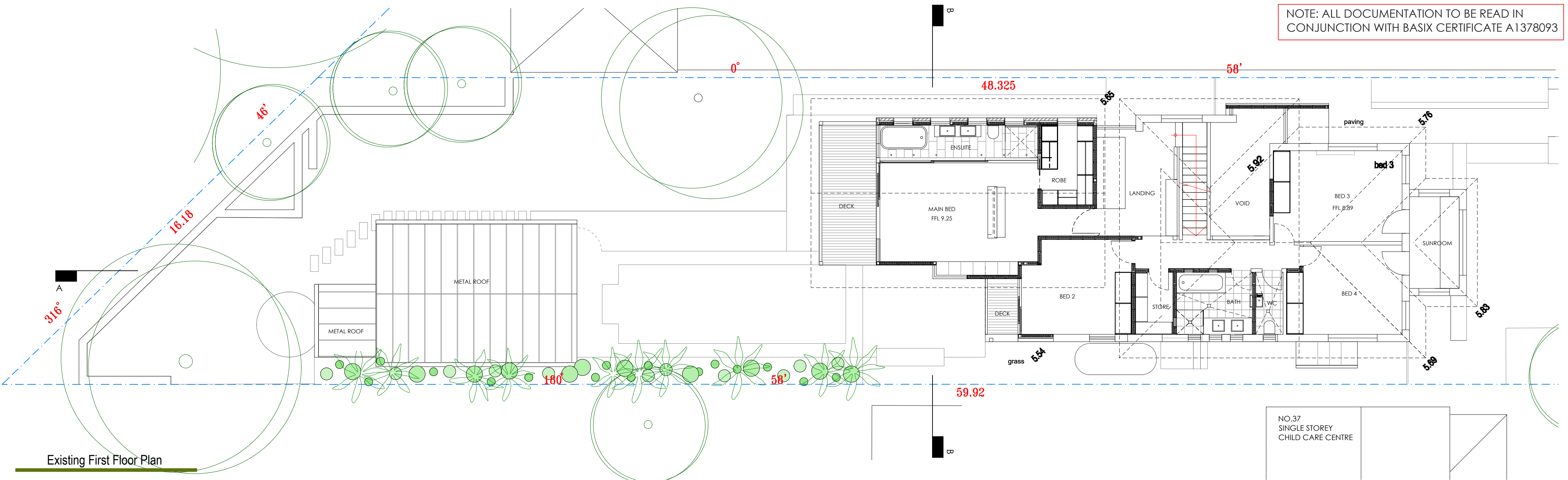
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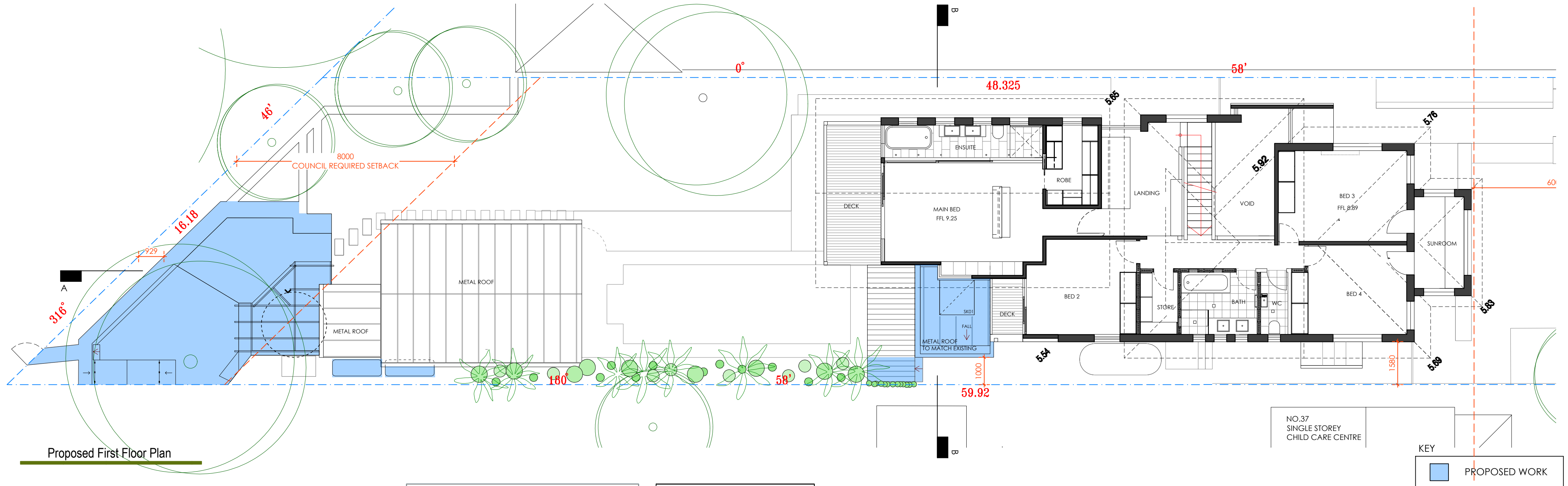
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Existing First Floor Plan



Proposed First Floor Plan

LEP & DCP 2013 ZONING REQUIREMENTS
39 PINE ST MANLY 2095

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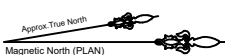
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DRAWING TITLE NUMBER:
FIRST FLOOR PLAN

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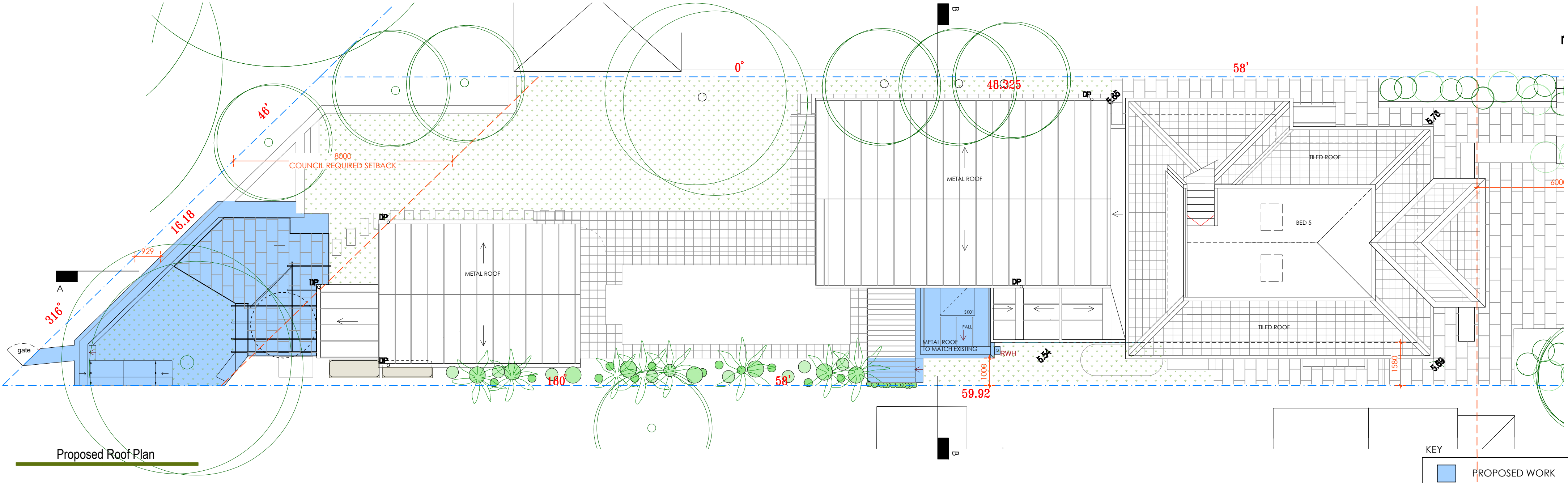
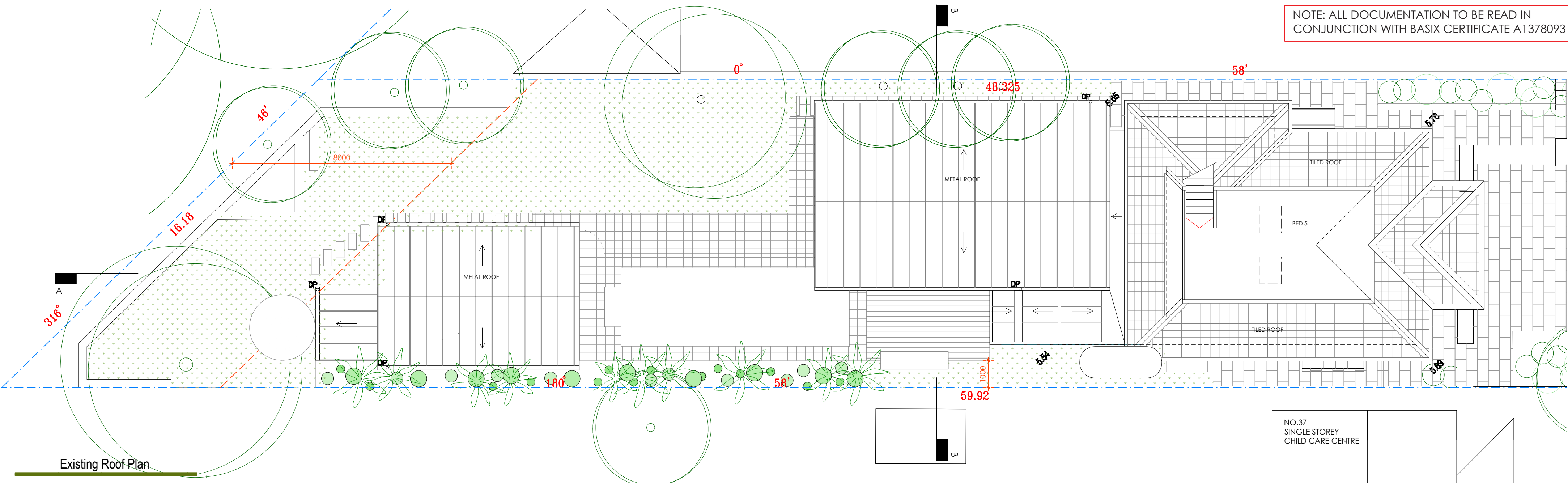
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The Rocks, NSW 2000
m: 0414 434 848
studiop.com.au
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DRAWING TITLE_NUMBER:
ROOF PLAN

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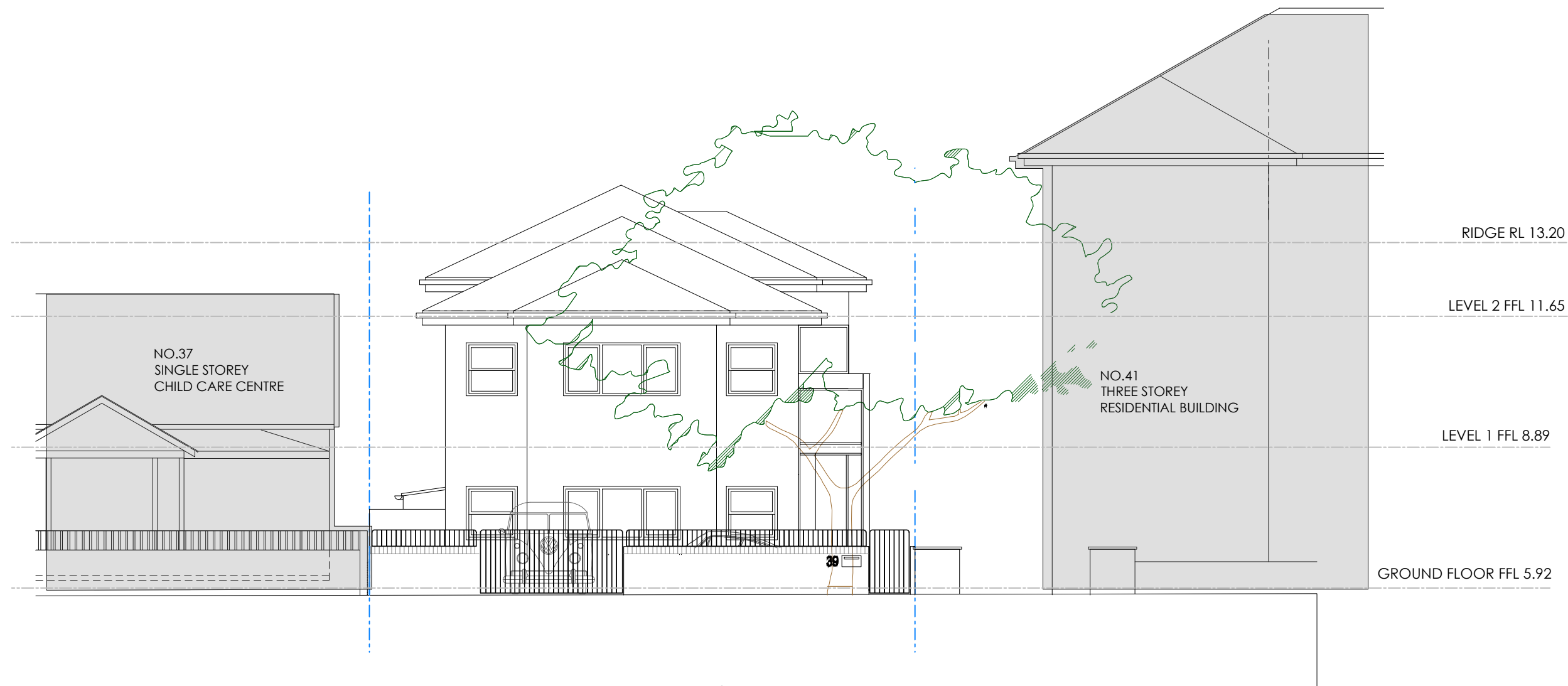
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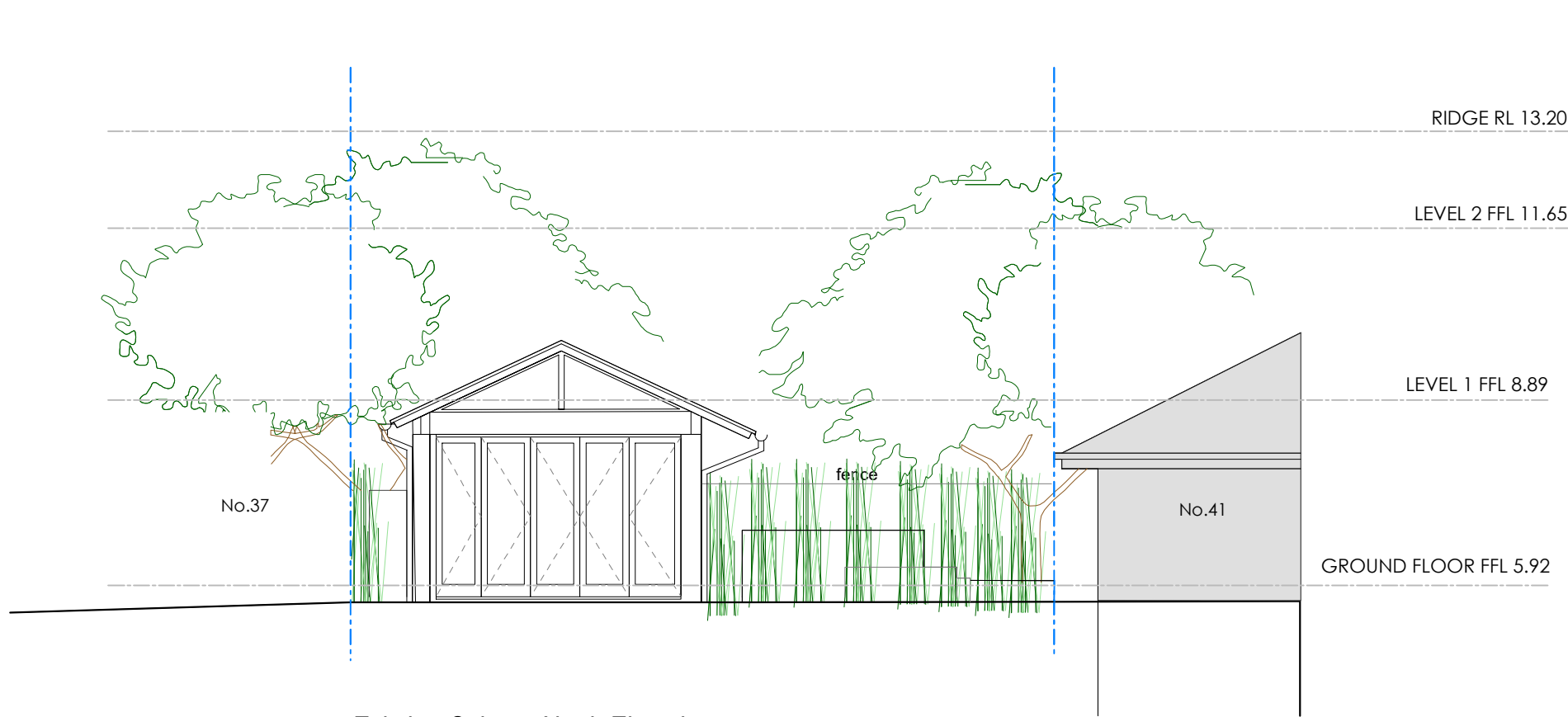
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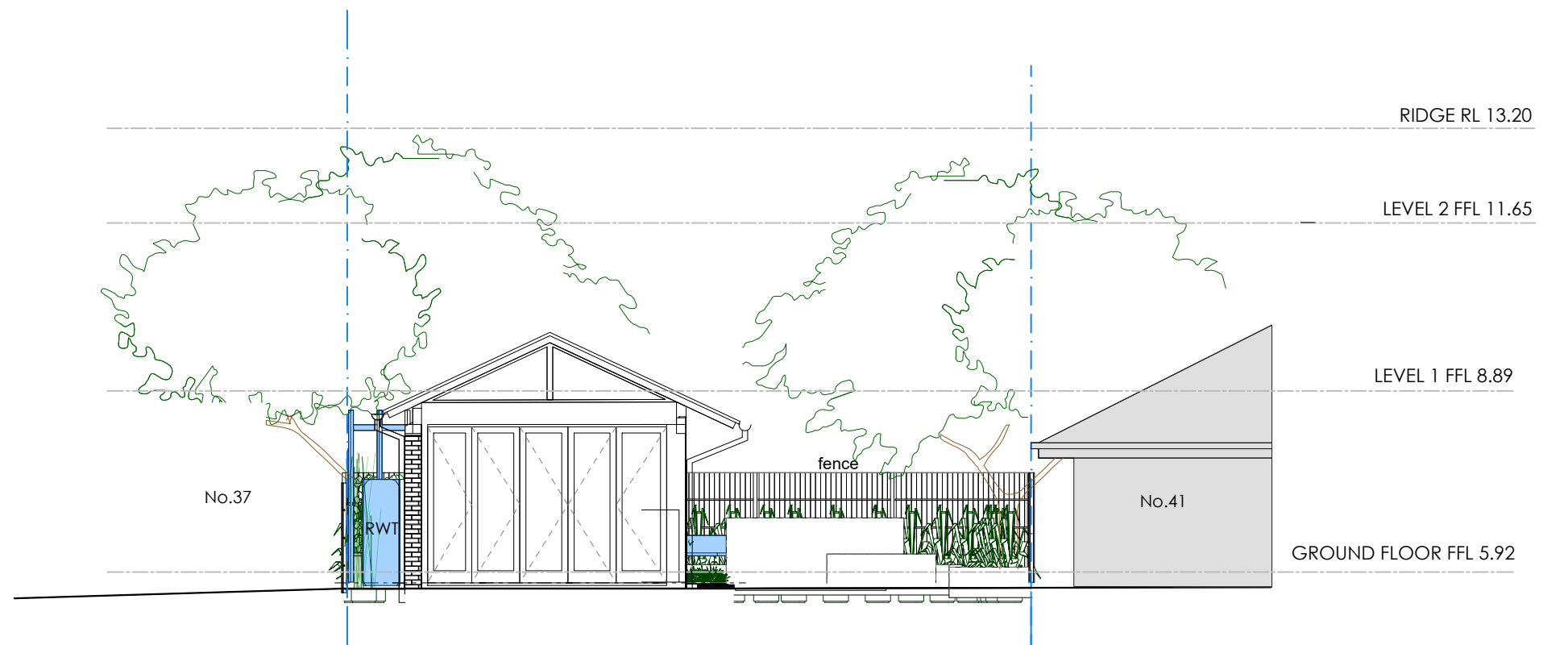
NOTE: ALL FINISHES OF PROPOSED ADDITIONS TO MATCH EXISTING.



Existing North Elevation - No Proposed Changes



Existing Cabana North Elevation



Proposed Cabana North Elevation

KEY

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ARN: 8959

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DRAWING TITLE_NUMBER:
NORTH ELEVATIONS

A_SP_A04_02

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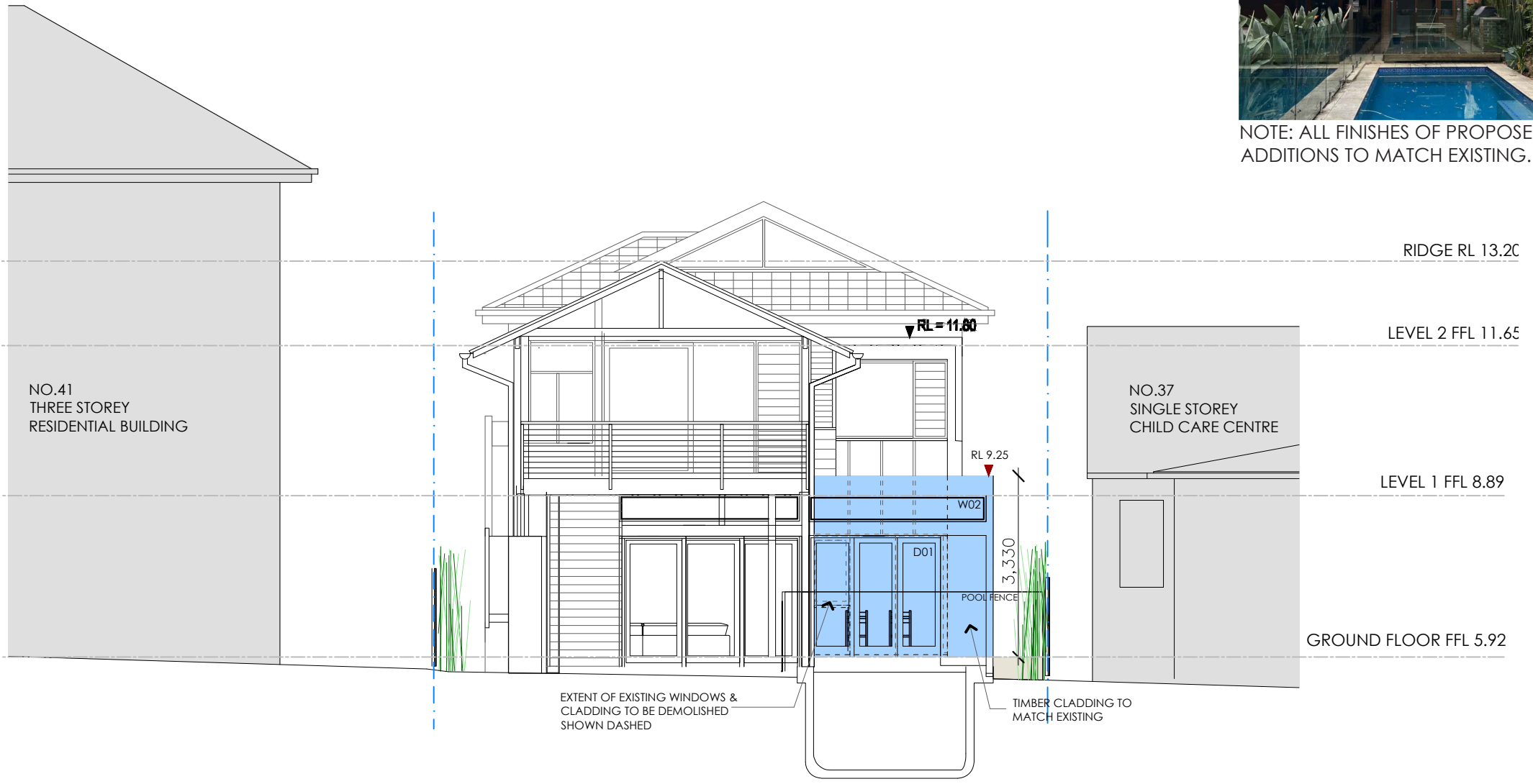
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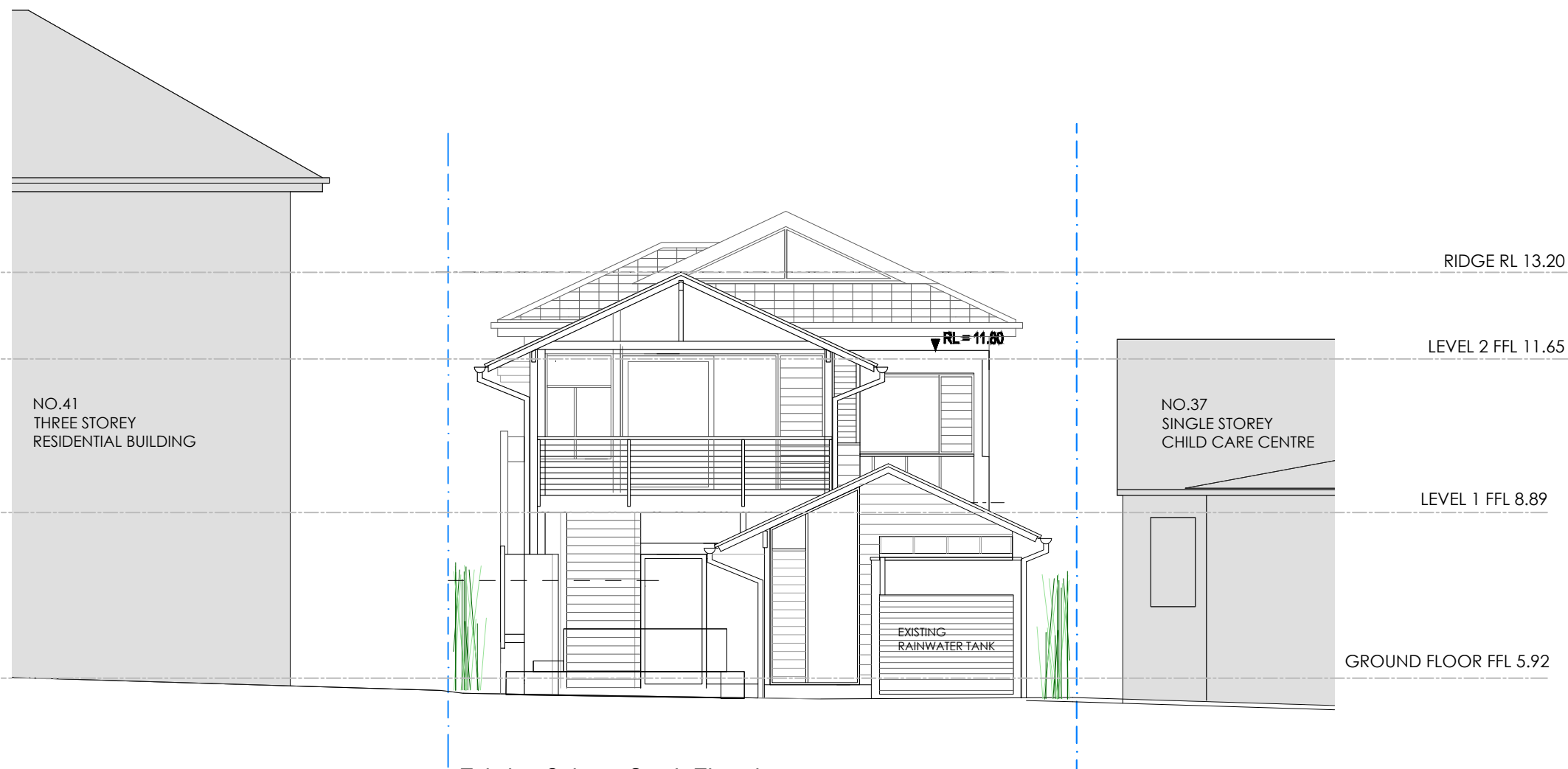
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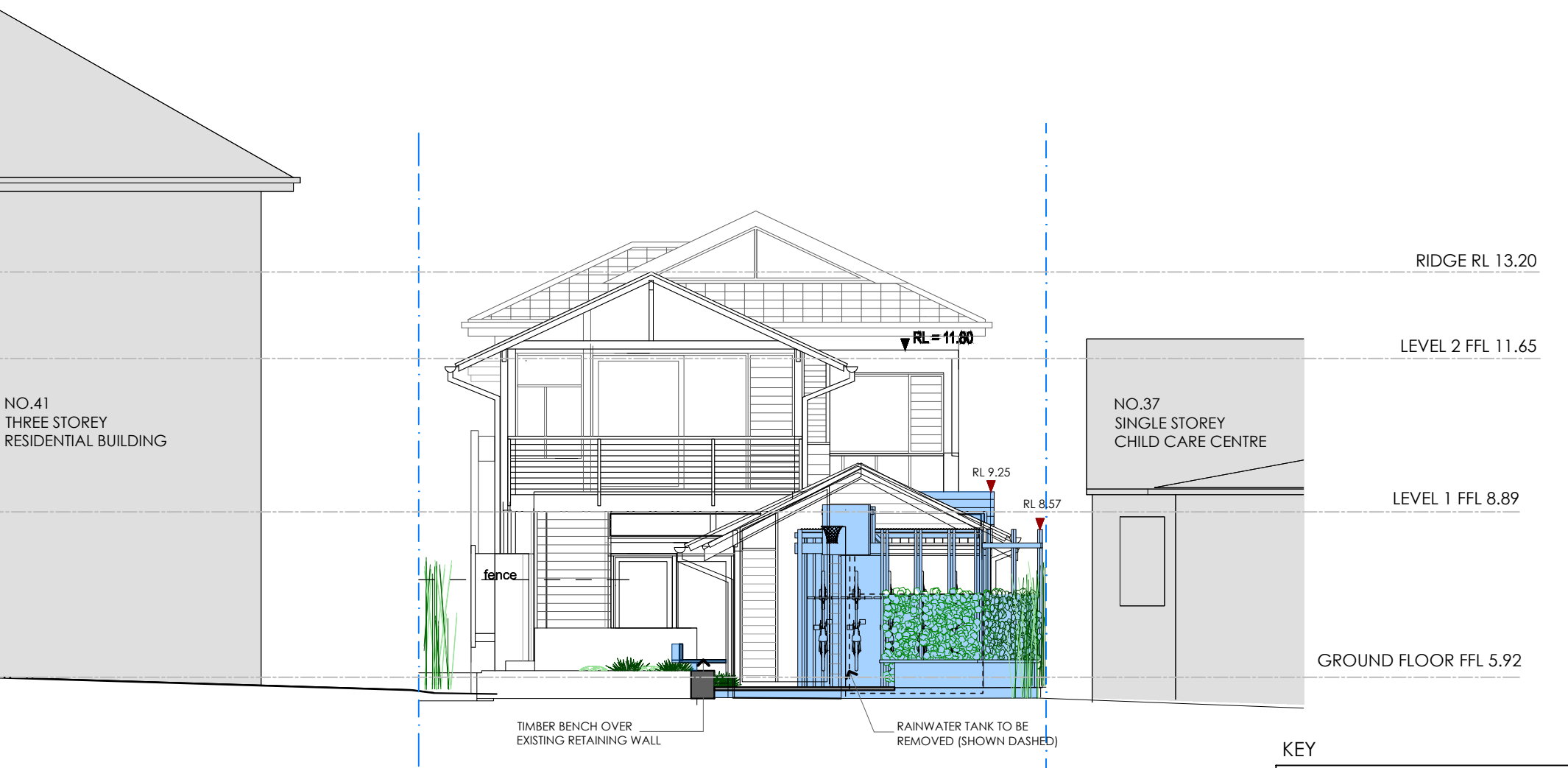
Existing South Elevation



Proposed South Elevation



Existing Cabana South Elevation



Proposed Cabana South Elevation

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DRAWING TITLE NUMBER:
SOUTH ELEVATIONS

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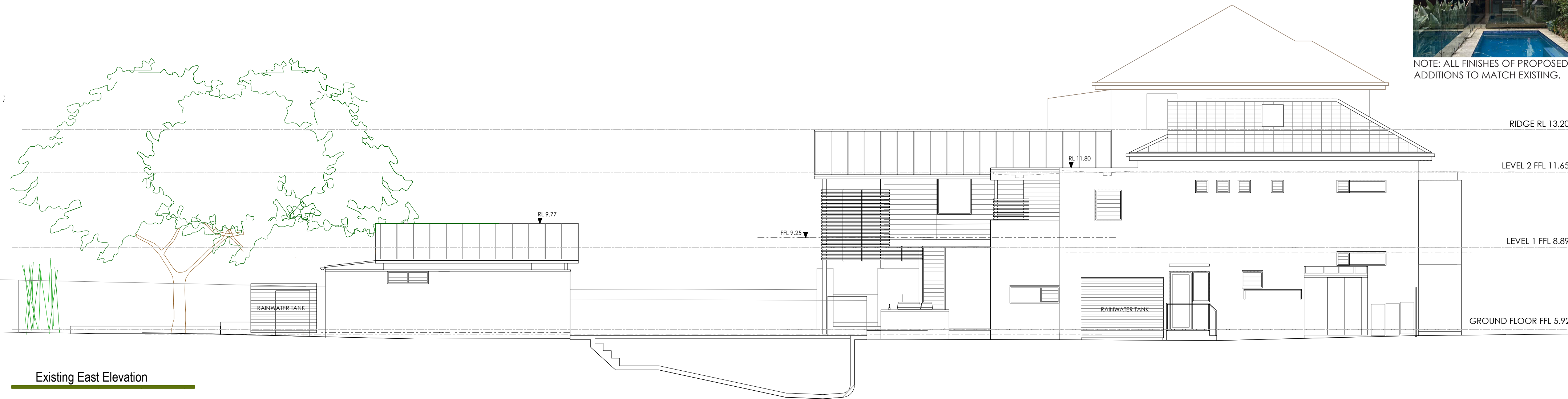
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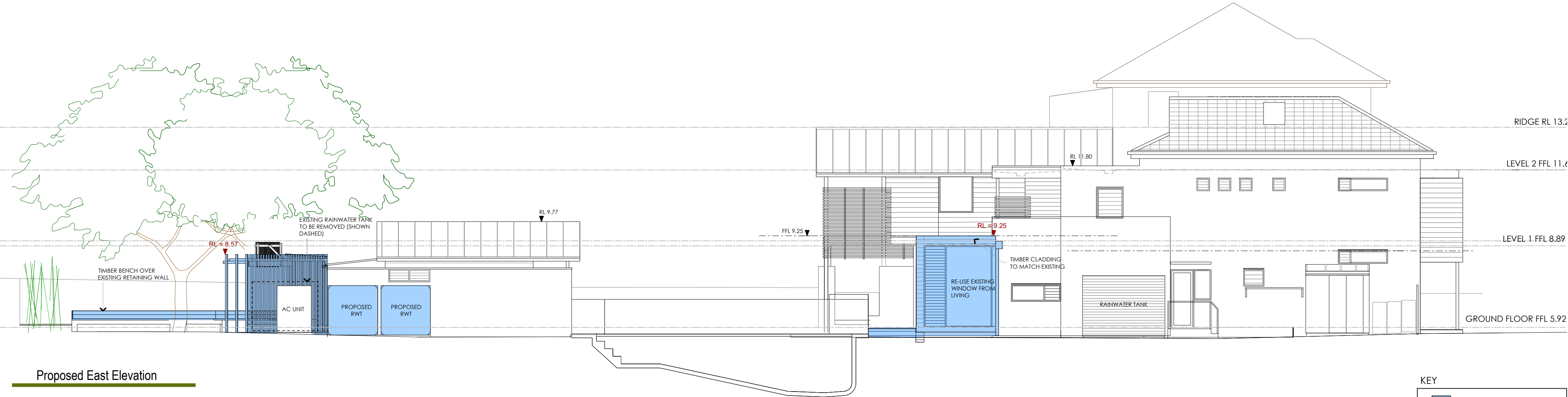
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Existing East Elevation



Proposed East Elevation

KEY

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DRAWING TITLE_NUMBER:
EAST ELEVATIONS

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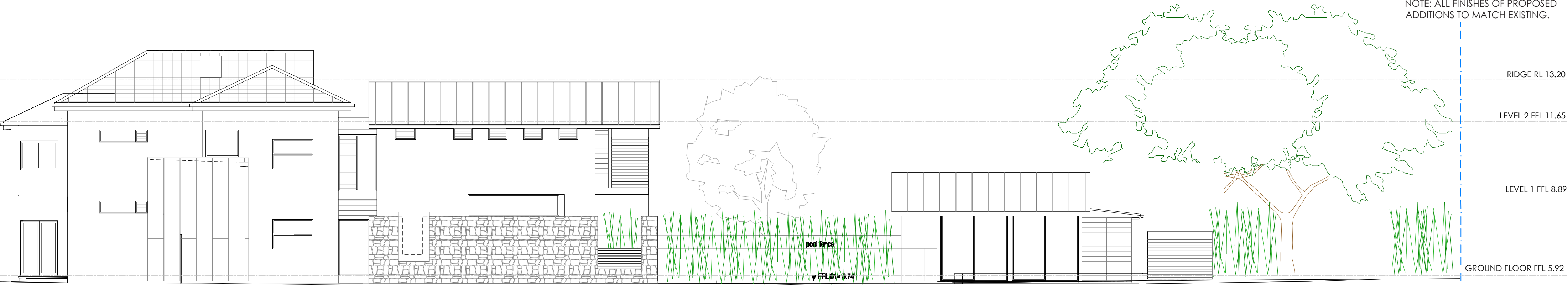
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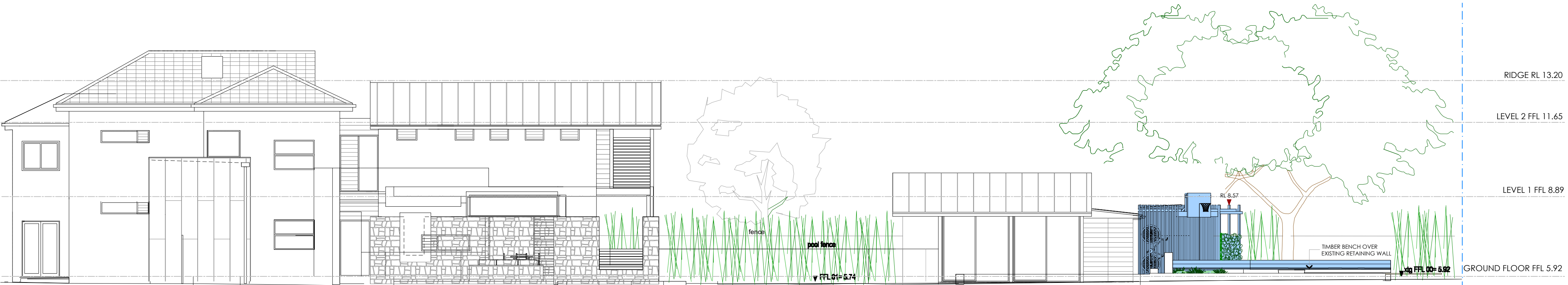
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Existing West Elevation



Proposed West Elevation

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DRAWING TITLE_NUMBER:
WEST ELEVATIONS

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RIDGE RL 13.20

LEVEL 2 FFL 11.65

LEVEL 1 FFL 8.89

GROUND FLOOR FFL 5.92

Existing Section A

RIDGE RL 13.20

LEVEL 2 FFL 11.65

LEVEL 1 FFL 8.89

GROUND FLOOR FFL 5.92

Proposed Section A

KEY

PROPOSED WORK

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ALL PLANS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE.
TO BE READ IN CONJUNCTION WITH BCA COMPLIANCE REPORT
ALL BUILDING WORKS TO COMPLY TO BCA AND AUSTRALIAN STANDARDS.
BASEBUILD INFORMATION MAY BE INCORRECT. CONTRACTOR TO CHECK MEASURE ON SITE.

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architecture & interiors

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The Rocks, NSW 2000
m: 0414 434 848
studiop.com.au
ABN: 24 968 801 044
ARN: 8959

CLIENT:
Richard & Pippa Parkes

PROJECT ADDRESS:
39 Pine St,
Manly 2095
Lot A, DP 346467

DRAWING TITLE_NUMBER:
SECTION A

A_SP_A08_02

REVISION_AMENDMENTS_DATE
01 FOR APPROVAL 04/08/23
02 FOR DA 18/10/23

SCALE: 1:100 (A2)

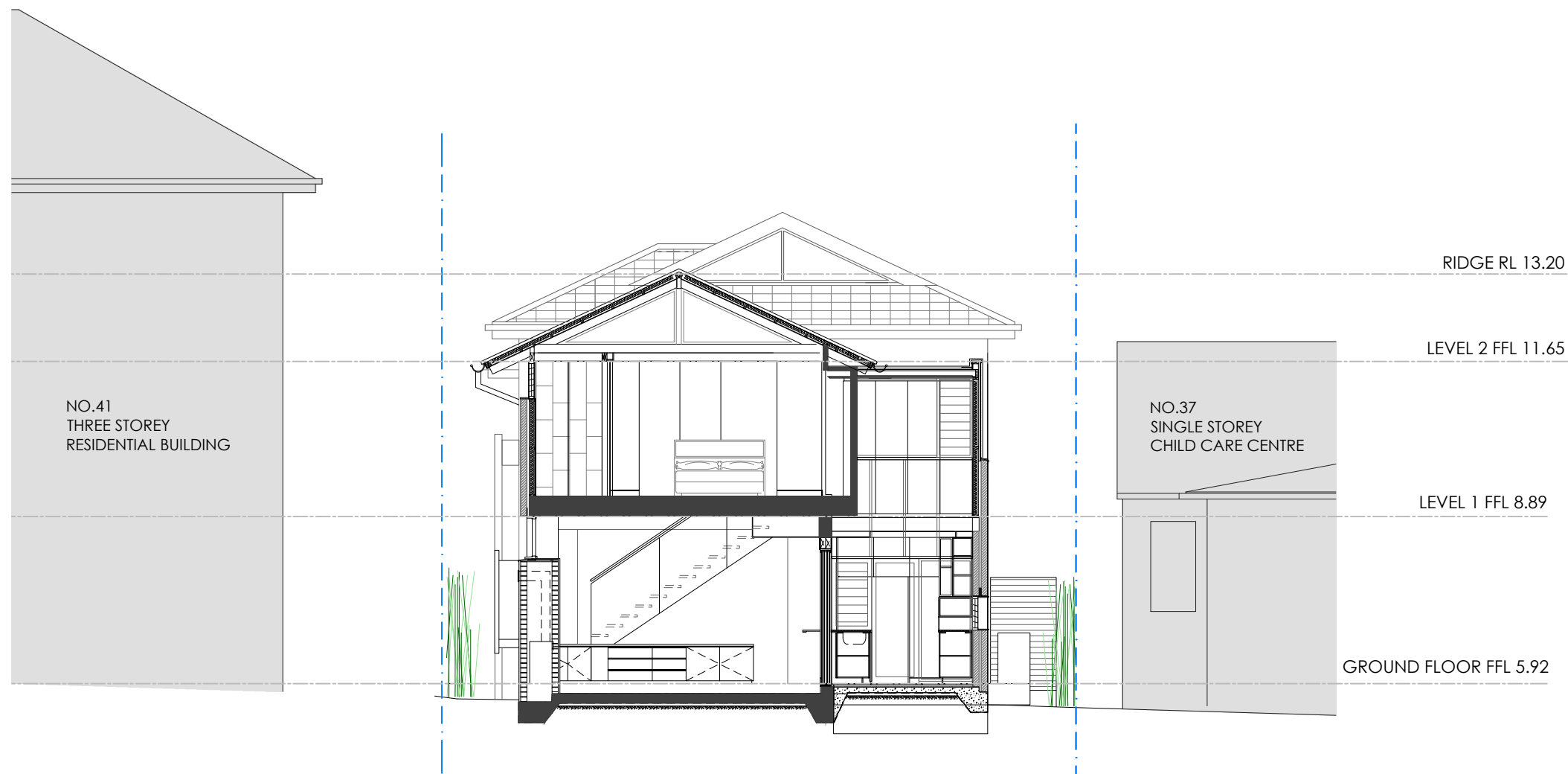
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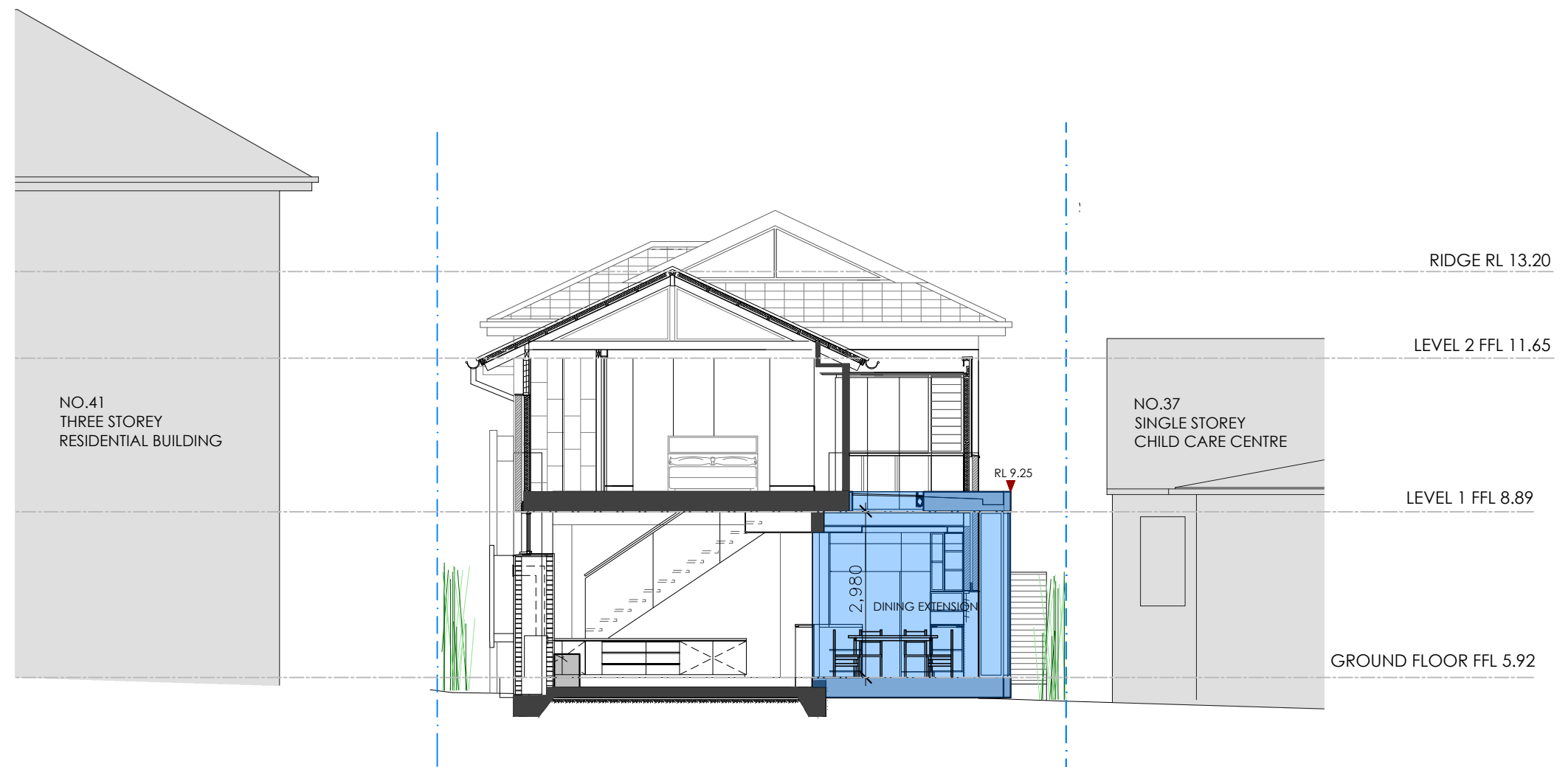
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NOTE: ALL DOCUMENTATION TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE A1378093



Existing Section B



Proposed Section B

KEY

PROPOSED WORK

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m: 0414 434 848
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CLIENT:
Richard & Pippa Parkes

PROJECT ADDRESS:
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DRAWING TITLE_NUMBER:
SECTION B

A_SP_A09_02

REVISION_AMENDMENTS_DATE
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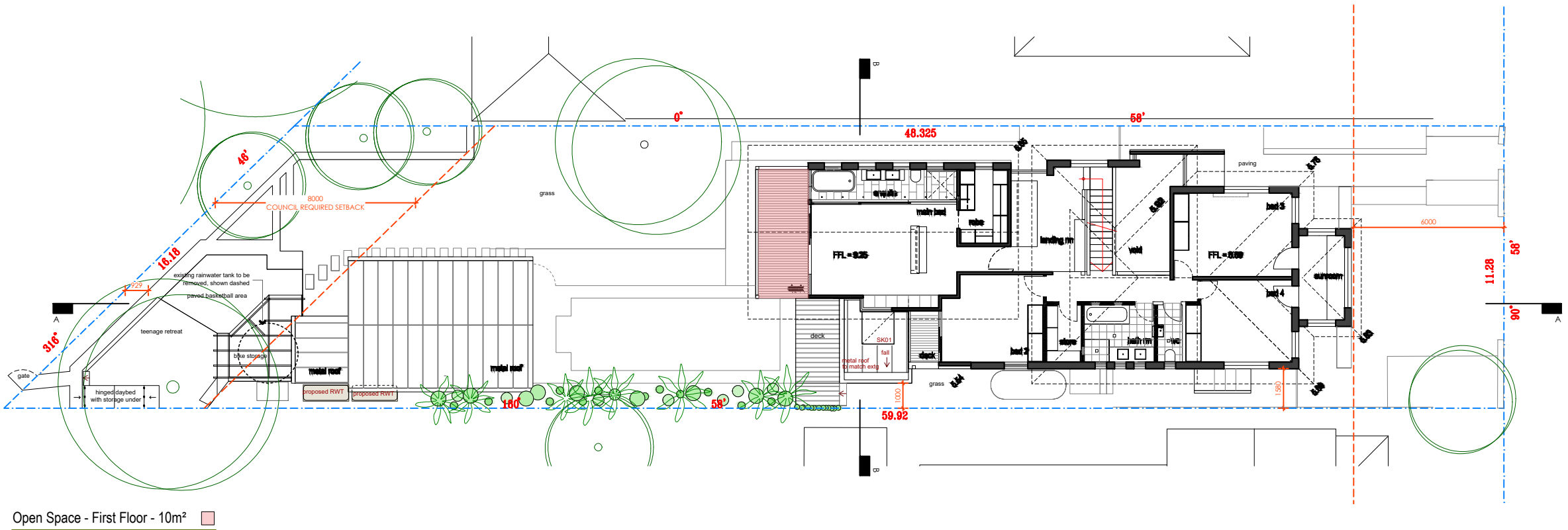
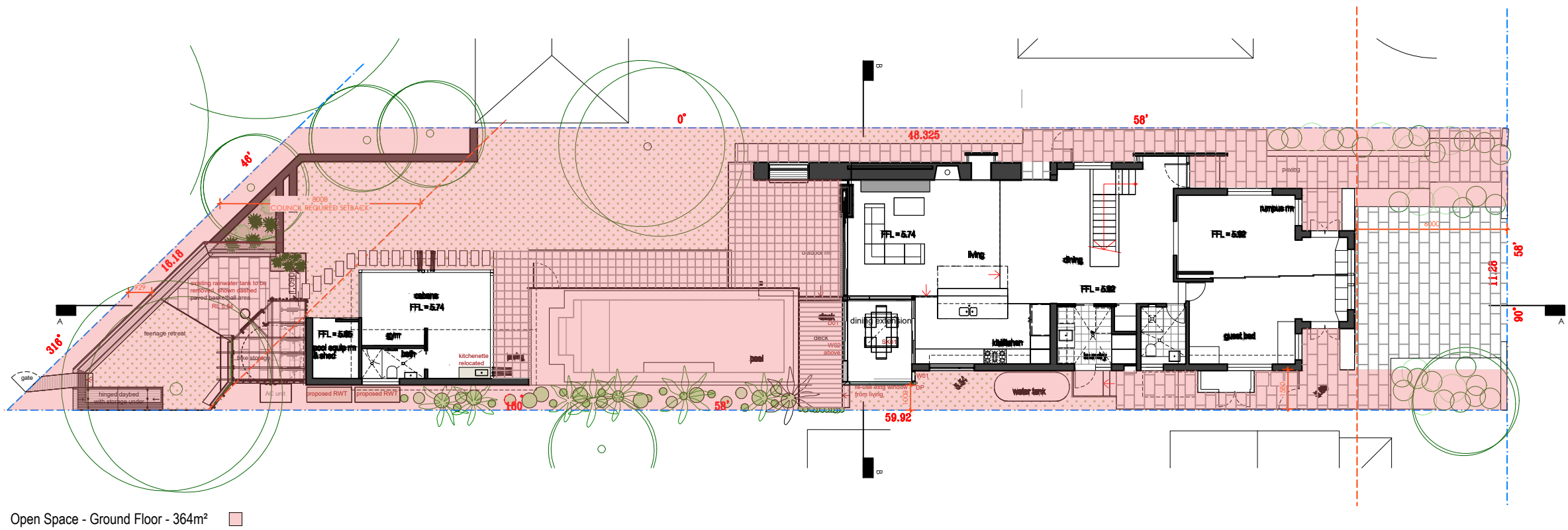
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LEP & DCP 2013 ZONING REQUIREMENTS
39 PINE ST MANLY 2095

LAND ZONING : **R1 GENERAL RESIDENTIAL**
FLOOR SPACE RATIO : **0.6:1**
HEIGHT OF BUILDING : **8.5 M**
MIN LOT SIZE : **250 M2**
MIN PRIVATE OPEN SPACE: **55%**
MIN LANDSCAPED AREA: **35% OF OPEN SPACE**
MIN FRONT SET BACK: **CONSISTENT WITH NEIGHBOURING PROPERTIES**
MIN SIDE SETBACK: **MAX 1/3 OF WALL HEIGHT**
MIN REAR SET BACK: **8M**

SITE CALCULATIONS

TOTAL SITE AREA - 610.5m²
TOTAL ALLOWED FLOOR AREA: 366.3 m²
TOTAL EXISTING FLOOR AREA: 275m²
TOTAL PROPOSED FLOOR AREA: 283m²
PROPOSED FSR: 0.46:1

MIN REQUIRED OPEN SPACE: 335.8m²
TOTAL PROPOSED OPEN SPACE: 383m²

MIN REQUIRED LANDSCAPED AREA: 117.5m²
TOTAL PROPOSED LANDSCAPED AREA: 163m²

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m: 0414 434 848
studiop.com.au
ABN: 24 968 801 044
ARN: 8959

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Richard & Pippa Parkes

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DRAWING TITLE_NUMBER:
OPEN SPACE CALCULATION PLANS
A_SP_A10_01

REVISION_AMENDMENTS_DATE
01 FOR DA 19/10/23

SCALE: 1:100 (A2)

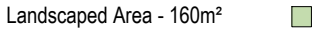
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LEP & DCP 2013 ZONING REQUIREMENTS
39 PINE ST MANLY 2095

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ARN: 8959

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DRAWING TITLE_NUMBER:
LANDSCAPE CALCULATION PLAN
A SP A11 01

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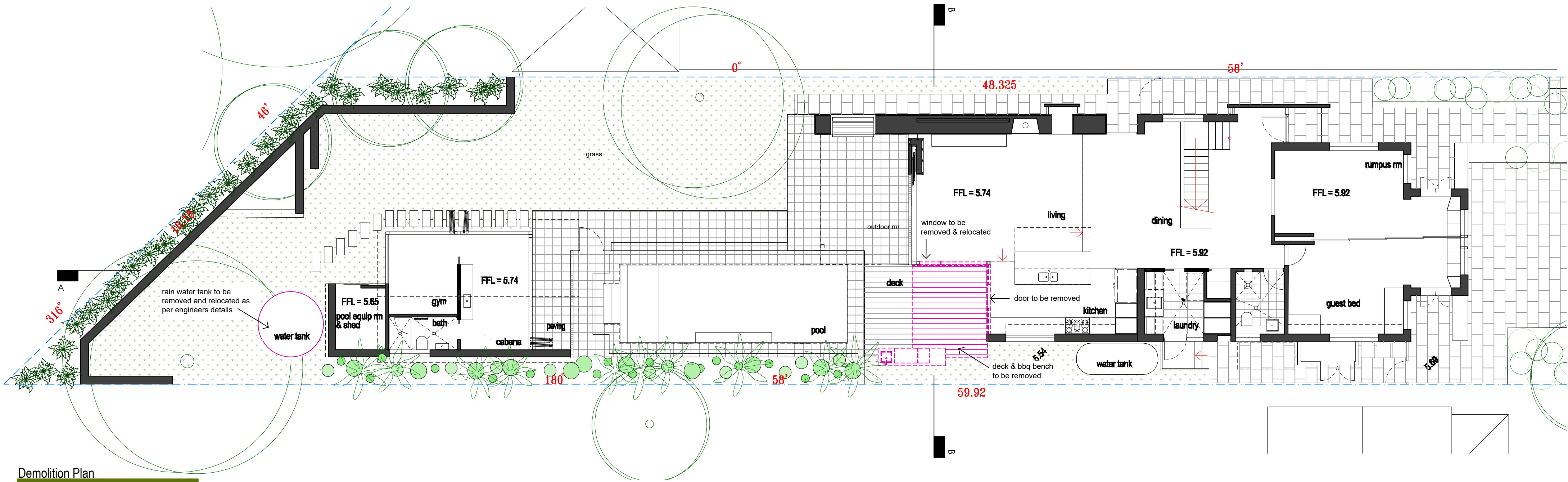
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Demolition Plan

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LEP & DCP 2013 ZONING REQUIREMENTS
39 PINE ST MANLY 2095

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studiop.com.au
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DEMOLITION PLAN

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KEY

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