

Rapid Plans [www.rapidplans.com.au](http://www.rapidplans.com.au)  
P.O. Box 6193 Frenchs Forest DC NSW 2086  
Fax: (02) 9905-8865 Mobile: 0414-945-024  
Email: [gregg@rapidplans.com.au](mailto:gregg@rapidplans.com.au)



BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA



ACCREDITED  
BUILDING DESIGNER

# DEVELOPMENT APPLICATION

## Alterations & Additions To Existing Residence

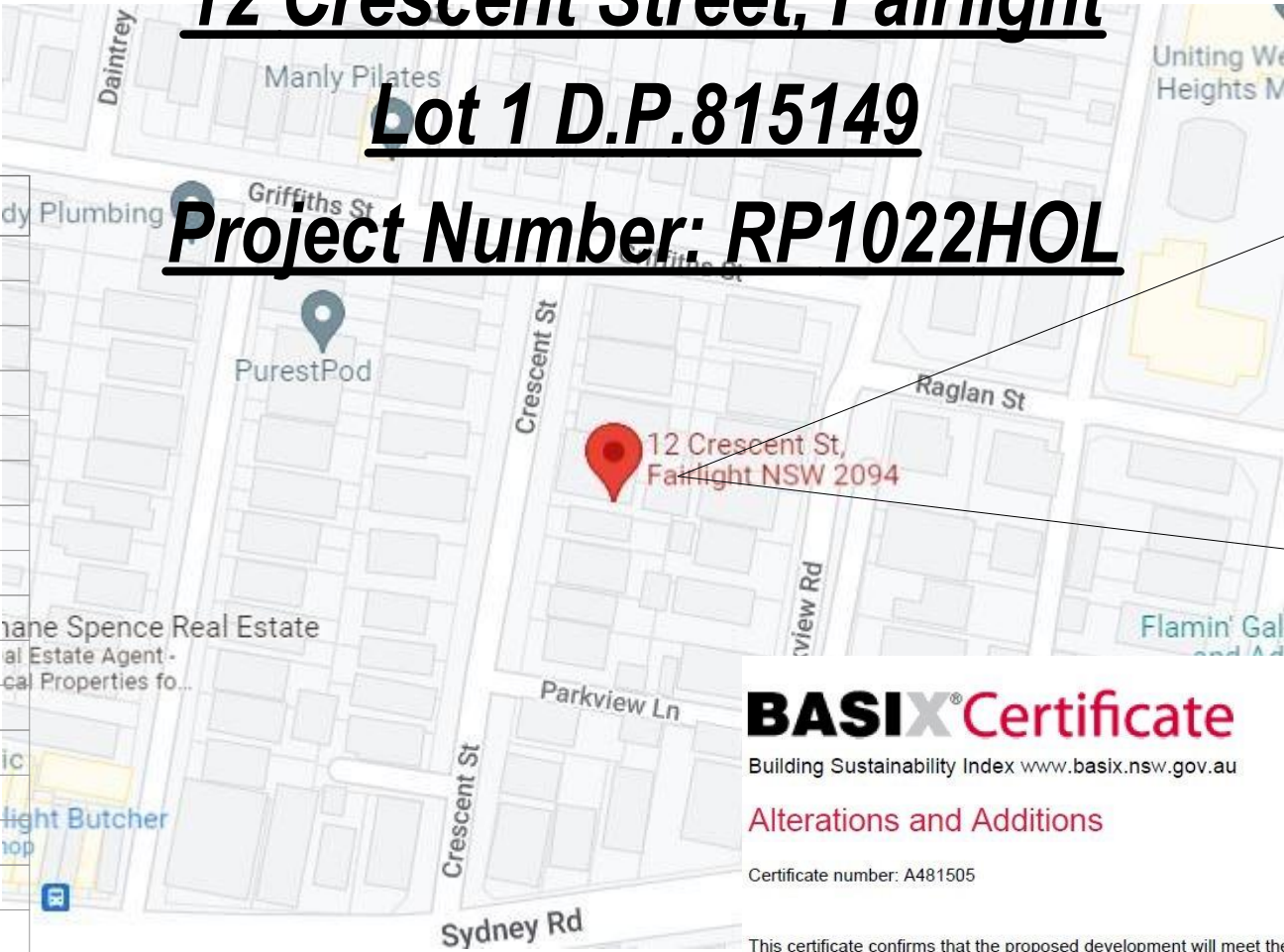
### For Scott and Sophie Holmes

12 Crescent Street, Fairlight

Lot 1 D.P.815149

Project Number: RP1022HOL

DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 22/11/22
DA1001	A4 NOTIFICATION PLAN	-	- 22/11/22
DA1002	SITE SURVEY	-	- 22/11/22
DA1003	SITE PLAN	-	- 22/11/22
DA1004	Existing Ground Floor Plan	-	- 22/11/22
DA1005	Existing First Floor Plan	-	- 22/11/22
DA1006	Demolition First Floor Plan	-	- 22/11/22
DA1007	Landscape Open Space Plan Existing	-	- 22/11/22
DA1008	Landscape Open Space Plan Proposed	-	- 22/11/22
DA1009	Landscape Plan	-	- 22/11/22
DA1010	Sediment & Erosion Plan	-	- 22/11/22
DA1011	Waste Management Plan	-	- 22/11/22
DA1012	Stormwater Plan	-	- 22/11/22
DA1013	Floor Space Ratio	-	- 22/11/22
DA2001	GROUND FLOOR	-	- 22/11/22
DA2002	FIRST FLOOR	-	- 22/11/22
DA2003	ROOF	-	- 22/11/22
DA3000	SECTION 1	-	- 22/11/22
DA4000	ELEVATIONS 1	-	- 22/11/22
DA4001	ELEVATIONS 2	-	- 22/11/22
DA5000	PERSPECTIVE	-	- 22/11/22
DA5001	MATERIAL & COLOUR SAMPLE BOARD	-	- 22/11/22
DA5002	SHADOW PLAN 21st June 9am	-	- 22/11/22
DA5003	SHADOW PLAN 21st June 12pm	-	- 22/11/22
DA5004	SHADOW PLAN 21st June 3pm	-	- 22/11/22
DA5005	WALL ELEVATION SHADOWS	-	- 22/11/22



**BASIX®Certificate**

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Alterations and Additions

Certificate number: A481505

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Tuesday, 22, November 2022  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,  
Industry &  
Environment

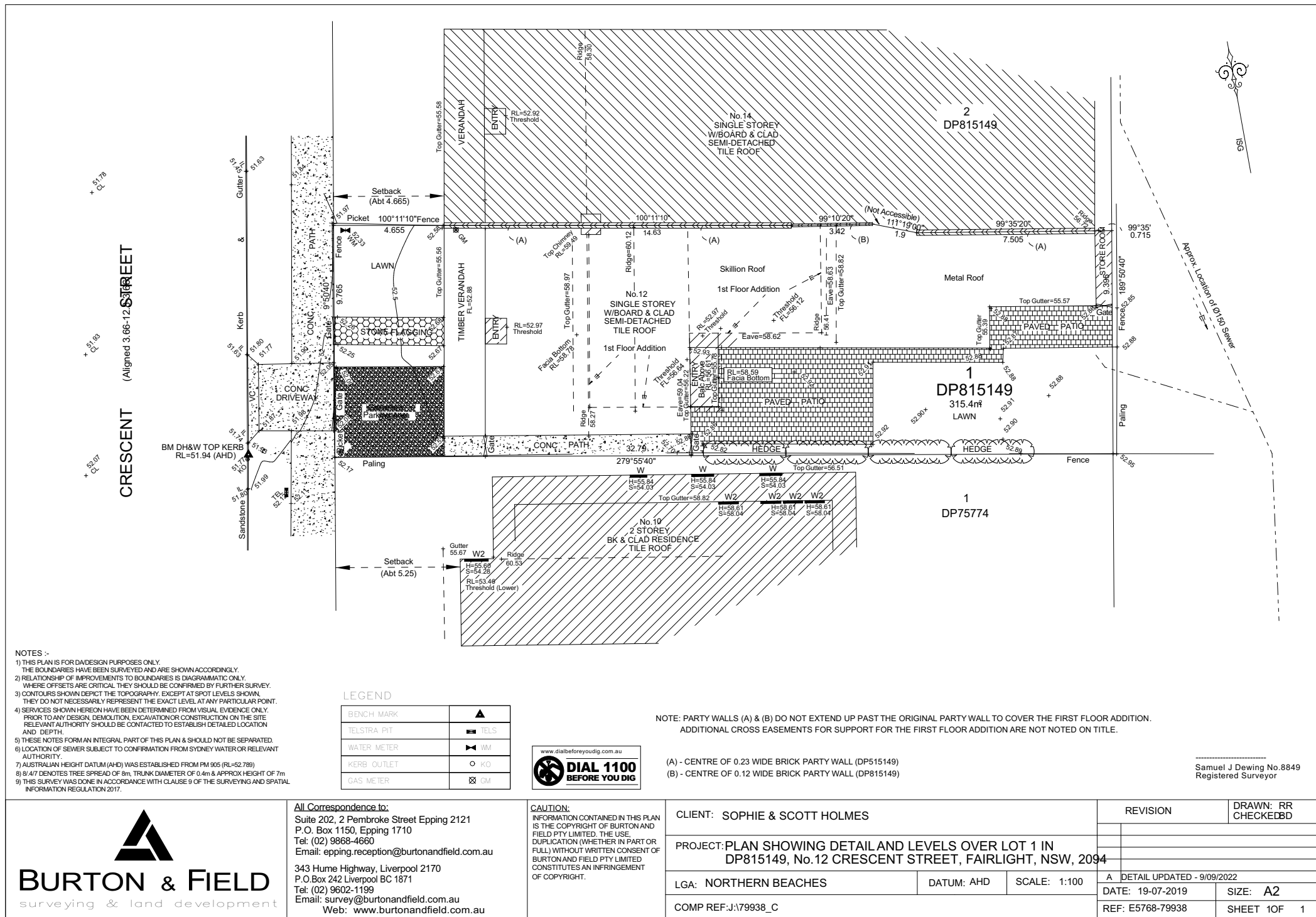


Description of project

Project address	
Project name	Holmes
Street address	12 Crescent Street Fairlight 2094
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 815149
Lot number	1
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592





1

SURVEY PLAN  
1:200

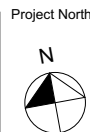
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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 30/11/2022  
Project No: RP1022HOL  
Project Status: DA

Client: Scott and Sophie Holmes  
Site: 12 Crescent Street, Fairlight

Sheet Size: A3

DRAWING TITLE :  
SITE AND LOCATION  
SITE SURVEY

PROJECT NAME :  
Alterations & Additions

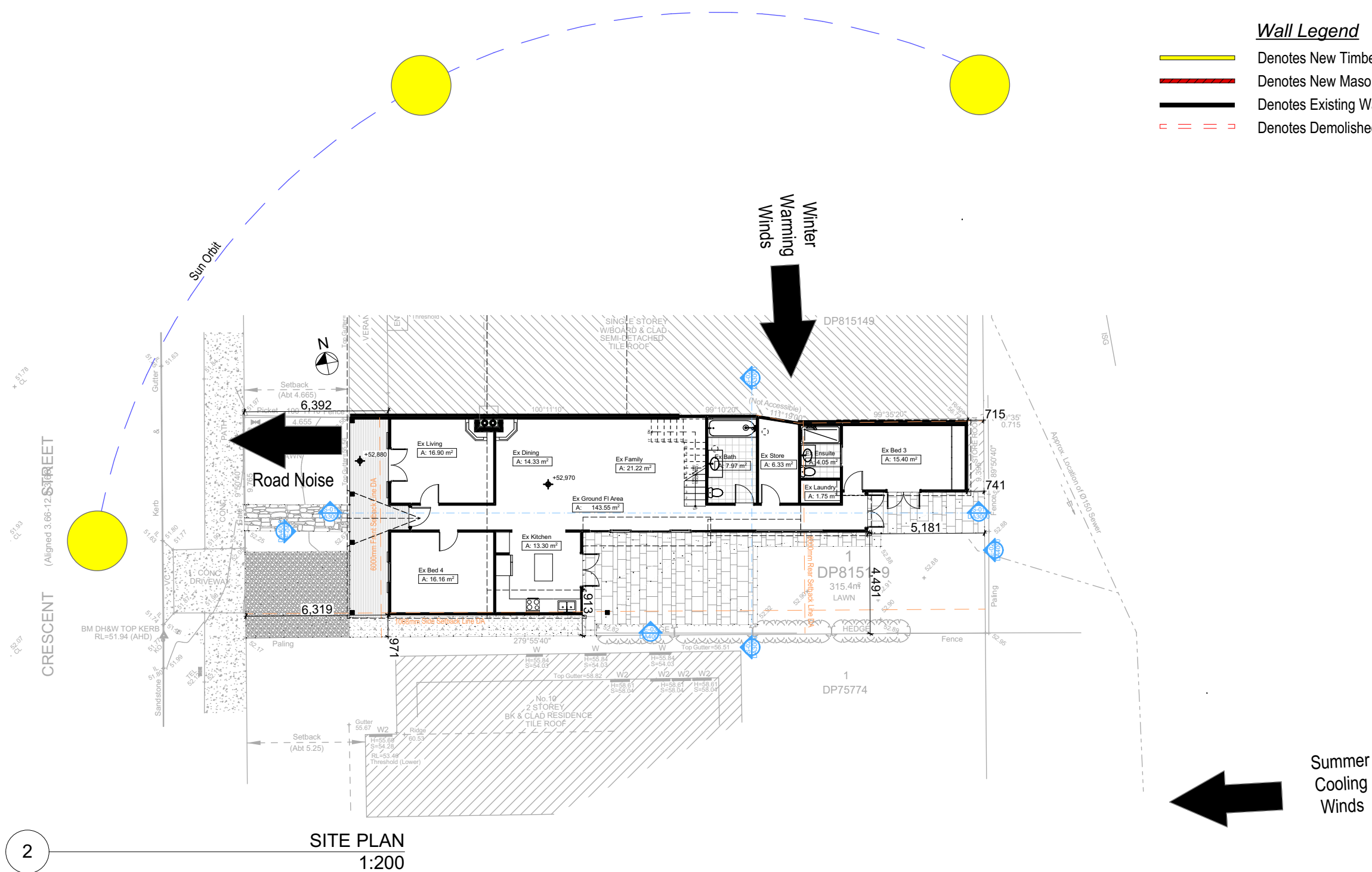
REVISION NO.  
-  
DATE: 22/11/22  
DRAWING NO.  
DA1002



Denotes New Works

### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item



SITE PLAN  
1:200

#### Construction

#### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

#### Fixtures and systems

##### Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

##### Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

**DA APPLICATION  
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Rapid Plans  
Building Design and Architectural Drafting

12 Crescent Street, Fairlight  
VIC 3163  
Tel: (03) 9350-8845  
Fax: (03) 9350-8846  
Email: info@rapidplans.com.au

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**bdca**  
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**bdca**  
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BUILDING DESIGNER

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1028-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.  
**Carrying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Carrying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans  
**Basic**  
Basic Certificate Number A481505  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each space, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE :  
**SITE AND LOCATION  
SITE PLAN**

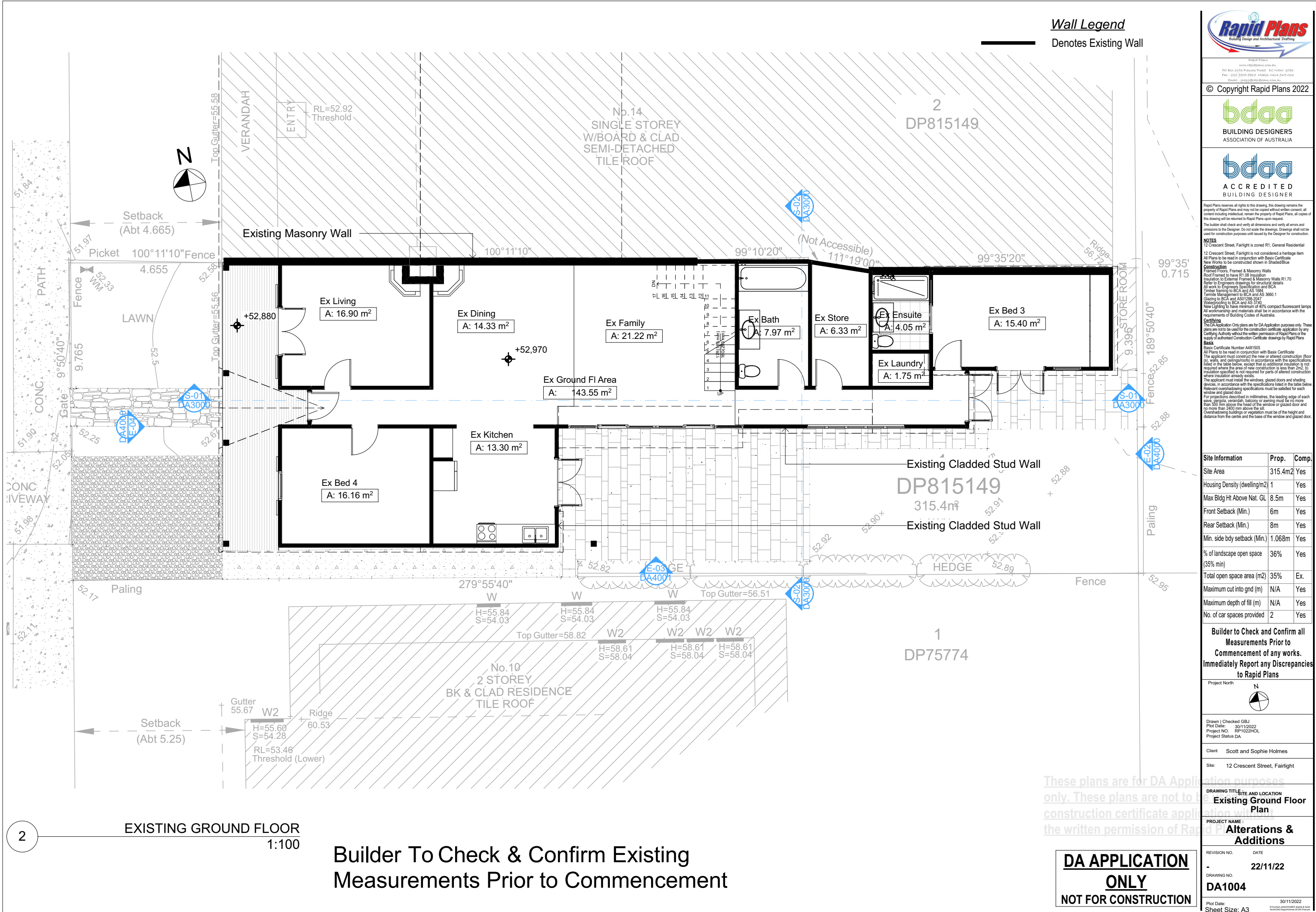
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

DRAWING NO.  
**DA1003**

Plot Date: 30/11/2022  
Sheet Size: A3















Denotes Impervious Area

Denotes Pervious Area



Rapid Plans  
Building Design and Architectural Drafting

www.rapidplans.com.au  
PO Box 6239 Fitzroy Vic 3065  
Ph: (03) 9358-8845 Mob: 0414-946-024  
Email: info@rapidplans.com.au

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**NOTES**

12 Crescent Street, Fairlight is zoned R1, General Residential

12 Crescent Street, Fairlight is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Floors, Framed & Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed & Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10798-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Conditioning**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A481505

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP10222HOL  
Project Status DA

Client Scott and Sophie Holmes

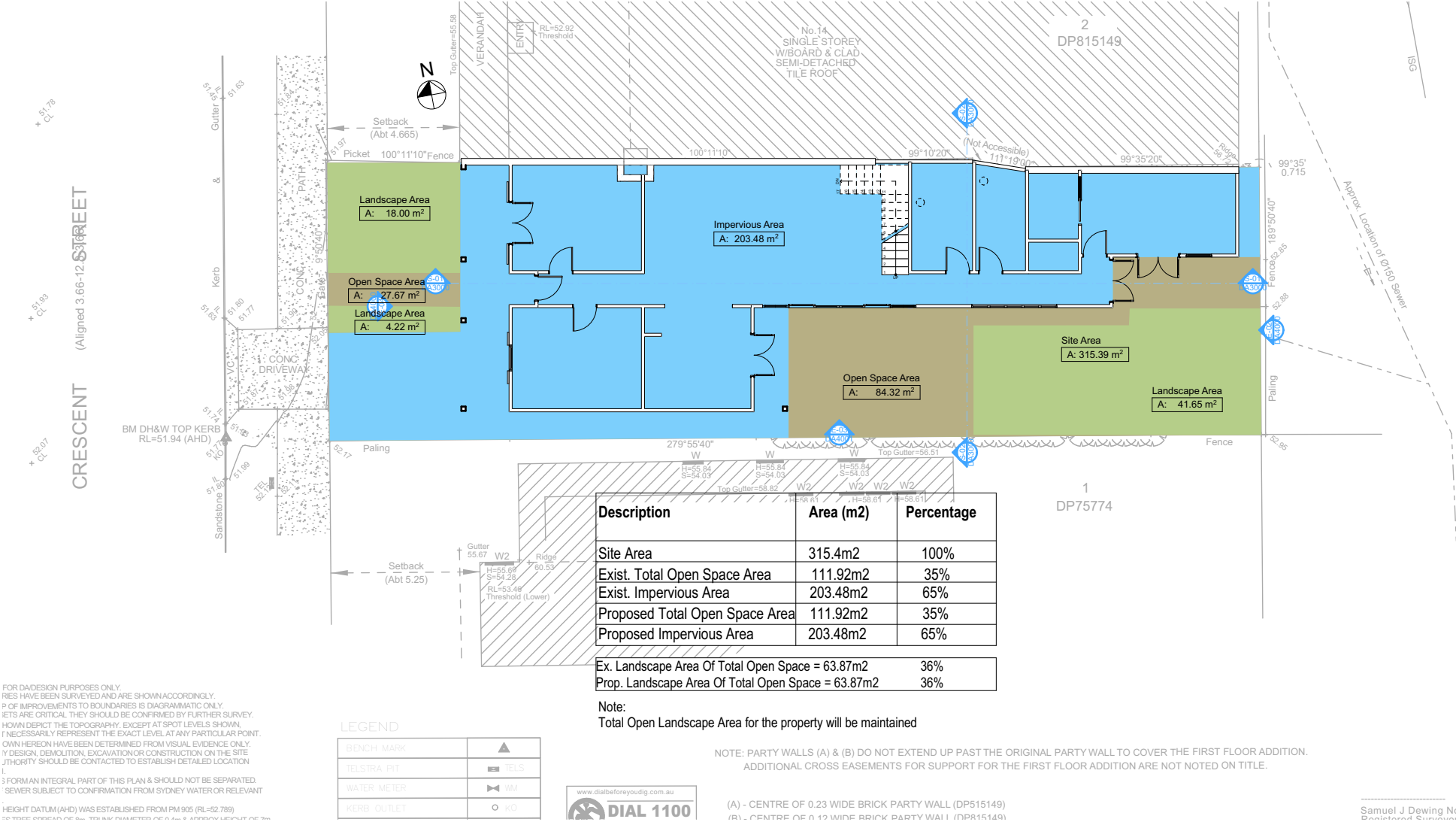
Site: 12 Crescent Street, Fairlight

DRAWING TITLE SITE AND LOCATION  
**Landscape Open Space Plan Proposed**

PROJECT NAME:  
**Alterations & Additions**

REVISION NO. DATE  
- 22/11/22  
DRAWING NO.  
**DA1008**

Plot Date: 30/11/2022  
Sheet Size: A3



## LANDSCAPE OPEN SPACE PROPOSED

1:200

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OR DA/DESIGN PURPOSES ONLY.  
IES HAVE BEEN SURVEYED AND ARE SHOWN ACCORDINGLY.  
OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY.  
ITS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.  
OWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN,  
NECESSARILY REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.  
MIN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY.  
\* DESIGN, DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE  
THORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION

FORM AN INTEGRAL PART OF THIS PLAN & SHOULD NOT BE SEPARATED.  
SEWER SUBJECT TO CONFIRMATION FROM SYDNEY WATER OR RELEVANT

HEIGHT DATUM (AHD) WAS ESTABLISHED FROM PM 905 (RL=52.789)  
S TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m  
WAS DONE IN ACCORDANCE WITH CLAUSE 9 OF THE SURVEYING AND SPATIAL  
REGULATION 2017.

LEGEND	
BENCH MARK	▲
TELSPRA PIT	■
WATER METER	⋈
KERB OUTLET	○
GAS METER	⊠



Landscape Legend	
Ground Covers Schedule	
Symbol	Common Name
	Existing Stone Pavers
	Existing Paving
	Existing Gravel Driveway
	Existing Timber Deck
	Existing Concrete Path
	Existing Grass To Remain
	Existing Hedge To Remain

ND UP PAST THE ORIGINAL PARTY WALL TO COVER THE FIRST FLOOR ADDITION.  
SUPPORT FOR THE FIRST FLOOR ADDITION ARE NOT NOTED ON TITLE.

WALL (DP515149)  
WALL (DP815149)

Samuel J Dewing  
Registered Surveyor

2

## LANDSCAPE PLAN 1:200

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Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Carrying**  
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**Basic**  
Basic Certificate Number A481505  
All Plans to be read in conjunction with Basic Certificate  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO. RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE :  
**SITE AND LOCATION  
Landscape Plan**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

DRAWING NO.  
**DA1009**

Plot Date: 30/11/2022  
Sheet Size: A3

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Site Safety Fence

Sediment Control Fence

NOTES :-  
1) THIS PLAN IS FOR DA/DESIGN PURPOSES ONLY.  
2) THE BOUNDARIES HAVE BEEN SURVEYED AND ARE SHOWN ACCORDINGLY.  
3) RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY.  
4) WHERE OFFSETS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.  
5) CONTOURS SHOWN DEPICT THE TOPOGRAPHY, EXCEPT AT SPOT LEVELS SHOWN.  
6) THEY DO NOT NECESSARILY REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.  
7) SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY.  
8) PRIOR TO ANY DESIGN, DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.  
9) THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN & SHOULD NOT BE SEPARATED.  
10) LOCATION OF SEWER SUBJECT TO CONFIRMATION FROM SNEY WATER OR RELEVANT AUTHORITY.  
11) AUSTRALIAN HEIGHT DATUM (AHD) WAS ESTABLISHED FROM PM 995 (RL=52.789).  
12) 8/17 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m

LEGEND

BENCH MARK	▲
TELSTRA PIT	■
WATER METER	WM
KERB OUTLET	○ KO



NOTE: PARTY WALLS (A) & (B) DO NOT EXTEND UP PAST THE ORIGINAL PARTY WALL TO COVER THE FIRST FLOOR ADDITION.  
ADDITIONAL CROSS EASEMENTS FOR SUPPORT FOR THE FIRST FLOOR ADDITION ARE NOT NOTED ON TITLE.

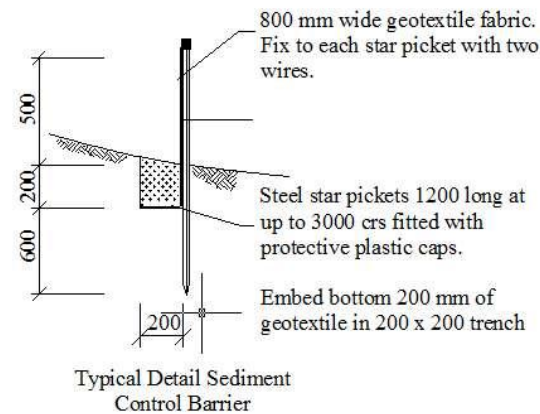
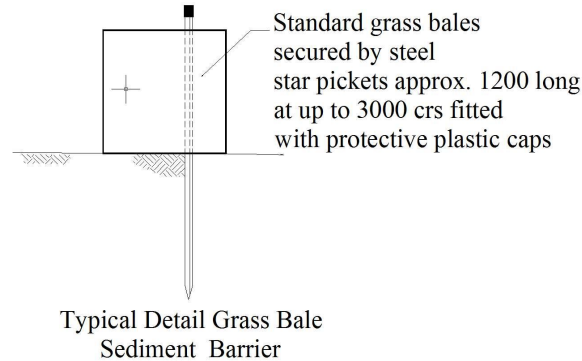
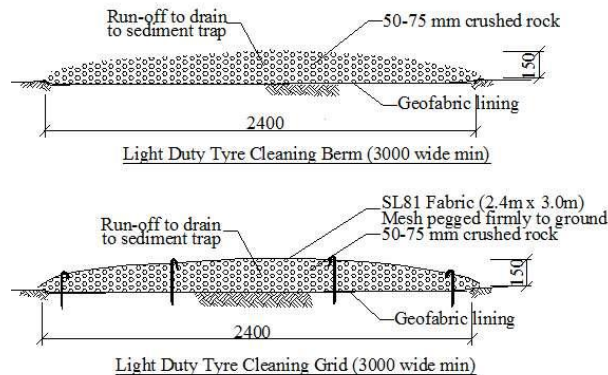
(A) - CENTRE OF 0.23 WIDE BRICK PARTY WALL (DP815149)  
(B) - CENTRE OF 0.12 WIDE BRICK PARTY WALL (DP815149)

Samuel J Dewing No.8849  
Registered Surveyor

2

SEDIMENT & EROSION CONTROL PLAN

1:200



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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Denotes New Works

**Wall Legend**  
Denotes New Timber Framed Wall  
Denotes New Masonry Wall  
Denotes Existing Wall  
Denotes Demolished Item

Rapid Plans  
Building Design and Architectural Drafting

10/10 Box 6239 Fairlight Forest, VIC 3103  
Tel: (03) 9505-8849, Mobile: 0414-945-024  
Email: info@rapidplans.com.au

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ASSOCIATION OF AUSTRALIA

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**NOTES**  
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12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be completed shown in Shaded Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1028-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.  
**Conditioning**  
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**Basic**  
Basic Certificate Number A481505  
All Plans to be read in conjunction with Basic Certificate  
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For projections described in millimetres, the leading edge of each space, parapet, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE :  
SITE AND LOCATION  
**Sediment & Erosion Plan**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

DRAWING NO.  
**DA1010**

Plot Date: 30/11/2022  
Sheet Size: A3



Denotes New Works

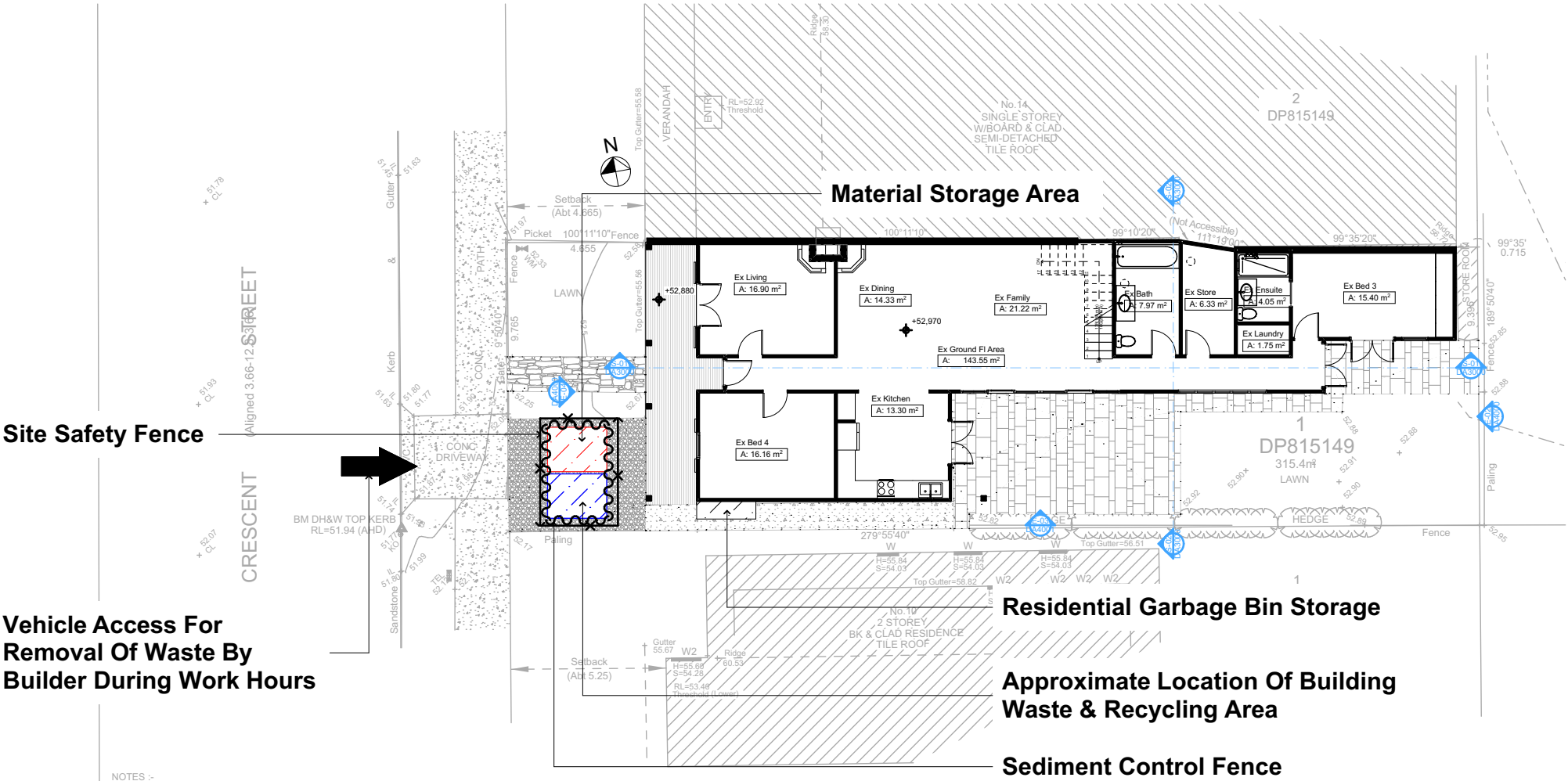
**Wall Legend**

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



NOTES :-

- THIS PLAN IS FOR DA/DESIGN PURPOSES ONLY. THE BOUNDARIES HAVE BEEN SURVEYED AND ARE SHOWN ACCORDINGLY.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. EXCEPT AT SPOT LEVELS SHOWN, THEY DO NOT NECESSARILY REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT.
- SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DESIGN, DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH.
- THESE NOTES FORM AN INTEGRAL PART OF THIS PLAN & SHOULD NOT BE SEPARATED.
- LOCATION OF SEWER SUBJECT TO CONFIRMATION FROM SYDNEY WATER OR RELEVANT AUTHORITY.
- AUSTRALIAN HEIGHT DATUM (AHD) WAS ESTABLISHED FROM PM 805 (RL=52.789).
- 8/47 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m.
- THIS SURVEY WAS DONE IN ACCORDANCE WITH CLAUSE 9 OF THE SURVEYING AND SPATIAL INFORMATION REGULATION 2017.

LEGEND

BENCH MARK	▲
TELSTRA PIT	■
WATER METER	⋈
KERB OUTLET	○
GAS METER	⊗

NOTE: PARTY WALLS (A) & (B) DO NOT EXTEND UP PAST THE ORIGINAL PARTY WALL TO COVER THE FIRST FLOOR ADDITION. ADDITIONAL CROSS EASEMENTS FOR SUPPORT FOR THE FIRST FLOOR ADDITION ARE NOT NOTED ON TITLE.

(A) - CENTRE OF 0.23 WIDE BRICK PARTY WALL (DP815149)

(B) - CENTRE OF 0.12 WIDE BRICK PARTY WALL (DP815149)

www.dialbeforeyoudig.com.au

**DIAL 1100**  
BEFORE YOU DIG

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CLIENT: SOPHIE & SCOTT HOLMES

REVISION

2 WASTE MANAGEMENT PLAN  
1:200

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**DA APPLICATION ONLY**  
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**Rapid Plans**  
Building Design and Architectural Drafting

Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Fyreside Forest NSW 2086  
Ph: (02) 9365-8845 Mob: 0414-946-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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**NOTES**

12 Crescent Street, Fairlight is zoned R1, General Residential

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Floors, Framed & Masonry Walls

Roof Framed to have R1.08 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1078-2007

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Cladding**

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**Basic**

Basic Certificate Number A481505

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE :  
SITE AND LOCATION  
**Waste Management Plan**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

DRAWING NO.  
**DA1011**







Plot Date: 30/11/2022  
Sheet Size: A3

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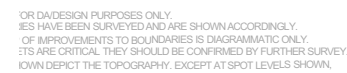


Denotes New Works

Denotes New Timber Framed Wall  
Denotes New Masonry Wall  
Denotes New Concrete Block Wall  
Denotes New Concrete  
Denotes Existing Wall  
Denotes Demolished Item

	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes New Concrete Block Wall
	Denotes New Concrete
	Denotes Existing Wall
	Denotes Demolished Item

## Proposed Stormwater Line To Be Fed Into The Existing Drainage System



## STORMWATER PLAN

<p>These plans are for DA Application purposes only. These plans are not to be used for construction certificate applications without the written permission of the Council.</p>	<p>DRAWING TITLE :</p> <p>SITE AND LOCATION</p> <p><b>Stormwater Plan</b></p>
	<p>PROJECT NAME :</p>

## Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. Gl.	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side by setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO. RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE :  
SITE AND LOCATION  
**Stormwater Plan**

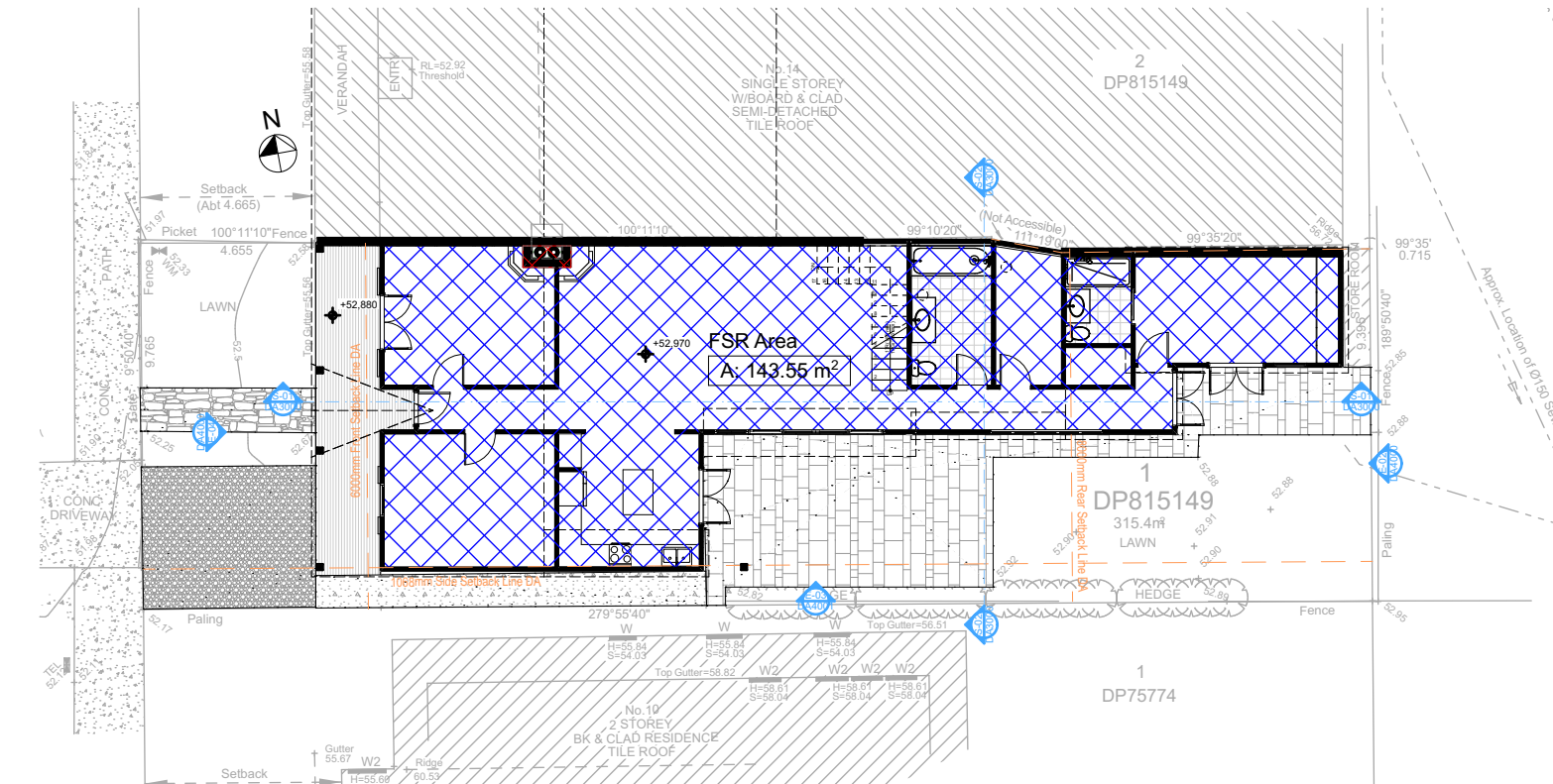
PROJECT NAME : **Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

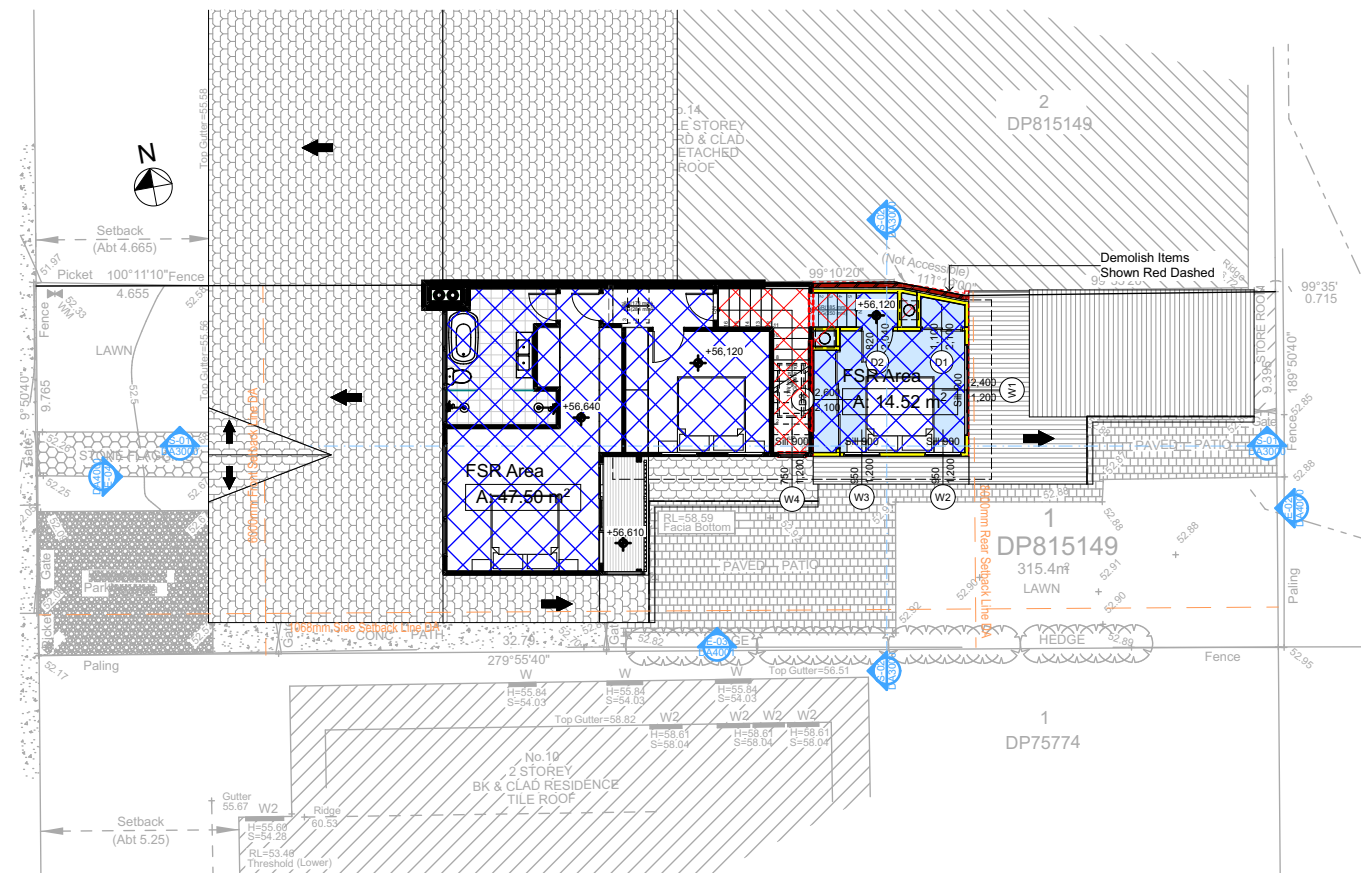
DRAWING NO.  
**DA1012**

Plot Date: 30/11/2022  
Sheet Size: A3  
R:\Current Jobs\HOLMES Sophie &  
ArchCAD Dugli\Holmes-23-CA Pa

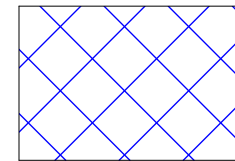




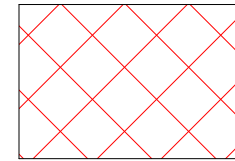
2  
-  
GROUND FLOOR FSR  
1:200



3  
-  
FIRST FLOOR FSR  
1:200



Denotes Area Included  
In FSR Calculation



Denotes Area Excluded  
In FSR Calculation

Max. Floor Space Ratio:	0.60:1	189.24m <sup>2</sup>
Existing =	0.61:1	191.22m <sup>2</sup>
Proposed =	0.65:1	205.57m <sup>2</sup>

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ONLY  
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**Rapid Plans**  
Building Design and Architectural Drafting

World Plans  
PO Box 6239 Fairlight Forest NSW 2086  
Ph: (02) 9350-8845 Mob: 0414-945-024  
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**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be completed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1019.2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.  
**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans  
**Basic**  
Basic Certificate Number A481505  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE: **SITE AND LOCATION  
Floor Space Ratio**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

DRAWING NO. **DA1013**

Plot Date: 30/11/2022  
Sheet Size: A3



Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

Fixtures and systems	
Lighting	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
Fixtures	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

Denotes New Works

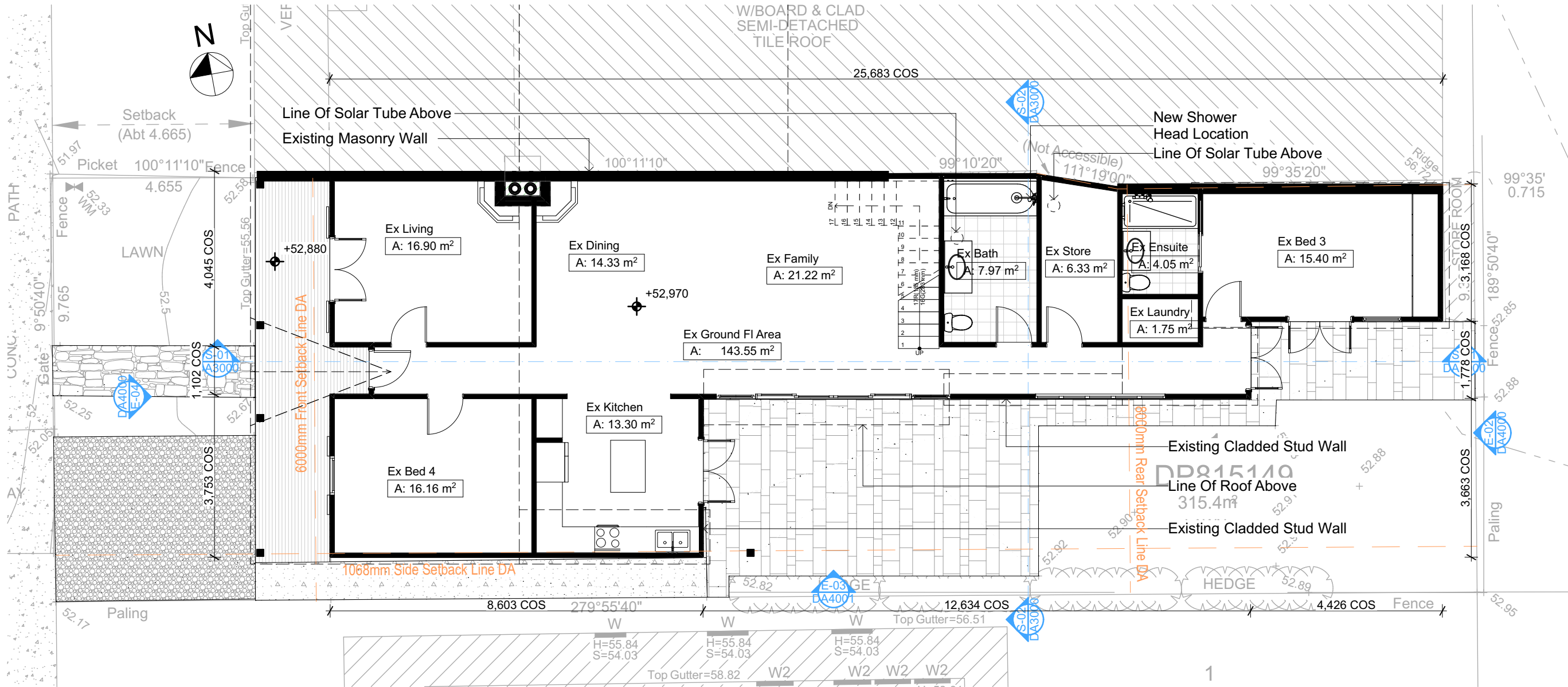
**Wall Legend**

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



GROUND FLOOR  
1:100

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**NOTES**

12 Crescent Street, Fairlight is zoned R1, General Residential

Fairlight is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

**Construction**

Framed Floors, Framed & Masonry Walls

Roof Framed to have R1.08 Insulation

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1029.2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**

Basic Certificate Number A481505

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m2)	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE: PLANS  
**GROUND FLOOR**

PROJECT NAME: **Alterations & Additions**

REVISION NO.	DATE
-	22/11/22





DRAWING NO. **DA2001**

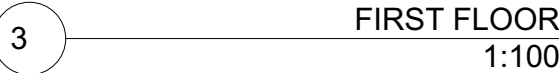
Plot Date: 30/11/2022  
Sheet Size: A3



<b>Fixtures and systems</b>	
<b>Lighting</b>	
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	
<b>Fixtures</b>	
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	

**Wall Legend**

	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes Existing Wall
	Denotes Demolished Item



**DA APPLICATION**  
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<p>Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.</p> <p>The builder shall check and verify all dimensions and verify all errors and annotations to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p> <p><b>NOTES</b></p> <p>12 Crescent Street, Fairlight is zoned R1, General Residential</p> <p>12 Crescent Street, Fairlight is not considered a heritage item</p> <p>All Plans to be read in conjunction with Basic Certificate</p> <p>New Works to be constructed shown in Shaded/Blue</p> <p><b>Construction</b></p> <p>Framed Floors, Framed &amp; Masonry Walls</p> <p>Roof Framed to have R1.08 insulation</p> <p>Insulation to External Framed &amp; Masonry Walls R1.70</p> <p>Refer to Engineers Drawings for structural details</p> <p>All work to Engineers Specification and BCA</p> <p>Timber framing to BCA and AS 1684</p> <p>Termite Management to BCA and AS 3660.1</p> <p>Glazing to BCA and ASO1298-2007</p> <p>Waterproofing to BCA and AS 4850</p> <p>New Lighting to have minimum of 40% compact fluorescent lamps</p> <p>All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.</p> <p><b>Certification</b></p> <p>The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application. Any plans requiring Certification Authority Number the written permission of Rapid Plans or the sign of a authorised Construction Certificate drawings by Rapid Plans</p> <p><b>Basic</b></p> <p>Certificate Number A481555</p> <p>All Plans to be read in conjunction with Basic Certificate</p> <p>The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/partitions) in accordance with the specifications listed in the table below, except that (a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, (b) insulation specified is not required for parts of additional construction</p> <p>The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overhead/side specifications must be satisfied for each window and glazed door.</p> <p>For projections described in millimetres, the leading edge of each slide, pergola, verandah, balcony or awning must be no more than 300 mm below the head of the window or glazed door and no more than 2400 mm above the sill.</p> <p>Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.</p>		
<b>Site Information</b>	<b>Prop.</b>	<b>Comp.</b>
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Rear Setback (Min.)	6m	Yes
Front Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes
<b>Builder to Check and Confirm all Measurements Prior to Commencement of any works.</b>		
<b>Immediately Report any Discrepancies to Rapid Plans</b>		
<div><div>Project North</div><div></div></div>		
<div><div>Drawn   Checked GBJ Plot Date: 30/11/2022 Project No. RP10222HOL Project Status DA</div><div>Client Scott and Sophie Holmes</div><div>Site: 12 Crescent Street, Fairlight</div></div>		
<div><div>DRAWING TITLE : PLANS <b>FIRST FLOOR</b></div><div>PROJECT NAME : <b>Alterations &amp; Additions</b></div><div>REVISION NO. DATE <b>22/11/22</b></div><div>DRAWING NO. <b>DA2002</b></div><div>Plot Date: 30/11/2022 Sheet Size: A3</div></div>		
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## Construction

### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

## Glazing requirements

## Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

### Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Denotes New Works

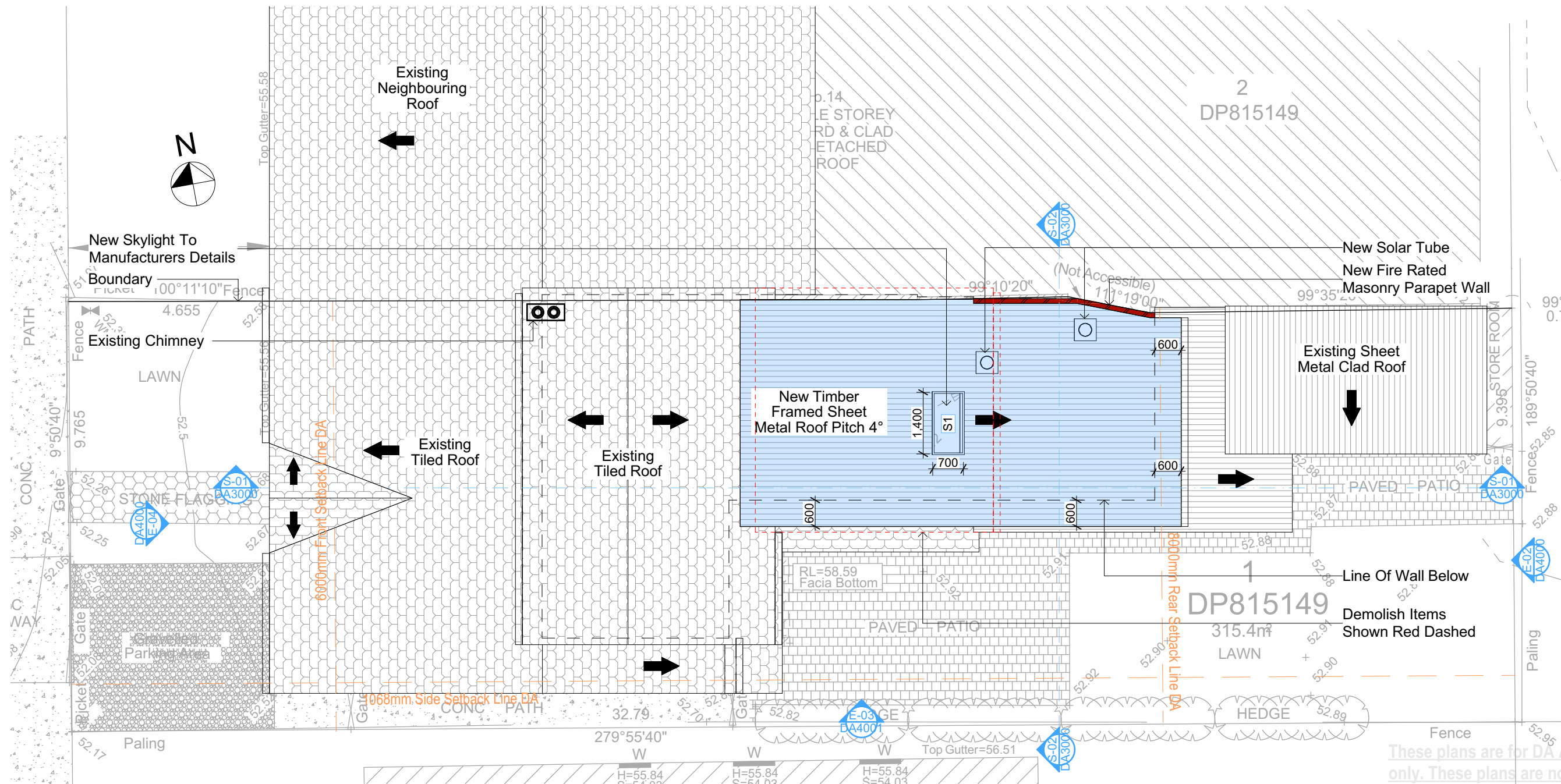
### Wall Legend

Denotes New Timber Framed Wall

Denotes New Masonry Wall

Denotes Existing Wall

Denotes Demolished Item



4

Roof Plan  
1:100

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



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**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
Refer to Engineers drawings for floor joists and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lum.  
All workmanship and materials shall be in accordance with the  
requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. The plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix Certificate Number A481505  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door

Site Information	Prop.	Comments
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into grd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all  
Measurements Prior to  
Commencement of any works.  
Immediately Report any Discrepancies  
to Rapid Plans**



Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO. RP1022HOL  
Project Status DA

Client	Scott and Sophie Holmes
Site:	12 Crescent Street, Fairlight

DRAWING TITLE :

## PLANS ROOF

PROJECT NAME :

## Alterations & Additions

REVISION NO.

DATE:

- 22/11/22  
DRAWING NO.  
**DA2003**

Plot Date:  
Sheet Size: A3

30/11/2022  
R:\Current Jobs\HOLMES Sophie  
ArchCAD Dwg\Holmes-22-CA F



New Timber Framed  
Sheet Metal Roof Pitch 4°  
+60,120  
5 ROOF

Existing Tiled Roof

New Cladded 90mm  
Timber Framed Wall

Existing Tiled Roof  
+56,640  
3 FIRST FLOOR

Existing Cladded  
Stud Wall

Existing Paving  
+52,970  
2 GROUND FLOOR

New Skylight To  
Manufacturers Details  
+60,120  
5 ROOF

New Gyprock Clad  
90mm Timber Stud Walls

New Masonry Wall

Demolish Items Shown Red Dashed  
+56,640  
3 FIRST FLOOR

Existing Masonry Wall

New Timber Floor Frame  
To NCC & Aust. Stds.

+52,970  
2 GROUND FLOOR

Natural Ground Level

S-02

SECTION 2  
1:100

Existing Tiled Roof  
+60,120  
5 ROOF

Existing Tiled Roof  
+56,640  
3 FIRST FLOOR

Existing Cladded Stud Wall

Existing Paving  
+52,970  
2 GROUND FLOOR

New Gyprock Clad 90mm  
Timber Stud Walls  
+60,120  
5 ROOF

New Timber Framed  
Sheet Metal Roof Pitch 4°

New Cladded 90mm  
Timber Framed Wall

New Timber Floor Frame  
To NCC & Aust. Stds.  
+56,640  
3 FIRST FLOOR

Existing Sheet  
Metal Clad Roof

Demolish Items  
Shown Red Dashed

+52,970  
2 GROUND FLOOR

Natural Ground Level

S-01

SECTION 1  
1:100

**DA APPLICATION  
ONLY**  
**NOT FOR CONSTRUCTION**

#### NOTES

12 Crescent Street, Fairlight is zoned R1, General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
12 Crescent Street, Fairlight is not considered a heritage item

#### Certifying

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#### Construction

Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

#### Basix

Basix Certificate Number A481505

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>,  
b) insulation specified is not required for parts of altered construction where insulation already exists.

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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Denotes New Works

#### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

#### Construction

#### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
flat ceiling, flat roof: framed	ceiling: R1.08 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)

#### Glazing requirements

#### Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

#### Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes	% of landscape open space (35% min)	36%	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes	Total open space area (m <sup>2</sup> )	35%	Ex.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1.068m	Yes			

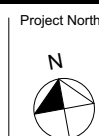


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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans



Checked  
Plot Date: 30/11/2022  
Project NO: RP1022HOL  
Project Status: DA  
Client: Scott and Sophie Holmes  
Site: 12 Crescent Street, Fairlight  
Sheet Size: A3

DRAWING TITLE :

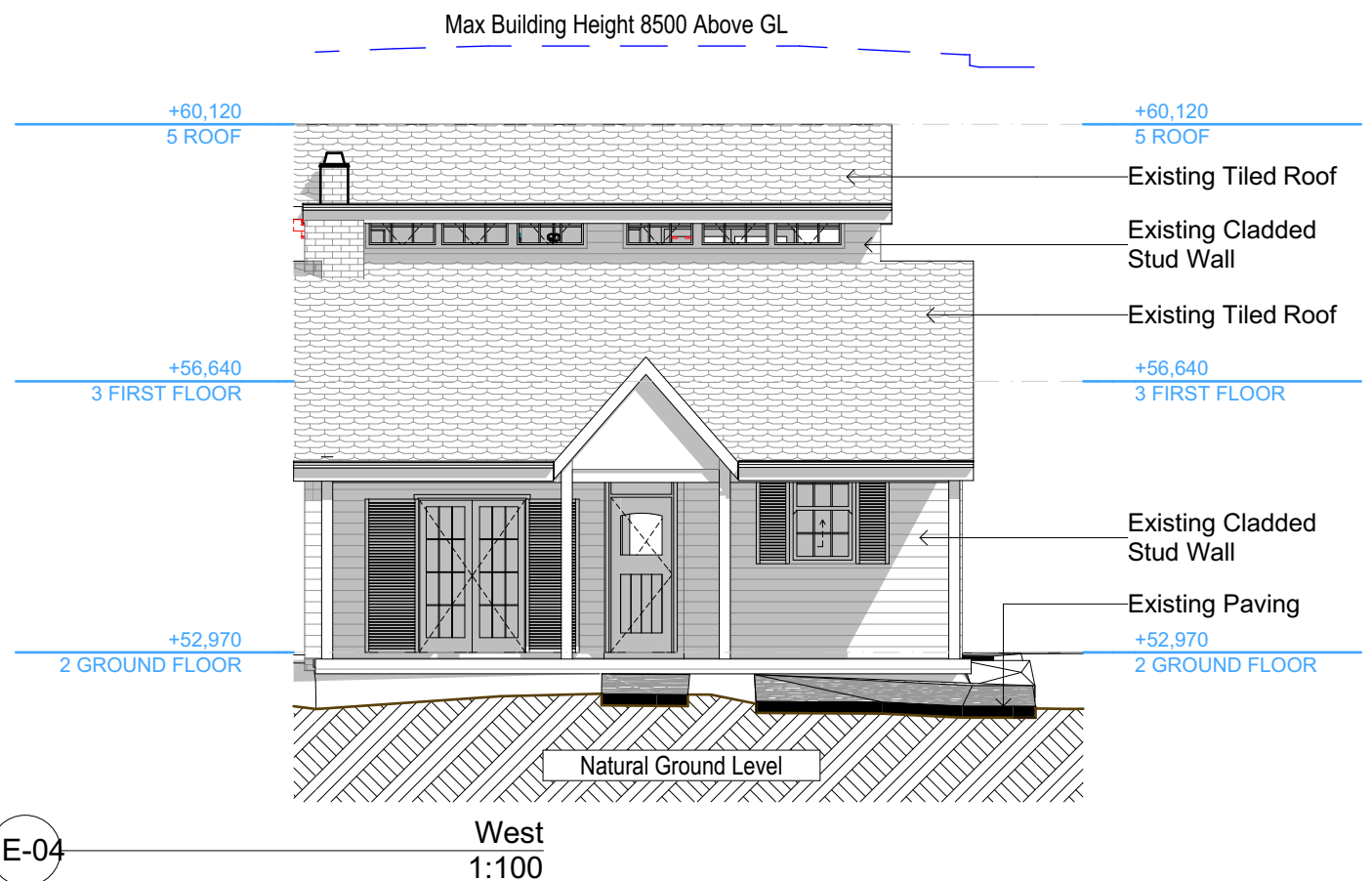
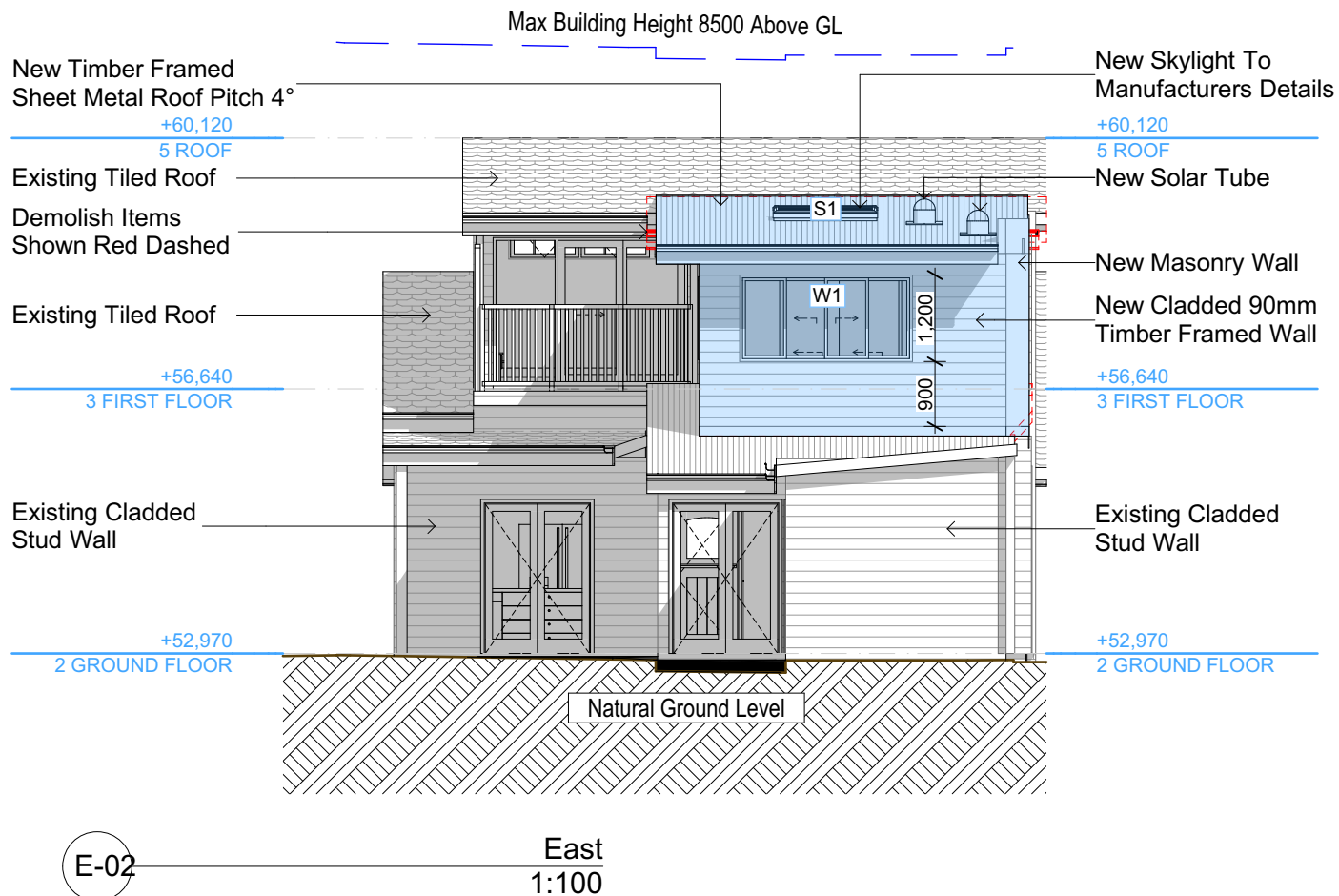
SECTIONS  
SECTION 1

PROJECT NAME :

**Alterations & Additions**

REVISION NO.  
DATE: 22/11/22  
DRAWING NO.  
**DA3000**





Denotes New Works

### Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes Existing Wall
- Denotes Demolished Item

### Glazing requirements

### Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

### Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m <sup>2</sup> )	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.14	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	S	1.14	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

### Glazing requirements

### Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

### Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m <sup>2</sup> )	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

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**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

Rapid Plans  
Building Design and Architectural Drafting

12 Crescent Street, Fairlight  
VIC 3086  
Tel: (03) 9360-8845, Mobile: 0414-545-024  
Email: info@rapidplans.com.au

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**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be read in conjunction with Basic Certificate  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1078-2007  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**  
Basic Certificate Number A481505  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North

North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE: ELEVATIONS  
**ELEVATIONS 1**

PROJECT NAME: Alterations & Additions

REVISION NO. DATE  
- 22/11/22


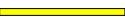



DRAWING NO. DA4000

Plot Date: 30/11/2022  
Sheet Size: A3

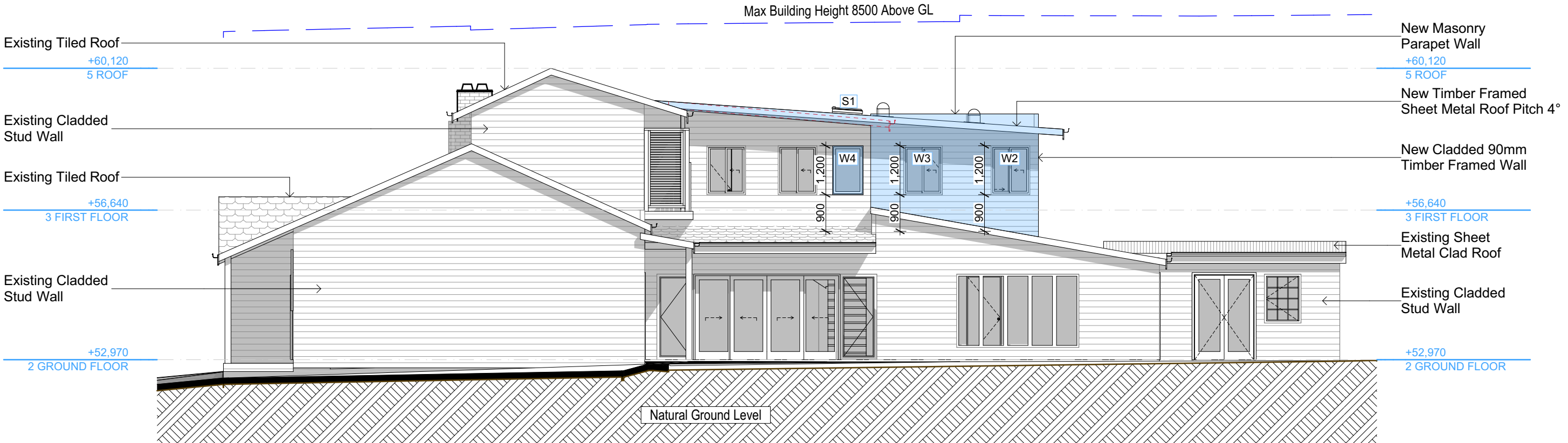


Glazing requirements					
<b>Windows and glazed doors</b>					
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.					
The following requirements must also be satisfied in relation to each window and glazed door:					
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.					
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.					
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.					
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.					
<b>Windows and glazed doors glazing requirements</b>					
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device
			Height (m)	Distance (m)	
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=750 mm
W2	S	1.14	0	0	eave/verandah/pergola/balcony >=600 mm
W3	S	1.14	0	0	eave/verandah/pergola/balcony >=600 mm
W4	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm
		Frame and glass type			
		improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)			

Glazing requirements			
<b>Skylights</b>			
The applicant must install the skylights in accordance with the specifications listed in the table below.			
The following requirements must also be satisfied in relation to each skylight:			
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			
<b>Skylights glazing requirements</b>			
Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

	Denotes New Works
	Denotes New Timber Framed Wall
	Denotes New Masonry Wall
	Denotes Existing Wall
	Denotes Demolished Item

Wall Legend



E-03  
South  
1:100

DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION

**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
12 Crescent Street, Fairlight is not considered a heritage item  
**Certifying**  
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**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps

**Basix**  
Basix Certificate Number A481505  
All Plans to be read in conjunction with Basix Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:  
a) additional insulation is not required where the area of new construction is less than 2m2  
b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.	Site Information	Prop.	Comp.
Site Area	315.4m2	Yes	% of landscape open space (35% min)	36%	Yes
Housing Density (dwelling/m2)	1	Yes	Total open space area (m2)	35%	Ex.
Max Bldg Ht Above Nat. GL	8.5m	Yes	Maximum cut into gnd (m)	N/A	Yes
Front Setback (Min.)	6m	Yes	Maximum depth of fill (m)	N/A	Yes
Rear Setback (Min.)	8m	Yes	No. of car spaces provided	2	Yes
Min. side bdy setback (Min.)	1.068m	Yes			



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Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans

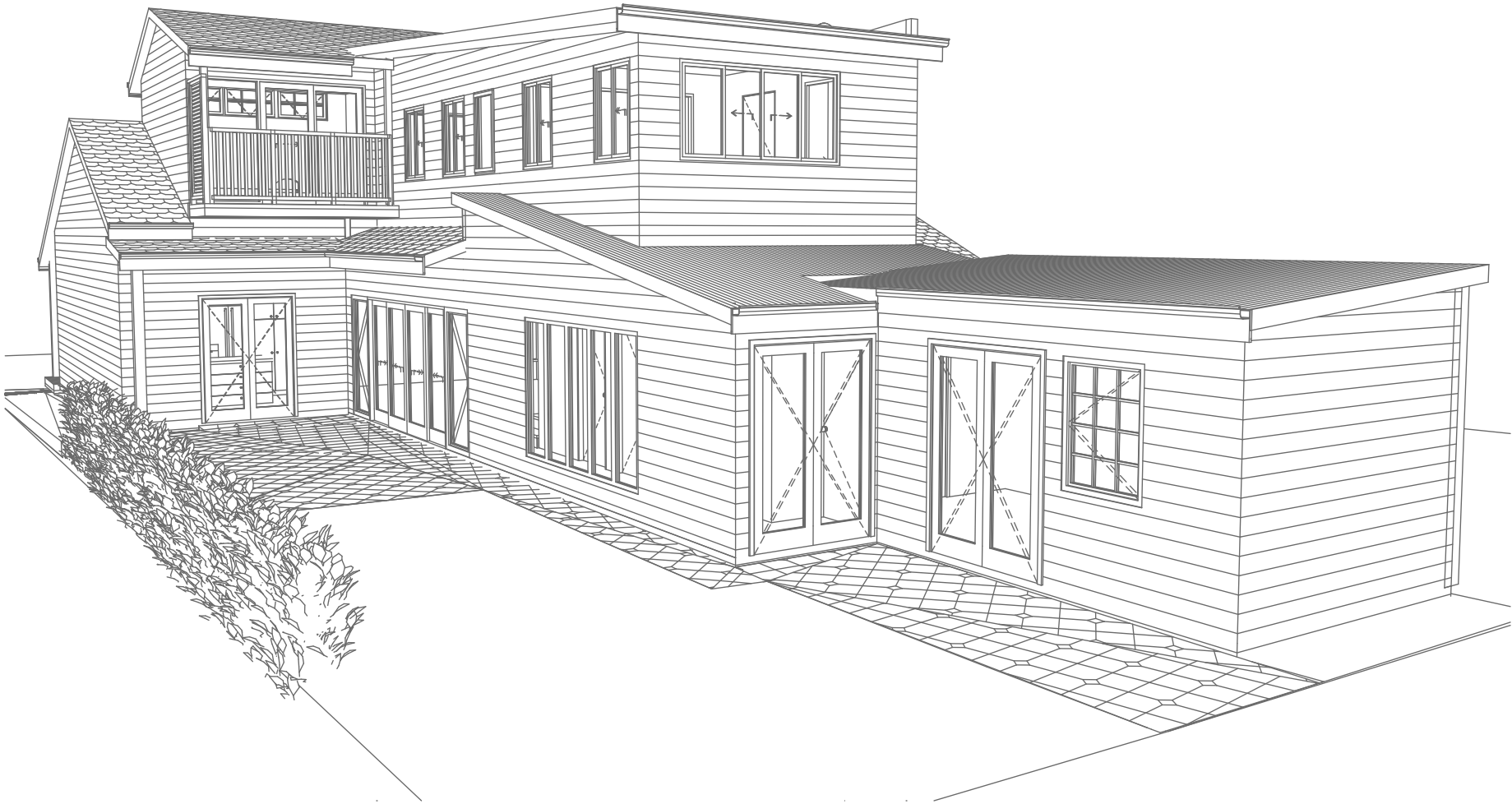


Project North  
Checked  
Plot Date: 30/11/2022  
Project NO: RP1022HOL  
Project Status: DA  
Client: Scott and Sophie Holmes  
Site: 12 Crescent Street, Fairlight  
Sheet Size: A3

DRAWING TITLE :  
ELEVATIONS  
ELEVATIONS 2  
PROJECT NAME :  
Alterations & Additions

REVISION NO.  
-  
DATE: 22/11/22  
DRAWING NO.  
DA4001






1  
-

Perspective 1  
1:200

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Rapid Plans  
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Website: [www.rapidplans.com.au](http://www.rapidplans.com.au)  
PO Box 6239 Fitzroy Street, DO NSW 2086  
Ph: (02) 9550-8845 Mobile: 0414-946-024  
Email: [info@rapidplans.com.au](mailto:info@rapidplans.com.au)

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**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1554  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS1743-2017  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.


**Conditioning**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**  
Basic Certificate Number A481505  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m<sup>2</sup>, b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
Site Area	315.4m <sup>2</sup>	Yes
Housing Density (dwelling/m <sup>2</sup> )	1	Yes
Max Bldg Ht Above Nat. GL	8.5m	Yes
Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans**

Project North



Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO. RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE :  
SHADOW PLANS  
**PERSPECTIVE**

PROJECT NAME :  
**Alterations & Additions**

REVISION NO.	DATE
-	22/11/22

DRAWING NO.  
**DA5000**

Plot Date: 30/11/2022  
Sheet Size: A3

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Denotes Sheet Metal Roof (Typical).  
Owner To Confirm Type & Colour



Denotes Skylight (Typical).  
Owner To Confirm Type & Colour



Denotes Solar Tube (Typical).  
Owner To Confirm Type & Colour



Denotes Cladding (Typical).  
Owner To Confirm Type & Colour

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	2.88	0	0	eave/verandah/pergola/balcony >=750 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.14	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	S	1.14	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Glazing requirements

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below.

The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylights glazing requirements

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S1	0.98	no shading	aluminium, moulded plastic single clear, (or U-value: 6.21, SHGC: 0.808)

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NOTES

12 Crescent Street, Fairlight is zoned R1, General Residential

12 Crescent Street, Fairlight is not considered a heritage item

All Plans to be read in conjunction with Basic Certificate

New Works to be constructed shown in Shaded/Blue

Construction

Framed Floors, Framed & Masonry Walls

Roof Framed to have R1.08 Insulation

Insulation to External Framed & Masonry Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS10798-2017

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic

Basic Certificate Number A481505

All Plans to be read in conjunction with Basic Certificate

The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information

Prop.

Comp.

Site Area

315.4m2

Yes

Housing Density (dwelling/m2)

1

Yes

Max Bldg Ht Above Nat. GL

8.5m

Yes

Front Setback (Min.)

6m

Yes

Rear Setback (Min.)

8m

Yes

Min. side bdy setback (Min.)

1.068m

Yes

% of landscape open space (35% min)

36%

Yes

Total open space area (m2)

35%

Ex.

Maximum cut into gnd (m)

N/A

Yes

Maximum depth of fill (m)

N/A

Yes

No. of car spaces provided

2

Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ

Plot Date: 30/11/2022

Project NO. RP1022HYOL

Project Status DA

Client

Scott and Sophie Holmes

Site:

12 Crescent Street, Fairlight

DRAWING TITLE

SHADOW PLANS

MATERIAL & COLOUR

SAMPLE BOARD

PROJECT NAME:

Alterations & Additions

REVISION NO.

DATE

-

22/11/22

DRAWING NO.


DA5001


Plot Date:

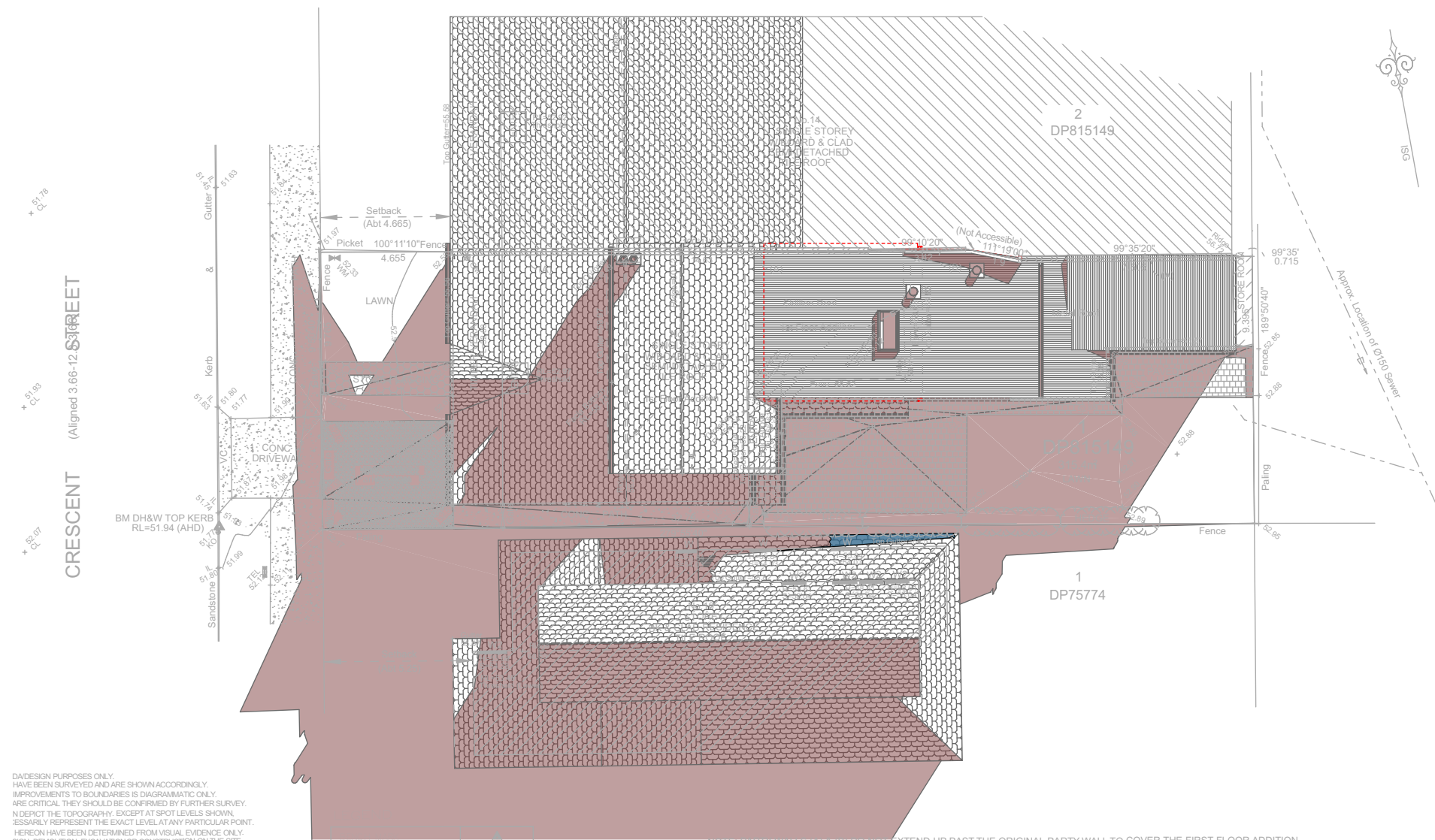
30/11/2022

Sheet Size: A3



 Denotes Proposed Shadow


 Denotes Existing Shadow




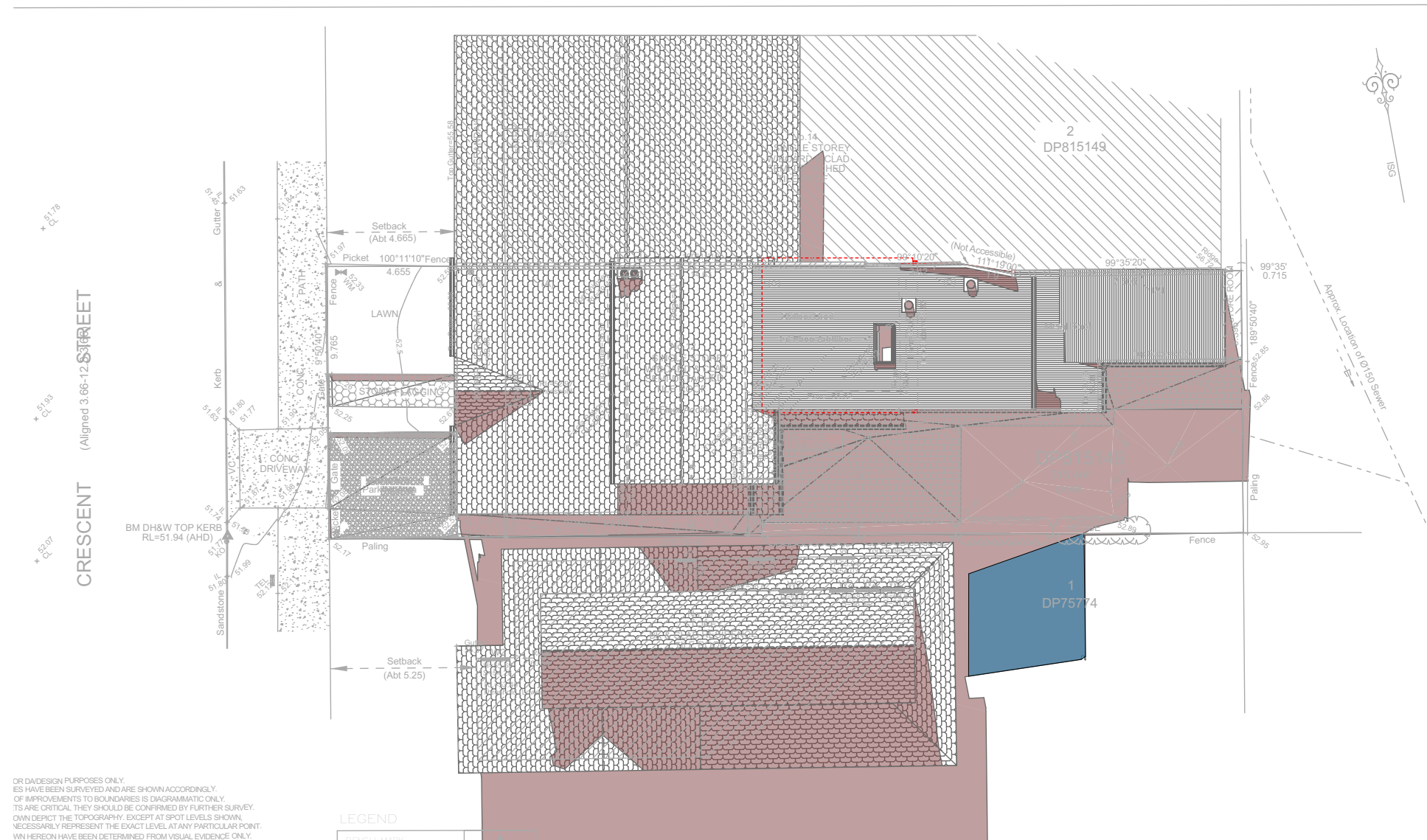
01 SHADOW PLAN 21 JUN at 0900h  
1:200

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



 Denotes Proposed Shadow

 Denotes Existing Shadow



02 SHADOW PLAN 21 JUN at 1200h  
1:200

**DA APPLICATION**  
**ONLY**  
**NOT FOR CONSTRUCTION**



Denotes Proposed Shadow

Denotes Existing Shadow



03

SHADOW PLAN 21 JUN at 1500h  
1:200

**DA APPLICATION  
ONLY  
NOT FOR CONSTRUCTION**

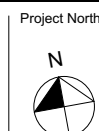


Rapid Plans  
www.rapidplans.com.au  
PO Box 6193 Frenchs Forest  
NSW 2086  
Fax: (02) 9905-8865  
Mobile: 0414-945-024  
Email: greg@rapidplans.com.au  
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**Builder to Check and Confirm  
all Measurements Prior to  
Commencement of any works.  
Immediately Report any  
Discrepancies to Rapid Plans**

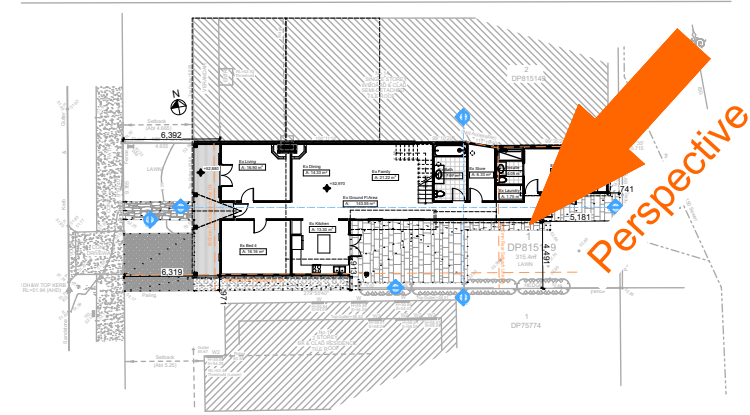


Checked  
Plot Date: 30/11/2022  
Project NO: RP1022HOL  
Project Status: DA  
Client  
Site: Scott and Sophie Holmes  
12 Crescent Street, Fairlight  
Sheet Size: A3

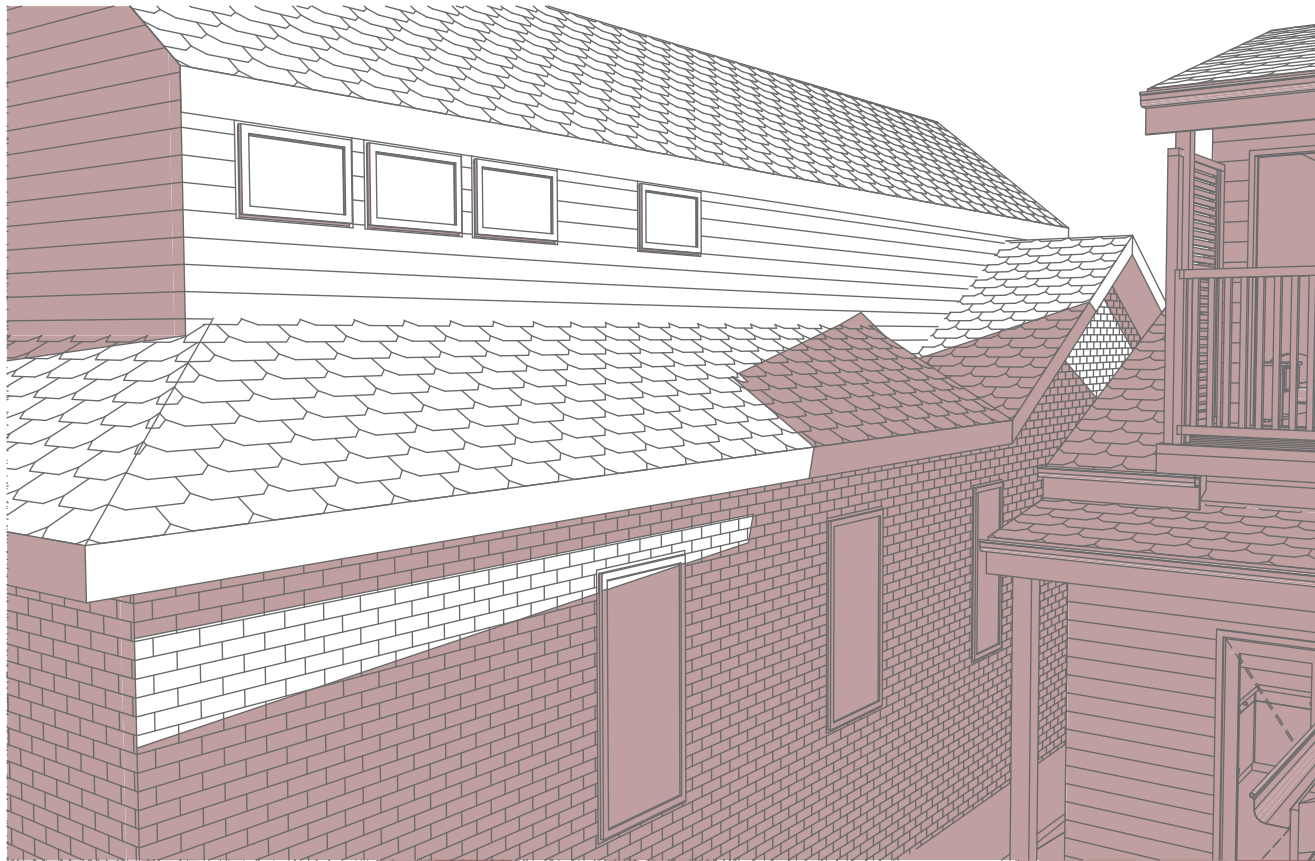
DRAWING TITLE : SHADOW PLANS  
**SHADOW PLAN 21st June  
3pm**  
PROJECT NAME :  
**Alterations & Additions**

REVISION NO.  
-  
DATE:  
**22/11/22**  
DRAWING NO.  
**DA5004**

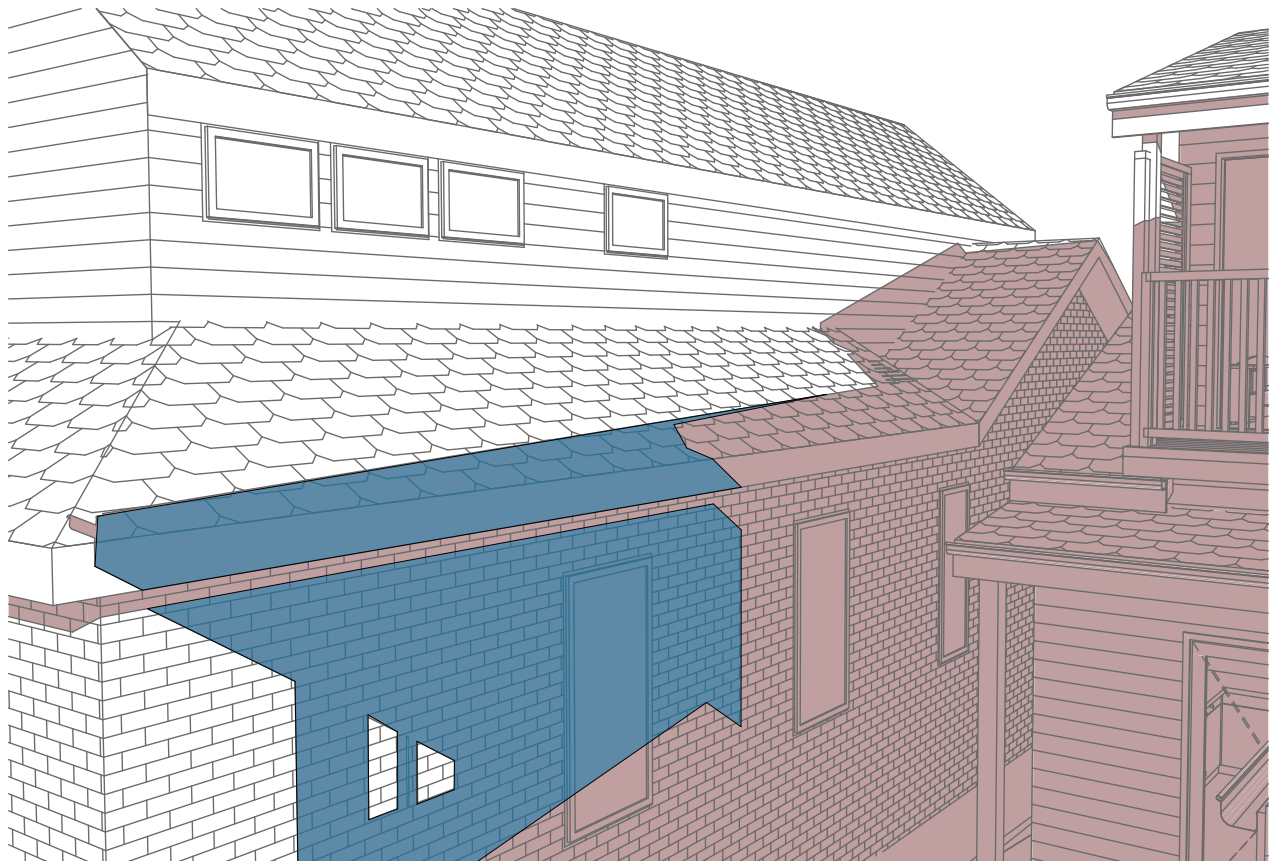




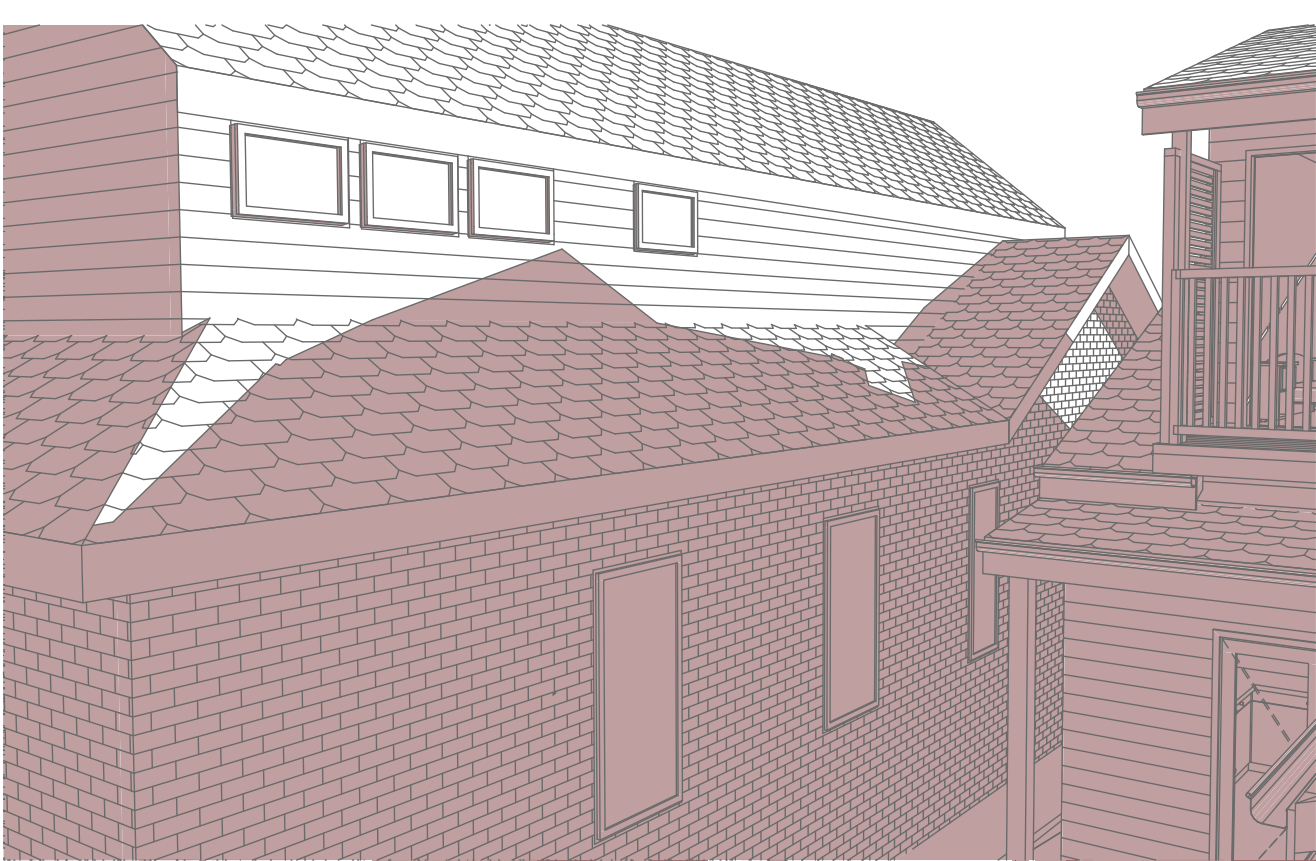
2 SITE PLAN  
1:500



2 SHADOW ELEVATION 21 JUN at 1200h  
1:250



1 SHADOW ELEVATION 21 JUN at 0900h  
1:250



3 SHADOW ELEVATION 21 JUN at 1500h  
1:250

Denotes Proposed Shadow

Denotes Existing Shadow

Rapid Plans  
Building Design and Architectural Drafting

12 Crescent Street, Fairlight  
VIC 3183  
Phone: (03) 9505-8844  
Fax: (03) 9505-8844  
Email: info@rapidplans.com.au

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BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

ACCREDITED  
BUILDING DESIGNER

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**NOTES**  
12 Crescent Street, Fairlight is zoned R1, General Residential  
12 Crescent Street, Fairlight is not considered a heritage item  
All Plans to be read in conjunction with Basic Certificate  
New Works to be constructed shown in Shaded/Blue  
**Construction**  
Framed Floors, Framed & Masonry Walls  
Roof Framed to have R1.08 Insulation  
Insulation to External Framed & Masonry Walls R1.70  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
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Glazing to BCA and AS1029-2017  
Waterproofing to BCA and AS 3740  
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Basic Certificate Number A481505  
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Site Information	Prop.	Comp.
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Front Setback (Min.)	6m	Yes
Rear Setback (Min.)	8m	Yes
Min. side bdy setback (Min.)	1.068m	Yes
% of landscape open space (35% min)	36%	Yes
Total open space area (m <sup>2</sup> )	35%	Ex.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

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Project North

Drawn | Checked GBJ  
Plot Date: 30/11/2022  
Project NO.: RP1022HOL  
Project Status DA

Client Scott and Sophie Holmes

Site: 12 Crescent Street, Fairlight

DRAWING TITLE SHADOW PLANS  
WALL ELEVATION SHADOWS

PROJECT NAME: Alterations & Additions

REVISION NO. DATE  
- 22/11/22

DRAWING NO. DA5005

Plot Date: 30/11/2022  
Sheet Size: A3

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