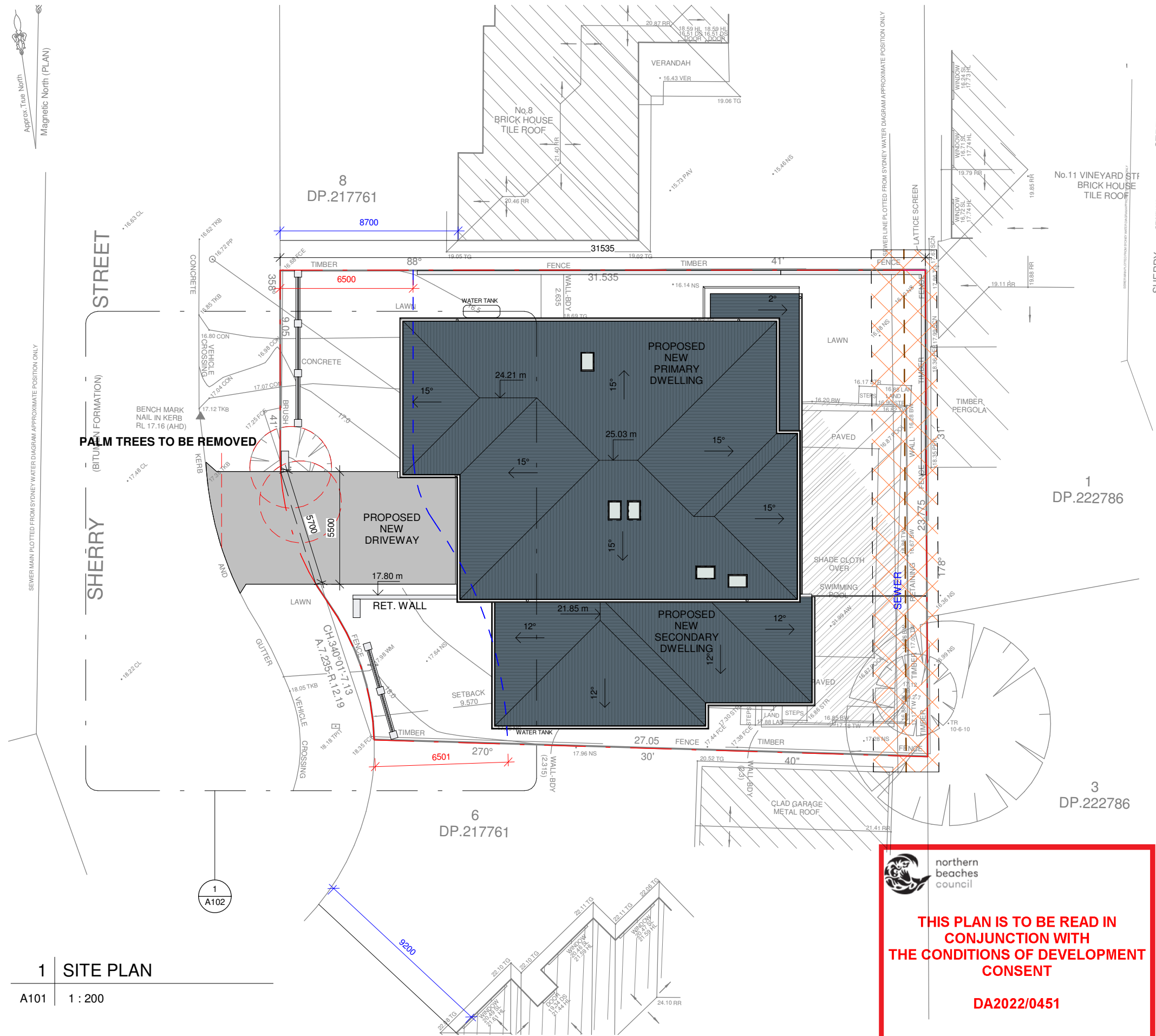




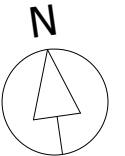
1 SITE PLAN

A101 1 : 200

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ISSUE	DATE	DESCRIPTION	DRWN	CHKD
1	20.12.2021	DA ISSUE	KM	-
2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	-

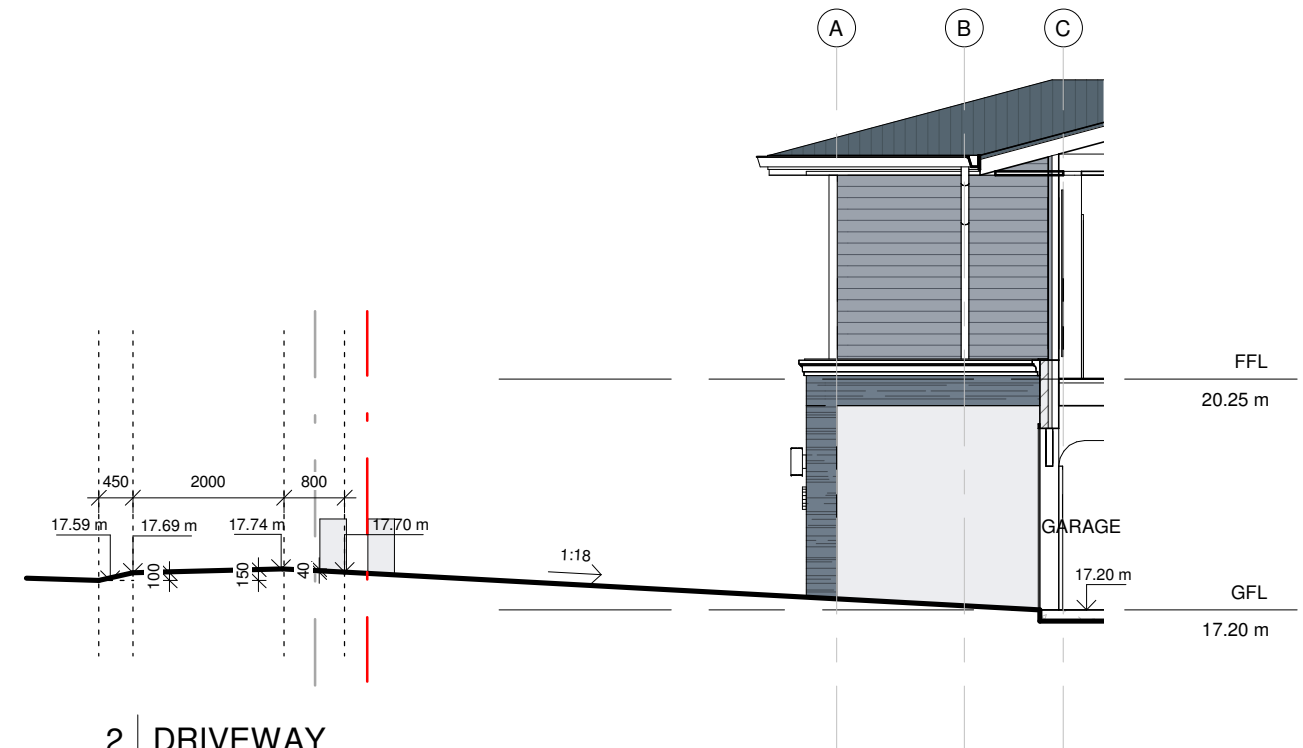
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2 SITE CALCULATIONS - PROPOSED

A101 1 : 400

CALCULATION TABLE	
ZONE	R2 - LOW DENSITY RESIDENTIAL
TITLE	LOT 7 DP 217761
HAZARDS	FLOOD RISK - LOW RISK
SITE AREA	704m ²
MAX. BUILDING HEIGHT	Hmax = 8.5 m
PROPOSED	
HOUSE - GFA	136m ² +175m ² = 311m ²
GARAGE + STORAGE - GFA	41m ²
SECONDARY DWELLING - GFA	60m ²
SITE COVERAGE	269+29 = 298m ² / 42.0%
HARD SURFACE	50+6.5 = 56.5m ² / 8.0%
SOFT LANDSCAPED AREA	348.5m ² / 50%

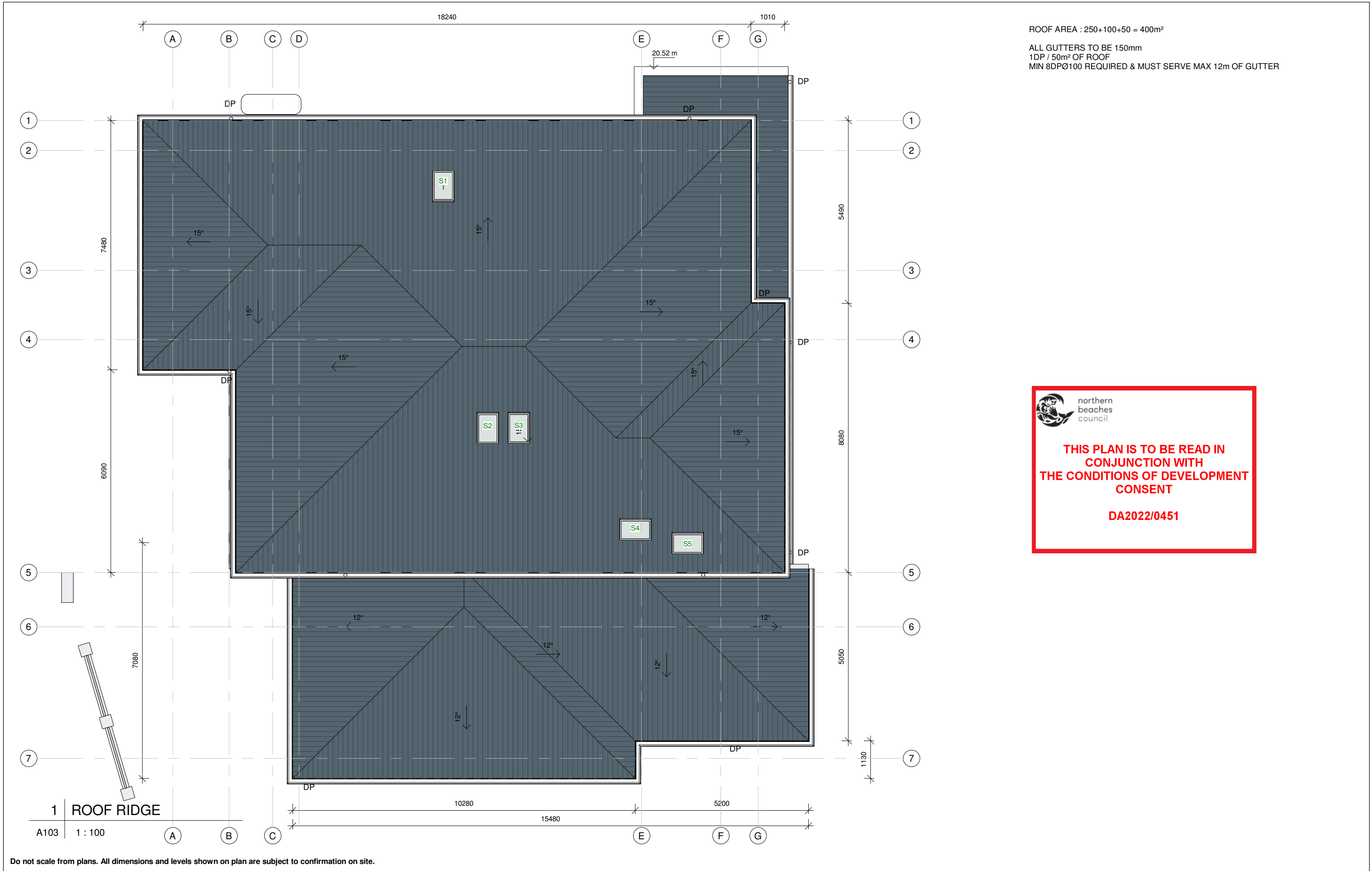


A102	1 : 100
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The diagram illustrates the layout of a road verge and its connection to private property. Key components and boundaries are labeled as follows:

- ROAD RESERVE**: The total width of the road area.
- ROAD CARRIAGE WAY**: The main road surface.
- ROAD VERGE / NATURE STRIP**: The area between the road and the property.
- PRIVATE PROPERTY**: The area to the right of the road verge.
- WING**: Two areas, one on the road verge and one on the private property, separated by a **LAYBACK**.
- LAYBACK**: The sloped area between the road verge and the private property.
- EDGE OF ROAD PAVEMENT**: The boundary between the road and the verge.
- CENTRE LINE OF ROAD PAVEMENT**: The dashed line in the center of the road.
- INVERT OF GUTTER**: The lowest point of the gutter on the road.
- GUTTER**: The drainage channel on the road.
- KERB**: The raised edge of the road.
- ACCESS DRIVEWAY (DRIVEWAY CROSSING)**: The crossing point between the road and the private property.
- PROPERTY BOUNDARY**: The boundary between the road and the private property.
- INTERNAL DRIVEWAY**: The driveway leading into the private property.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
1	20.12.2021	DA ISSUE	KM	-
2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	



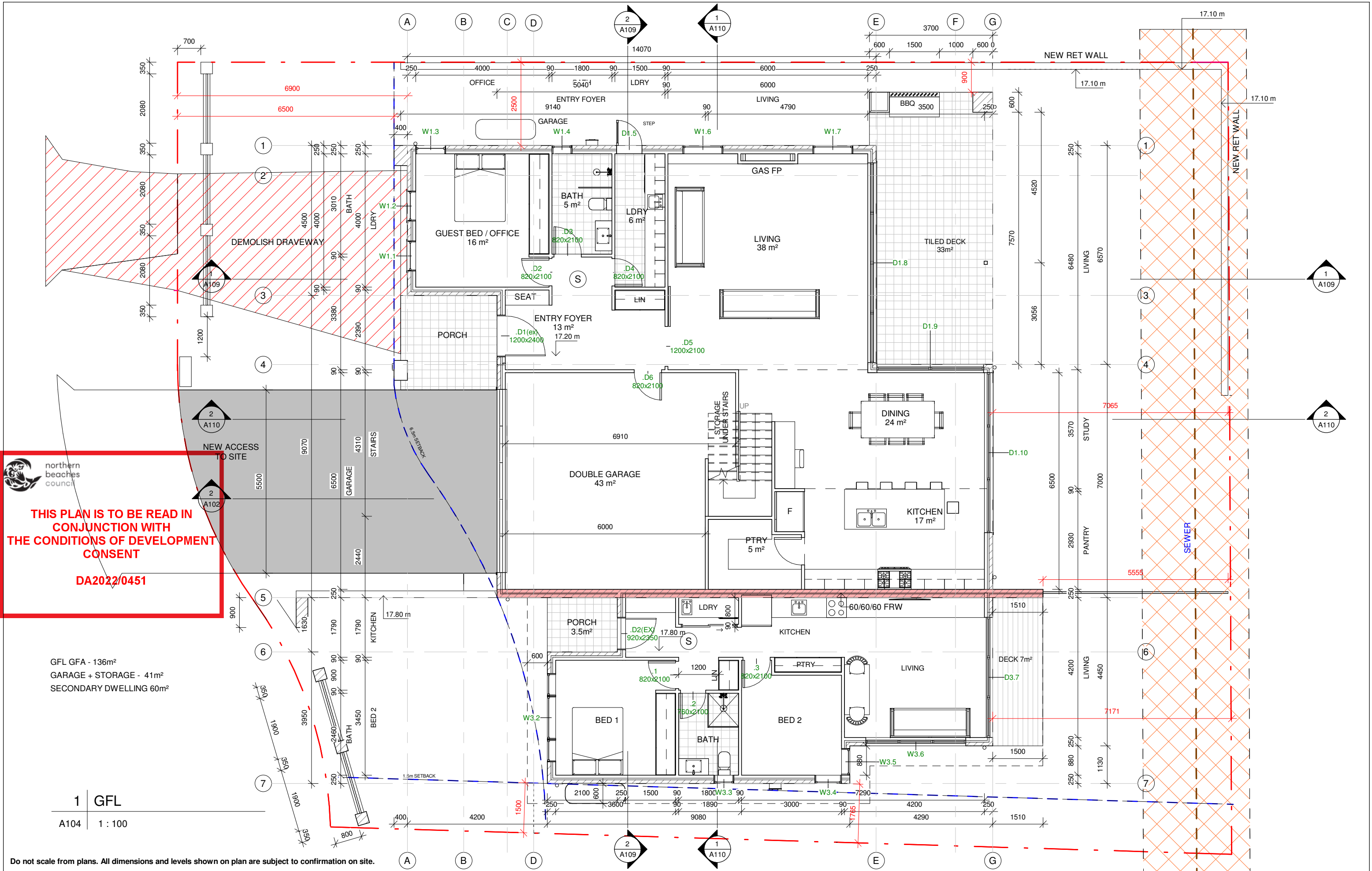
ROOF AREA : 250+100+50 = 400m²
ALL GUTTERS TO BE 150mm
1DP / 50m² OF ROOF
MIN 8DPØ100 REQUIRED & MUST SERVE MAX 12m OF GUTTER



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GFL GFA - 136m²
GARAGE + STORAGE - 41m²
SECONDARY DWELLING 60m²

1 | GFL
A104 | 1 : 100

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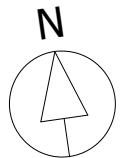
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E: info@bsbd.com.au

PROJECT TITLE: NEW BUILD
PROJECT NO.: 2021014
AT: 7 SHERRY STREET, MONA VALE
FOR: REBECCA & ALEX GILLESPIE

SHEET TITLE: GROUND FLOOR PLAN
SHEET NO: A104
SCALE A3: 1 : 100



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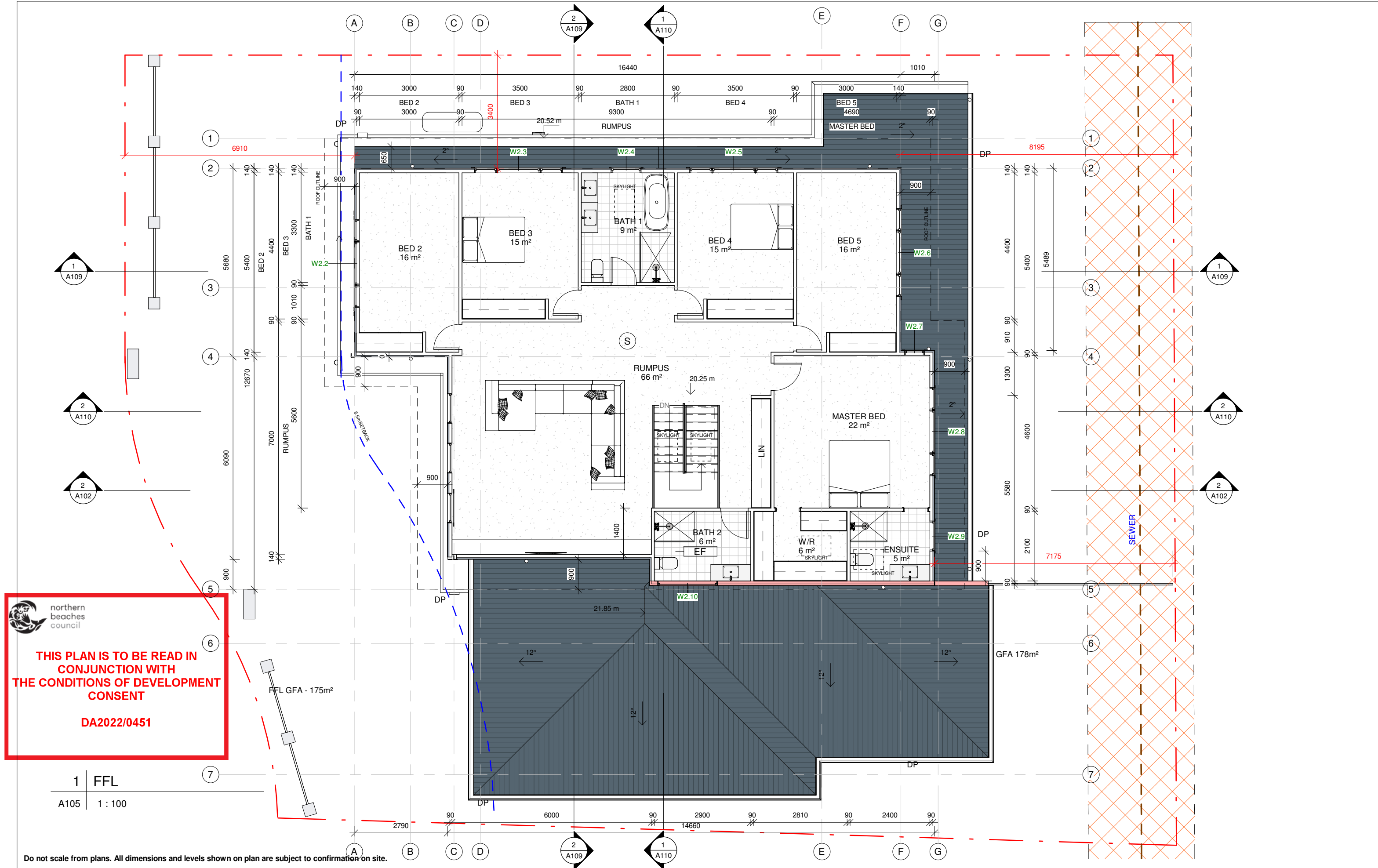
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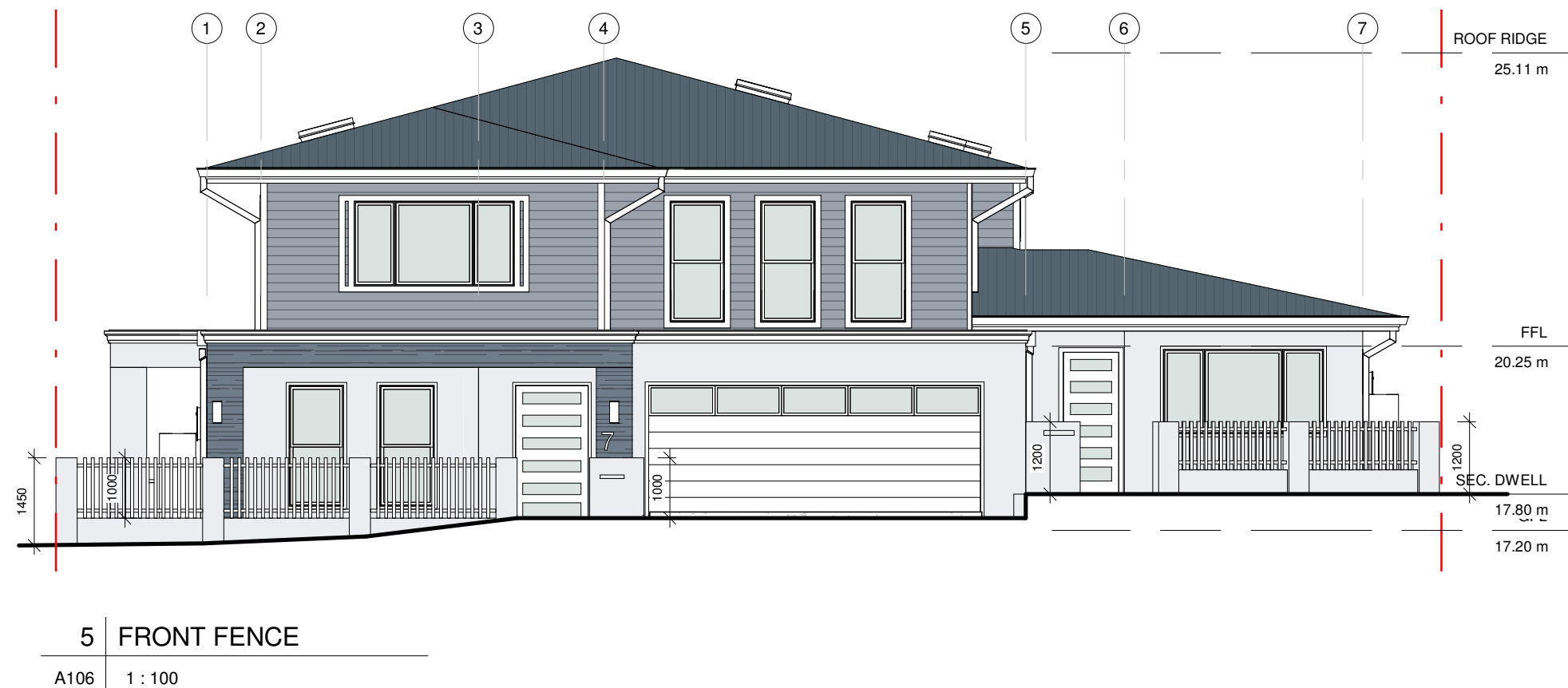
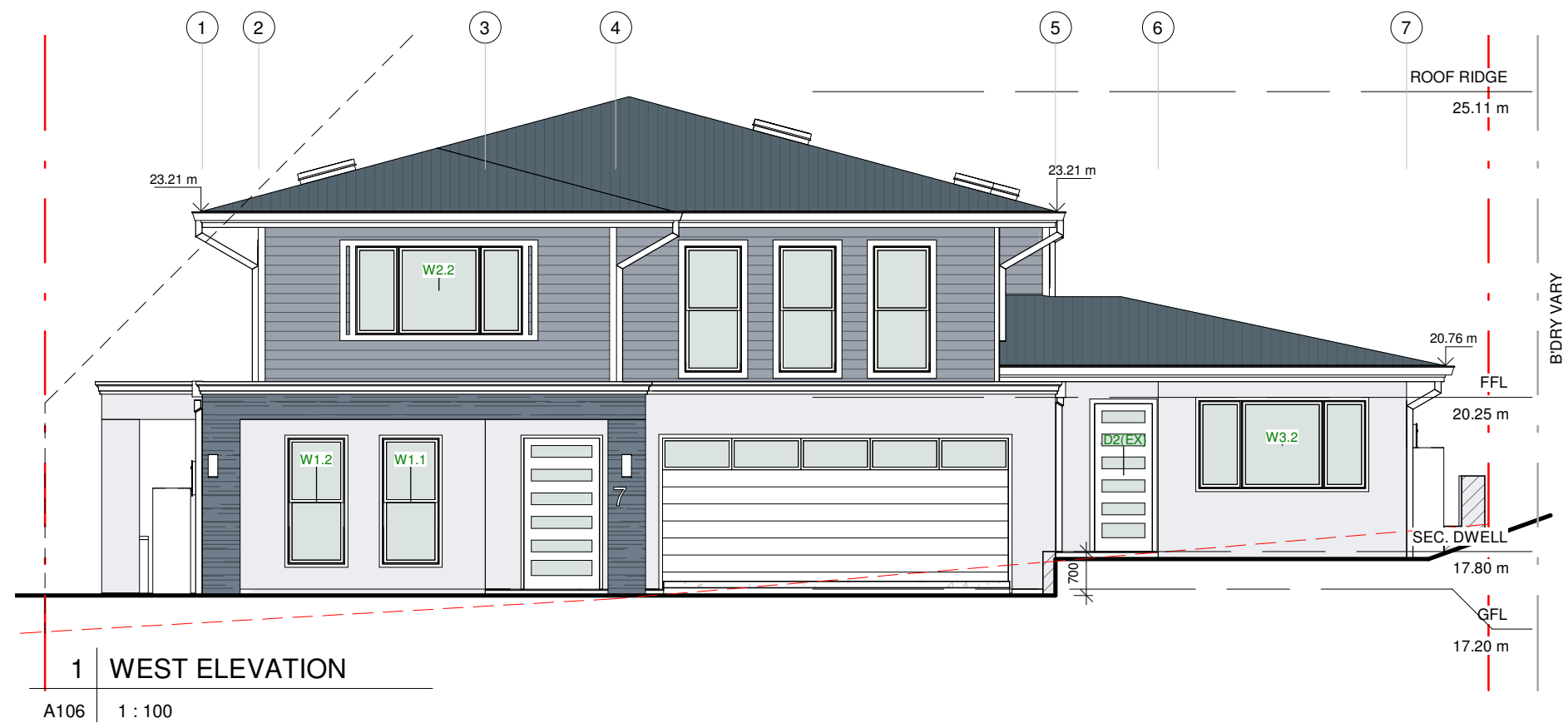
1 FFL
A105 1 : 100

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2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	-

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PROJECT TITLE: NEW BUILD
PROJECT NO.: 2021014
AT: 7 SHERRY STREET, MONA VALE
FOR: REBECCA & ALEX GILLESPIE

SHEET TITLE: ELEVATIONS
SHEET NO: A106
SCALE A3: 1 : 100

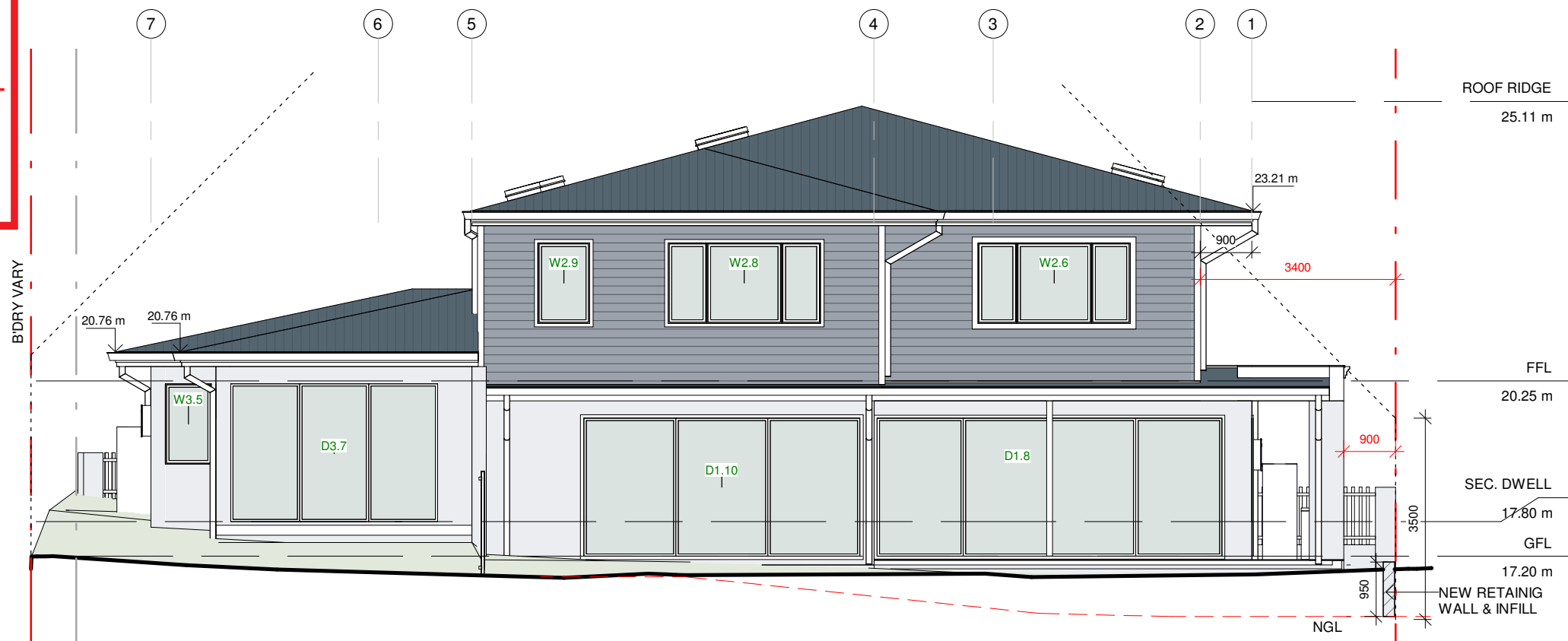
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1 EAST ELEVATION

A107 1 : 100



2 NORTH ELEVATION

A107 1 : 100

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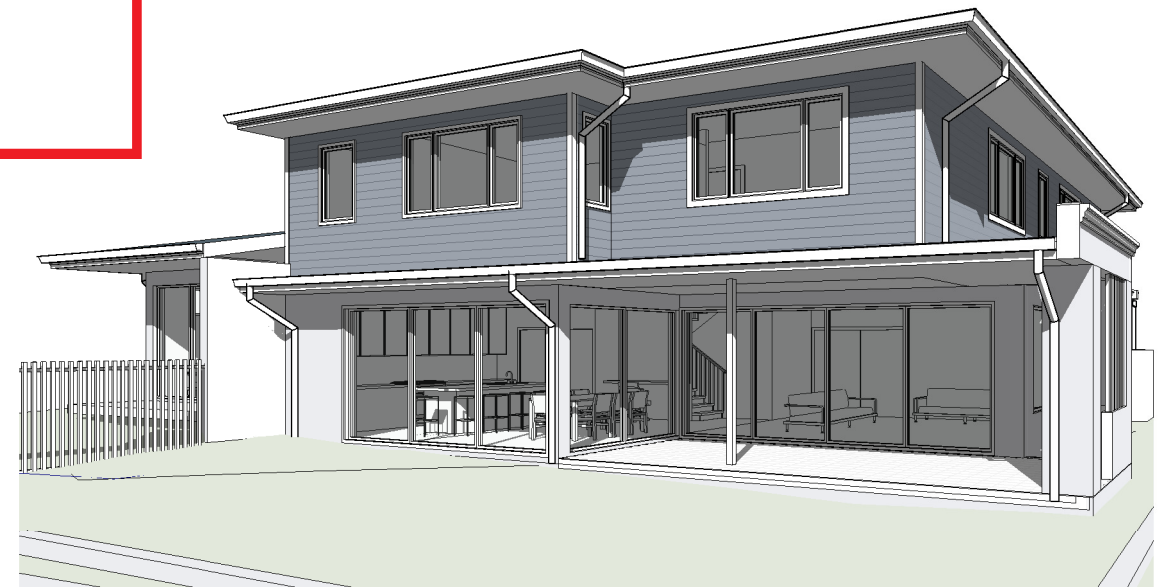
ISSUE	DATE	DESCRIPTION	DRWN	CHKD
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2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	-



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3 3D View 13

A108

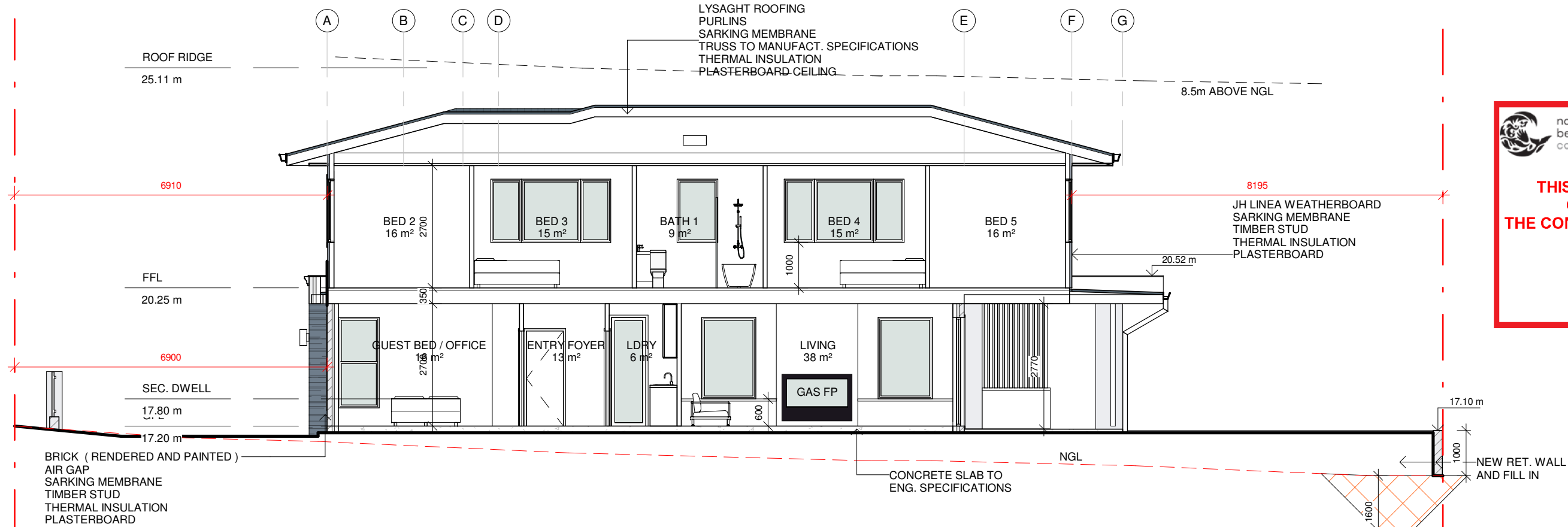
2 3D View 3

A108

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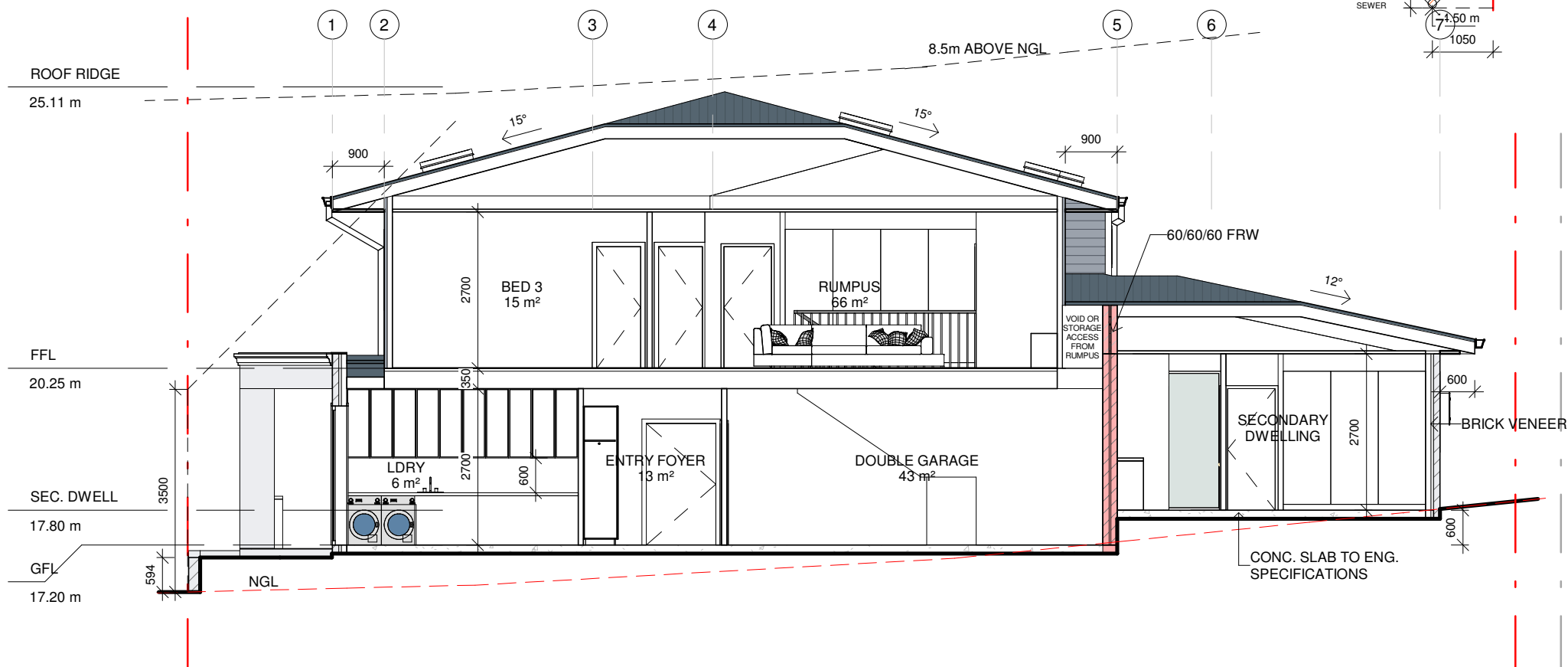
ISSUE	DATE	DESCRIPTION	DRWN	CHKD
1	20.12.2021	DA ISSUE	KM	-
2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	

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1 Section 1

A109 1 : 100



2 Section 2

A109 1 : 100

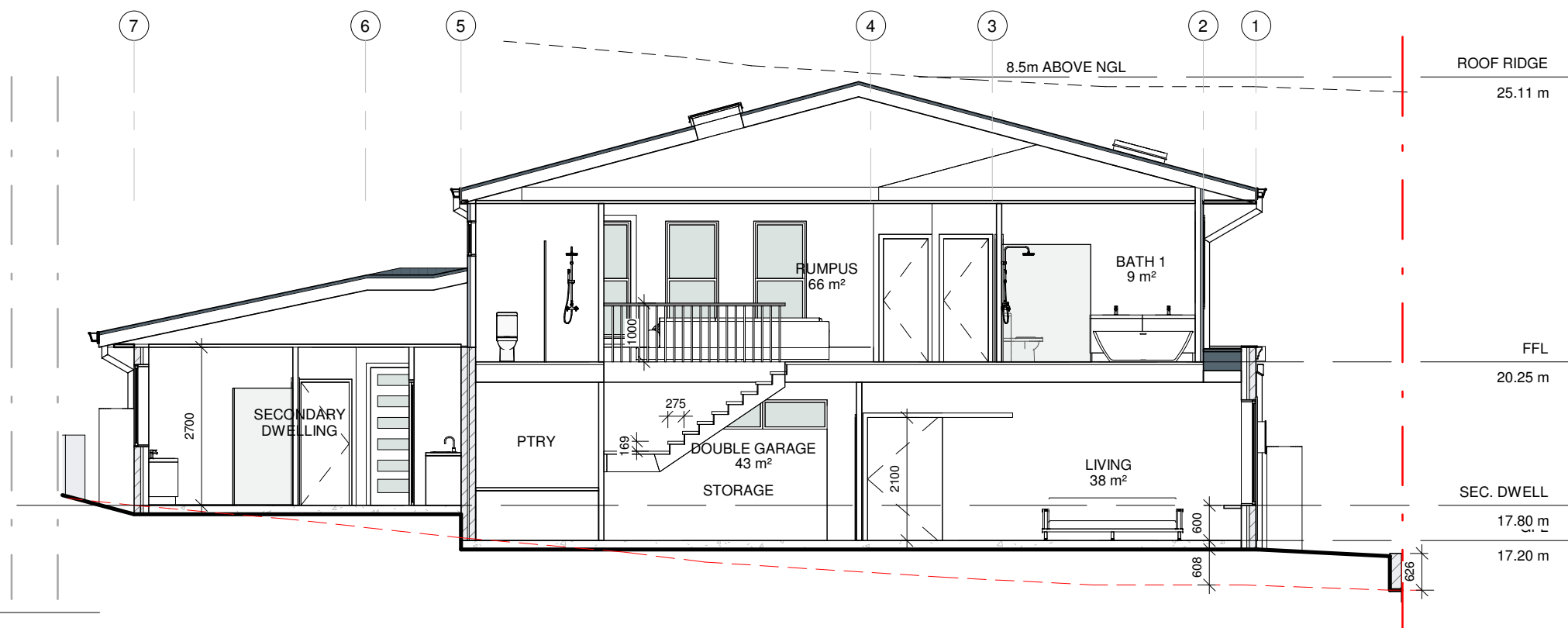
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2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	-

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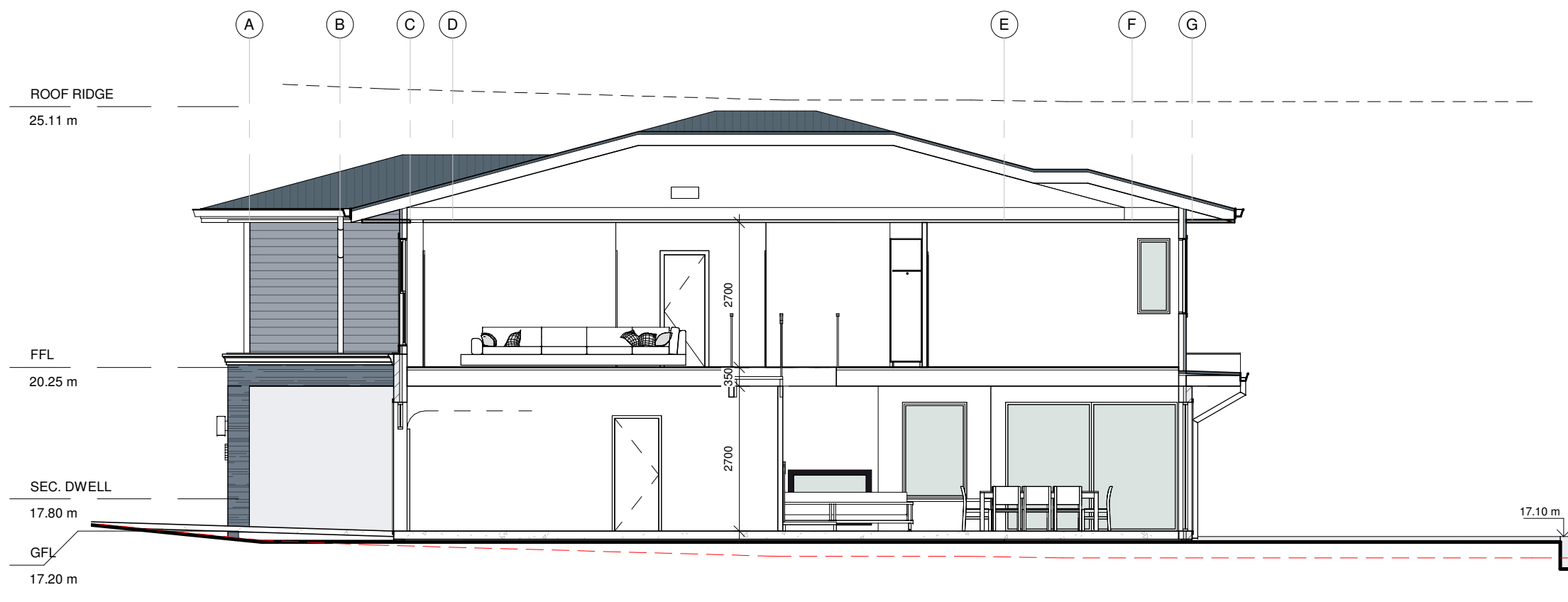
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1 Section 4
A110 1 : 100



2 Section 3
A110 1 : 100

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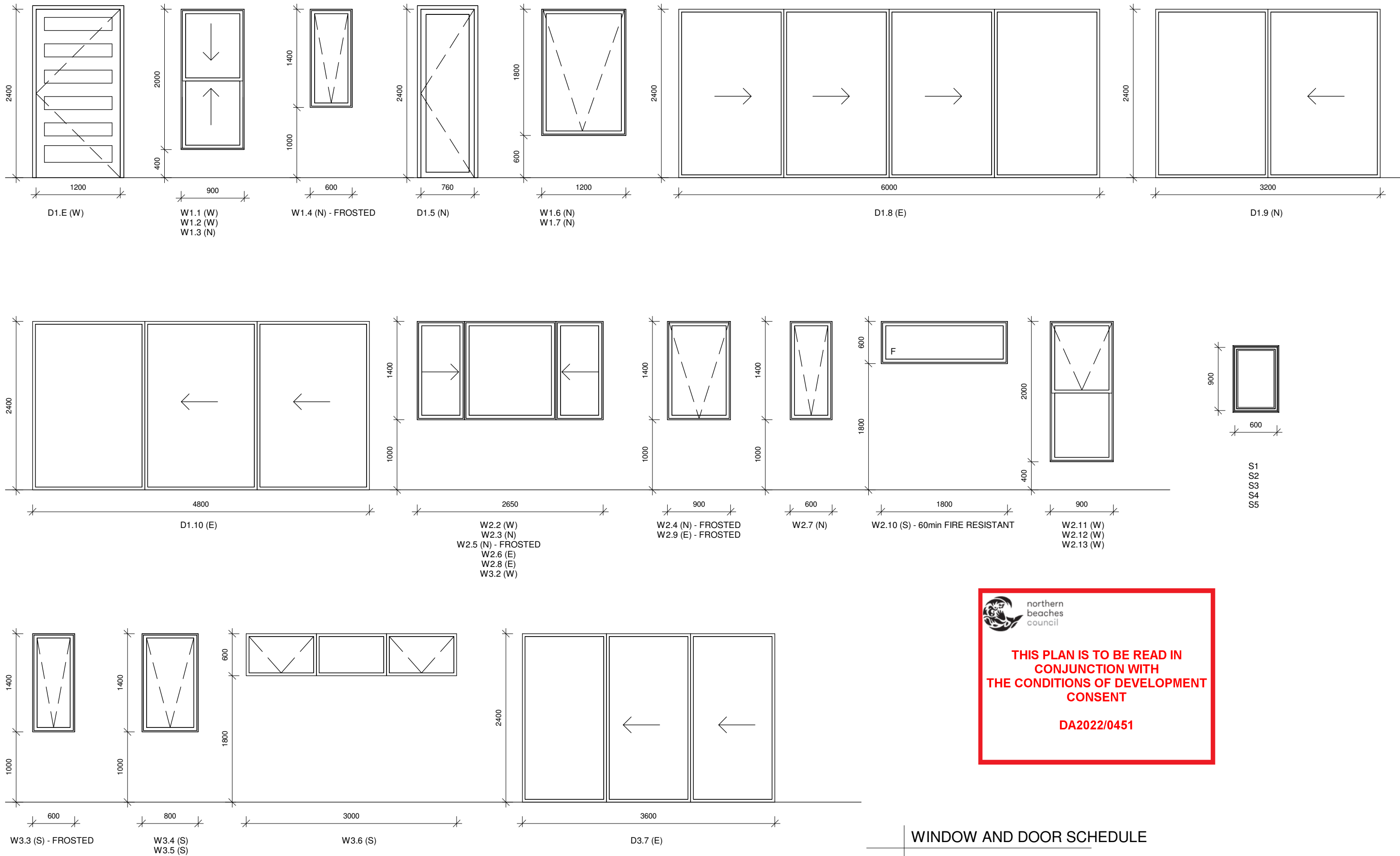
ISSUE	DATE	DESCRIPTION	DRWN	CHKD
1	20.12.2021	DA ISSUE	KM	-
2	20.06.2022	DA ISSUE - REV FRONT SET.	KM	-

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PROJECT TITLE: NEW BUILD
PROJECT NO.: 2021014
AT: 7 SHERRY STREET, MONA VALE
FOR: REBECCA & ALEX GILLESPIE

SHEET TITLE: SECTIONS
SHEET NO: A110
SCALE A3: 1 : 100

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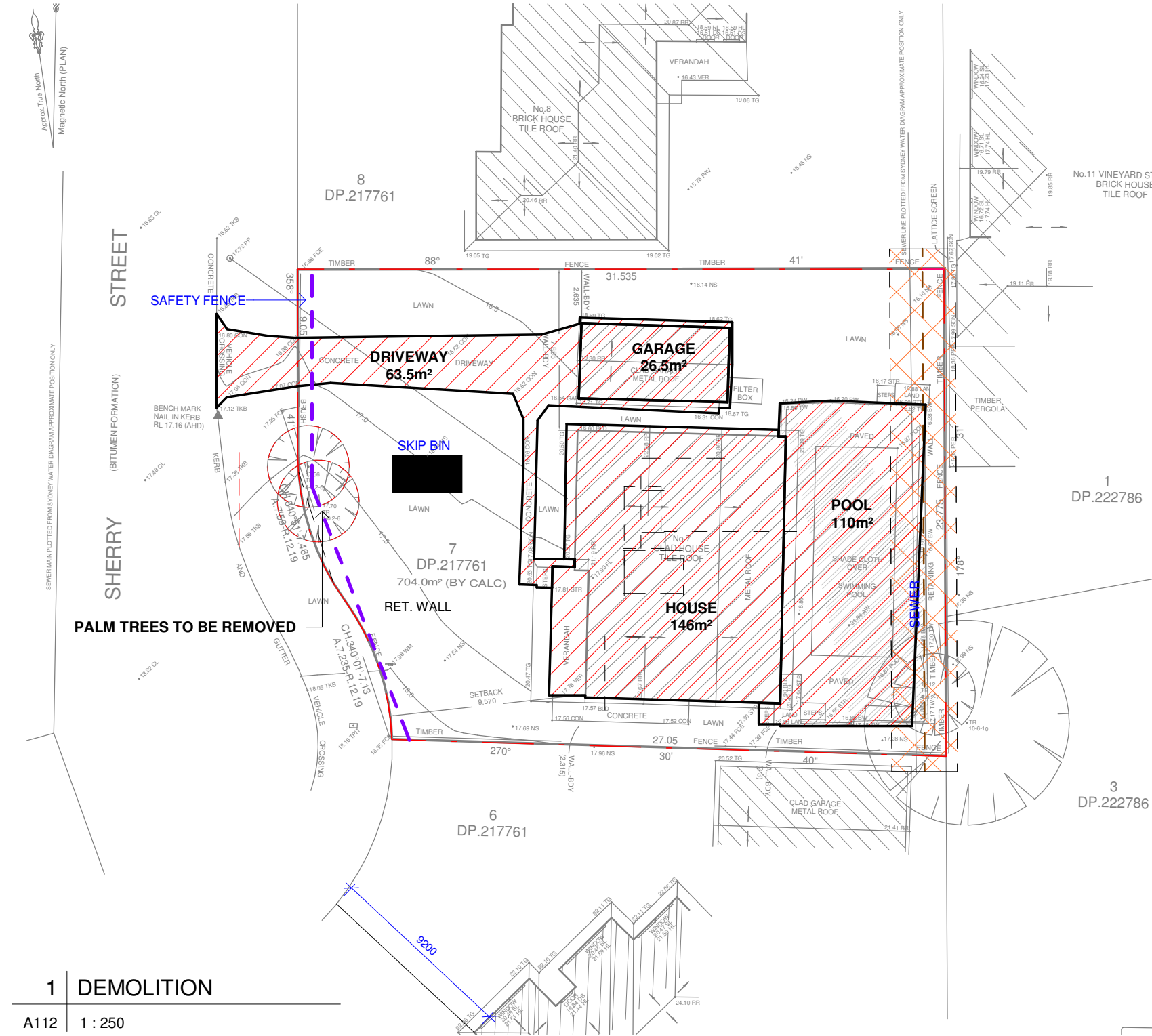
WINDOW AND DOOR SCHEDULE

1 : 50

Do not scale from plans. All dimensions and levels shown on plan are subject to confirmation on site.

ISSUE	DATE	DESCRIPTION	DRWN	CHKD
1	20.12.2021	DA ISSUE	KM	-
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1 | DEMOLITION
A112 | 1 : 250

WASTE MANAGEMENT PLAN					
MATERIAL ON SITE			DESTINATION		
TYPE OF MATERIAL	ESTIMATED VOLUME		REUSE OR RECYCLING		DISPOSAL
	DEMOLITION	CONSTRUCTION	ON-SITE	OFF-SITE	
EXCAVATION MATERIAL	100m³		DISPOSED ON SITE (FILL IN)		
GREEN WASTE	30m³		DISPOSED ON SITE (FILL IN)		
BRICKS	5t			KIMBRIKI RECYCLE	
CONCRETE	3t			KIMBRIKI RECYCLE	
TIMBER	100m³	2m³		KIMBRIKI RECYCLE	
PLASTER BOARDS	50m³	1m³			KIMBRIKI BY BUILDER
ASBESTOS	TBC PRIOR DEMO.				ASBESTOS REMOVALIST
ROOF TILES	5t				
METALS	10m³	0.1m³		KIMBRIKI RECYCLE	
GLASS	20m³			KIMBRIKI RECYCLE	
PLASTIC					
OTHERS	10m³	1m³			KIMBRIKI BY BUILDER

WASTE MANAGEMENT PLAN

CONTRACTORS WILL BE RESPONSIBLE FOR ENSURING:

1. Dedicated safe pedestrian access is, at all times, to be provided in front of the site.
2. Demolition and construction will be minimised and separation, reuse and recycling of materials will be maximised.
3. Demolition will be managed to ensure air and water borne pollutants such as, dust, odour, liquids and the like are minimised.
4. Demolition will be managed to minimise site disturbance to the surrounding area.

- KEY ACTIONS :
1. Install Sediment Barrier on downslope side of property
 2. Stock pile demolition materials on level sections at rear and front of existing dwelling .Separate waste, from reuse and recycle materials.
 3. Clean and Clear footpath and roadway as required
 4. Limit Disturbance when clearing
 5. Wash Equipment in Designated area
 6. Store all hard waste & litter in a designed area
 7. Restrict vehicle movements and use the driveway only when possible.
 8. Preserve as much grassed area as possible.

2 | WASTE MANAGEMENT PLAN
A112 | 1 : 65



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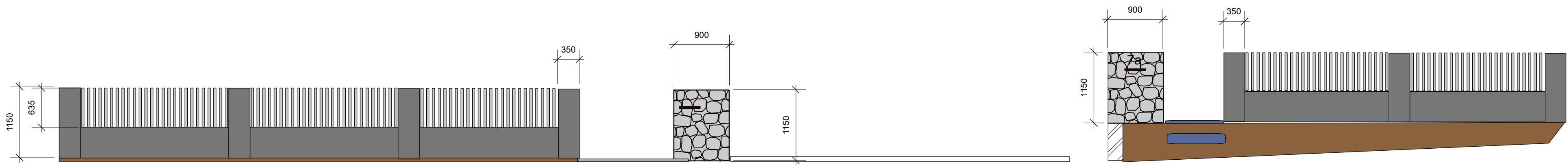
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Sherry Street

Street Scope View, Westerly Elevation



Front Boundary Fence

Notes:
1) Do not scale from drawing, use marked dimensions and levels. To be read in conjunction with all consultants' documentation. Blue Sky Landscaping and Designs. is to be immediately notified of any discrepancies.
2) Contractor to verify all dimensions, coordinate services and components prior to commencement of site work or off-site fabrication and installation.
3) All construction must be built to minimum requirement set out by the Building Code of Australia and relevant Australian Standards. Designer is to be notified immediately of any discrepancies to the above, and confirmation sought.
4) Copyright on this drawing and design retained by Blue Sky Landscaping and Design.
5) All Site RLS are for Viewing purposes only. They must be read in conjunction with the Most recent site survey plan. All RLS will be adjusted as per the most recent site survey.

Structural Engineer:
To Be Specified

All Elements of the plan that need structural engineer specifications must be sought prior to the commencement of any construction works. Engineer plans must be supplied to the contractor and all approval bodies. These are not engineer plans and do not specify any structural elements of the project. it is a Concept only.

Sections

Sherry Street.

7 Sherry Street Mona Vale NSW 2103

Status

For Approval

SCALE

1:100

ORIGINAL DRAWING AT A1 SIZE:

A4 REDUCTION: 35.35%:

Drawn By

RW

Dwg Date: 25/10/21

Checked By

EP

Plot Date:

CAD File Name

Rebecca Gillespie, Mona Vale .vwx

2022/SYD31

Drawing No.

Rev #

5

OF 9