

JAMES ROCHFORD HOUSE

Matt James + Louisa Rochford
1 Grandview Drive
Newport Beach
NSW 2106

DEVELOPMENT APPLICATION - NORTHERN BEACHES COUNCIL

AUGUST 2020

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BASIX Requirements:

HOT WATER
Gas instantaneous

LIGHTING
40% fluoro, compact fluoro or LED

FIXTURES
Showerheads: 3 star minimum or no greater than 9L per minute
Toilets: 3 star minimum or no greater than 4L per flush
Taps: 3 star minimum or no greater than 9L per minute

CONSTRUCTION
Concrete slab on ground with no in-slab heating system: nil additional insulation required
Suspended floor with enclosed subfloor: framed (R0.7): R0.6 (down) (or R1.30 including construction)
External wall: cavity brick: nil additional insulation required
External wall: framed (weatherboard, fibro, metal clad) : R1.30 (or R1.70 including construction)
External wall: brick veneer R1.16 (or R1.70 including construction)

WINDOWS AND GLAZED DOORS

W01: Orientation: N, Area: 3.0m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W01: Orientation: S, Area: 1.3m2, Shading device: eave/verandah/pergola/balcony >=450mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W03: Orientation: S, Area: 1.3m2, Shading device: eave/verandah/pergola/balcony >=450mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W04: Orientation: S, Area: 3.9m2, Shading device: eave/verandah/pergola/balcony >=450mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W05: Orientation: S, Area: 2.0m2, Shading device: eave/verandah/pergola/balcony >=450mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W06: Orientation: S, Area: 2.0m2, Shading device: none, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W07: Orientation: S, Area: 1.3m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W08: Orientation: E, Area: 6.0m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W09: Orientation: E, Area: 6.5m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W10: Orientation: E, Area: 3.5m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W11: Orientation: E, Area: 1.3m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W12: Orientation: W, Area: 3.0m2, Shading device: eave/verandah/pergola/balcony >=750mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W13: Orientation: W, Area: 4.6m2, Shading device: eave/verandah/pergola/balcony >=750mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W14: Orientation: W, Area: 0.8m2, Shading device: eave/verandah/pergola/balcony >=450mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W15: Orientation: W, Area: 1.0m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W16: Orientation: W, Area: 1.7m2, Shading device: eave/verandah/pergola/balcony >=900mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

W18: Orientation: W, Area: 1.7m2, Shading device: eave/verandah/pergola/balcony >=750mm, standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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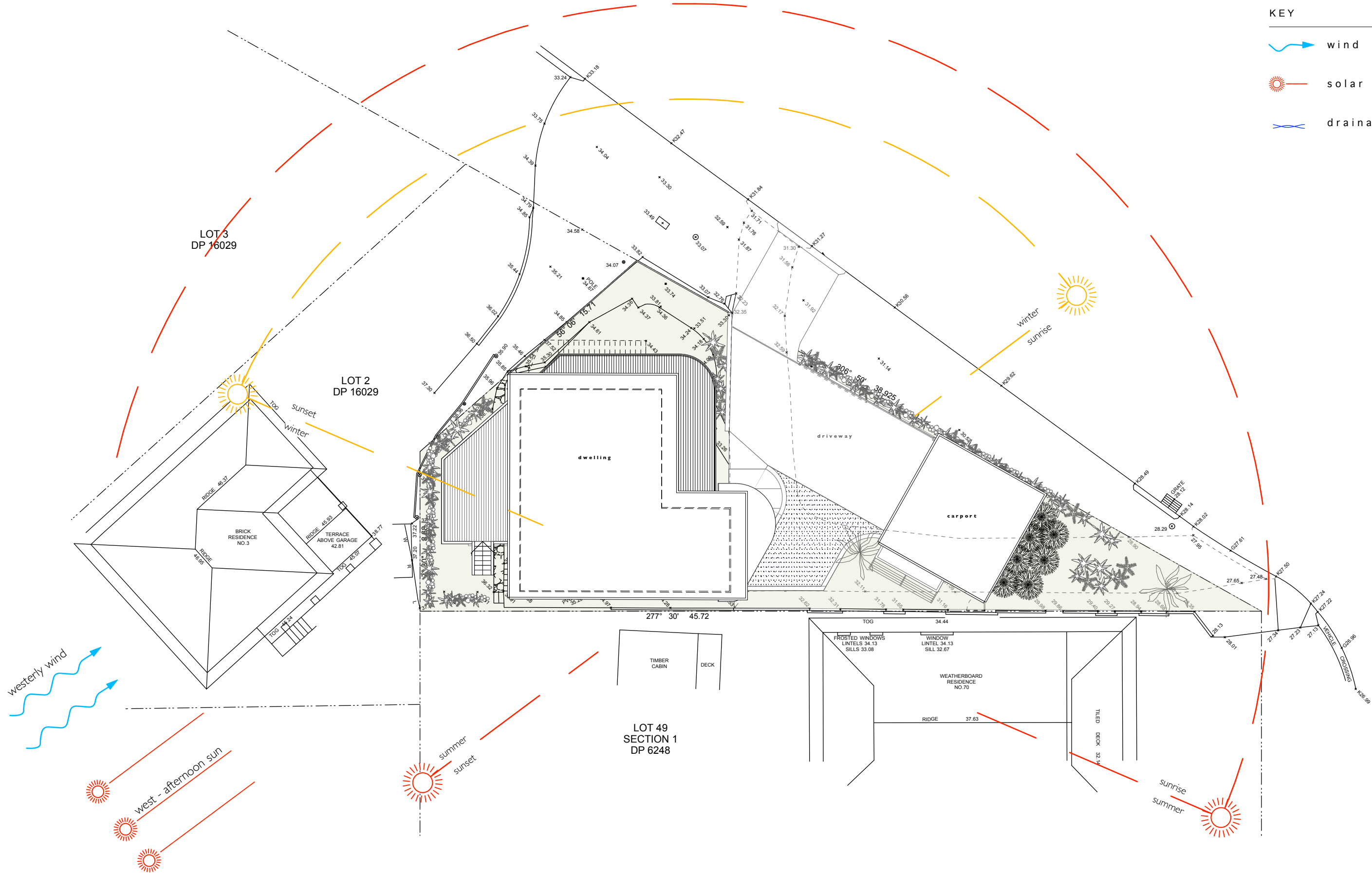
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www.rachelhudson.com.au
rachel@rachelhudson.com.au

KEY

wind

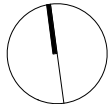
solar access

drainage



rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564



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JAMES ROCHFORD HOUSE

Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

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DATE 18.08.20
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SITE ANALYSIS PLAN

Soil & Water Management Plan

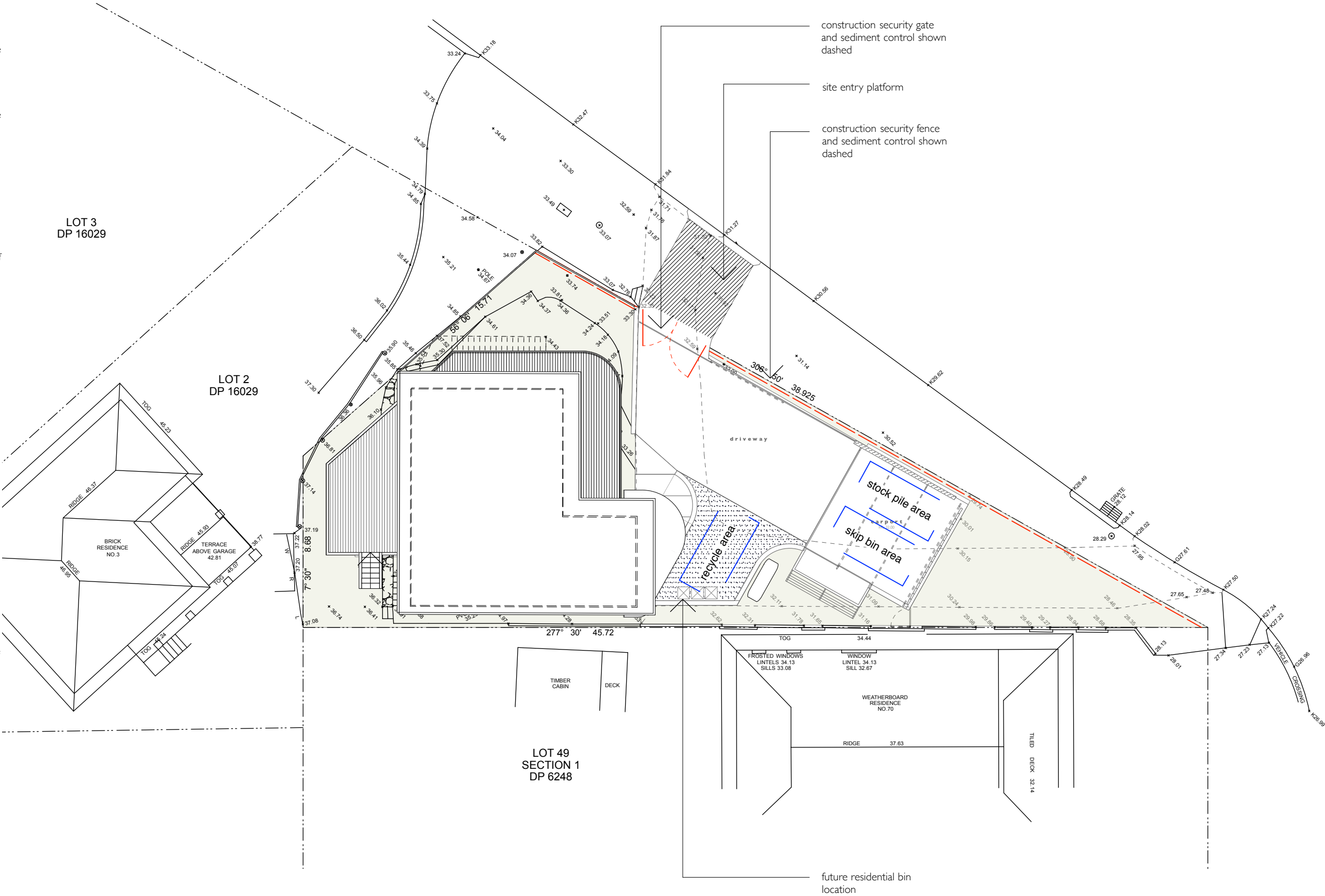
All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis.This confirmation shall be provided as a condition for undertaking any further work under the Construction Contract.

All services trenches must be backfilled immediately after services are laid and approval is granted to carry out backfilling operations.

Any road vehicle leaving the site which has been in contact with clay soil shall be washed or brushed down on the Site Entry Platform.

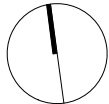
The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry

- Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.
 - Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. Either the existing, concrete driveway; a new, temporary driveway or new Site Entry Platform (as per detail on these drawings) shall be used as the sole site access point.
 - Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.
 - Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.
 - All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellant covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site. Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.
 - Areas towards the boundaries of the site are not to be disturbed during the works except where these works are essential for the completion of the project. Where disturbance is essential, work shall be carried out in a manner that minimizes the erosion hazard for as short a time as practicable and includes suitable erosion protection, reinstatement or rehabilitation as part of the disturbance process.
 - The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.
- Site waste includes:-
- Litter
 - All packaging
 - mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water
- Site Stormwater drainage is to be connected and commissioned as soon as practicable following completion of the works.



rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564



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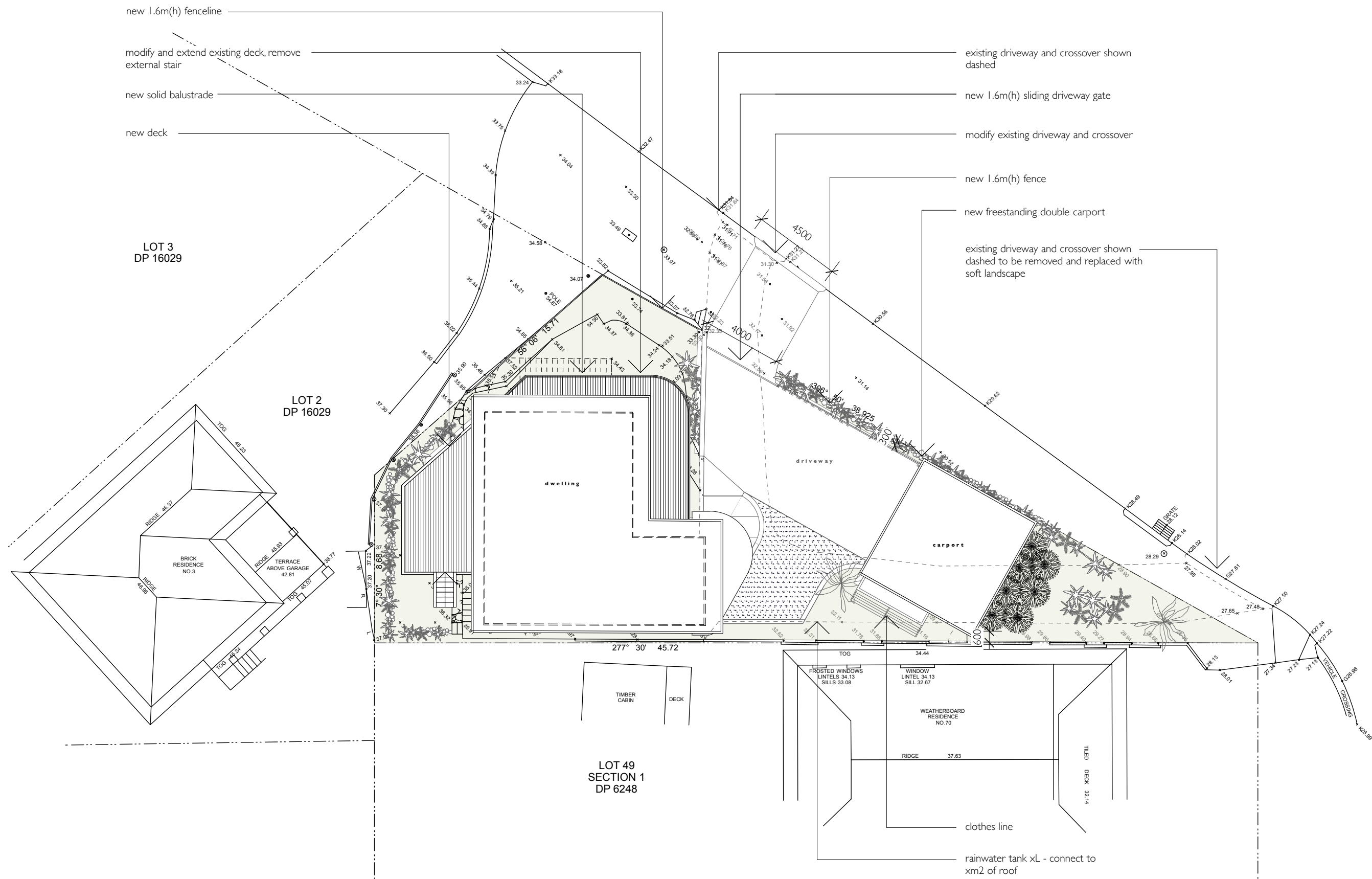
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1 Grandview Drive
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NSW 2106

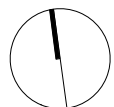
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SEDIMENT / EROSION CONTROL
WASTE MANAGEMENT PLAN



rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564



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Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

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SITE PLAN

D1.13 Landscaped Area - General Controls

The total landscaped area on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living shall be 60% of the site area.

The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 60% of the site area as landscaped area.

Variations

Provided the outcomes of this control are achieved, the following may be permitted on the landscaped proportion of the site:

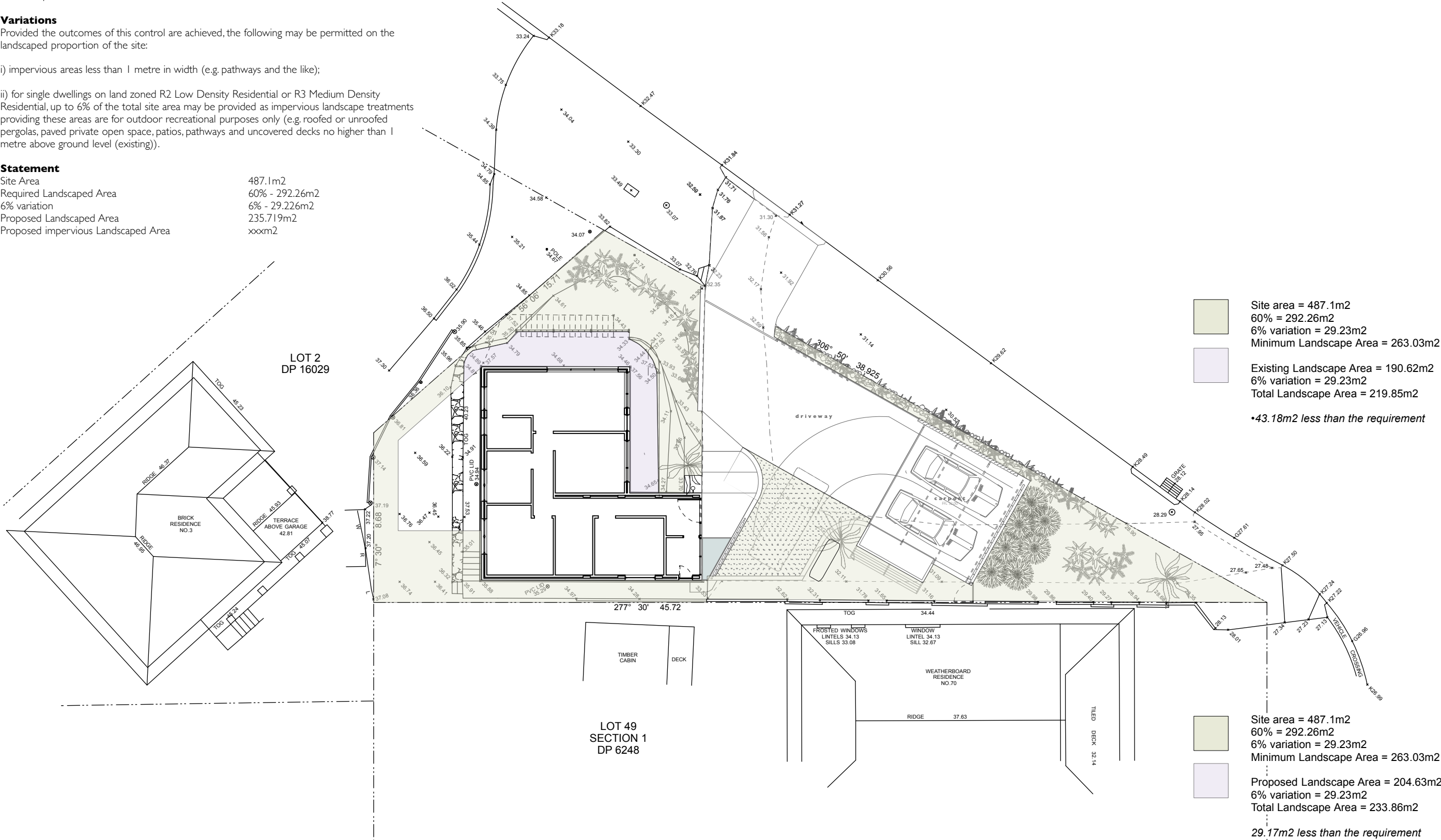
i) impervious areas less than 1 metre in width (e.g. pathways and the like);

ii) for single dwellings on land zoned R2 Low Density Residential or R3 Medium Density Residential, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

Statement

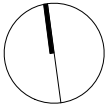
Site Area
 Required Landscaped Area
 6% variation
 Proposed Landscaped Area
 Proposed impervious Landscaped Area

487.1m2
 60% - 292.26m2
 6% - 29.226m2
 235.719m2
 xxxm2



rachel hudson architect

rachel@rachelhudson.com.au
 www.rachelhudson.com.au
 0410 323 564



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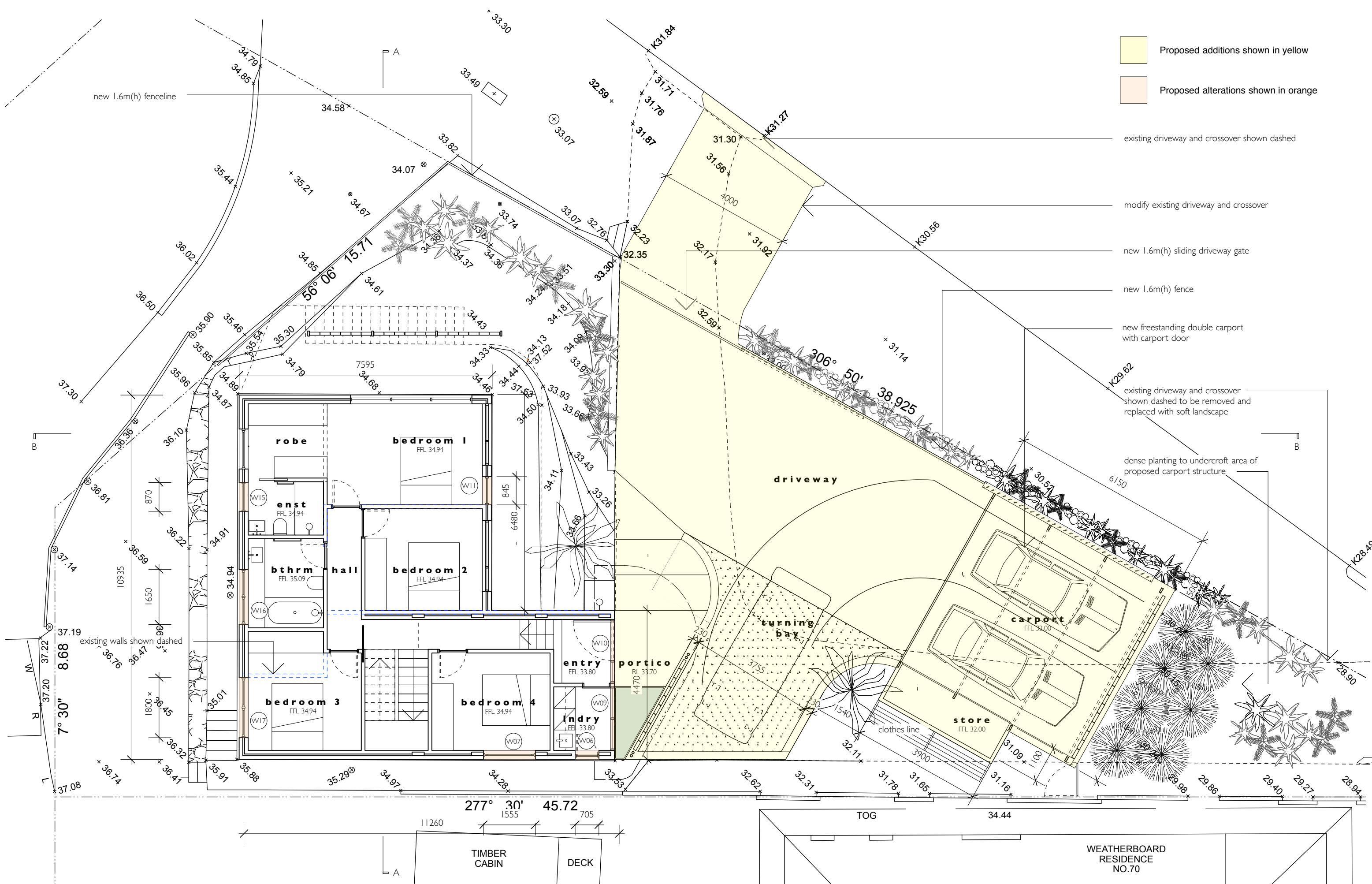
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Matt James + Louisa Rochford
 1 Grandview Drive
 Newport
 NSW 2106

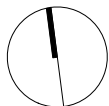
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LANDSCAPE PLAN



rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564



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Newport
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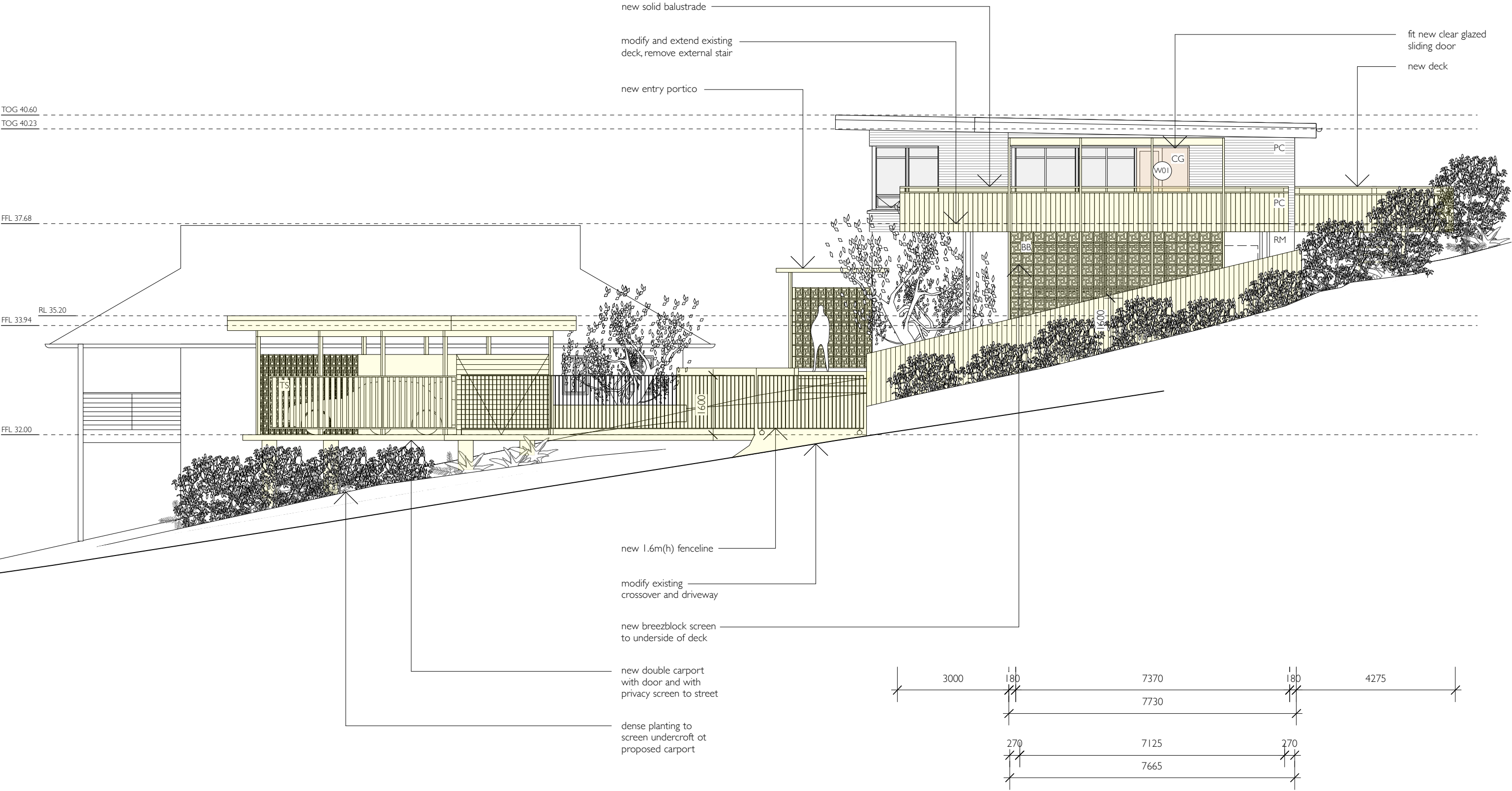
GROUND FLOOR PLAN

ROOF PLAN

LEGEND

- CG Clear glazing
- OG Opaque glazing
- RM Rendered masonry
- PC Cladding, paint finish
- TF Timber frame, paint finish
- TD Timber deck
- TS Timber screen
- BB Breeze blocks
- CN Concrete

- Proposed additions shown in yellow
- Proposed alterations shown in orange



rachel hudson architect

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0410 323 564

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Newport
NSW 2106

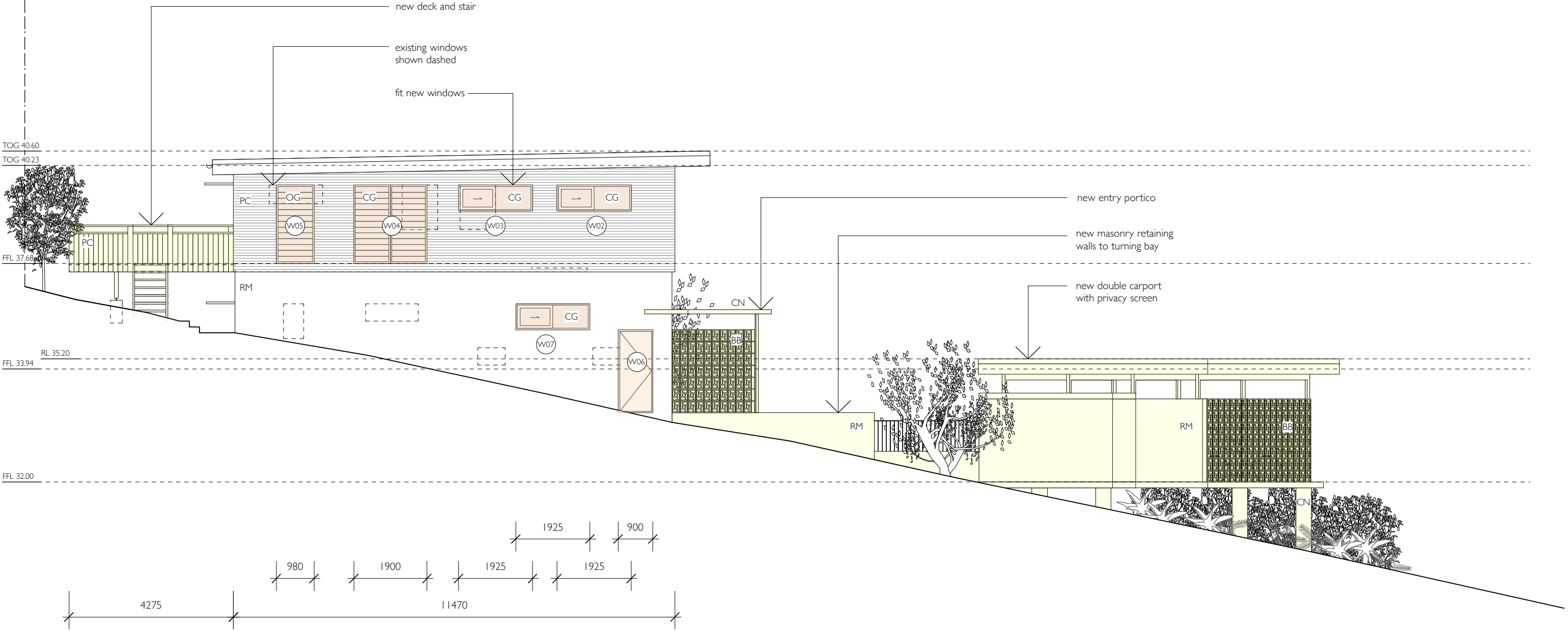
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NORTH ELEVATION

LEGEND

- CG Clear glazing
OG Opaque glazing
RM Rendered masonry
PC Cladding, paint finish
TF Timber frame, paint finish
TD Timber deck
TS Timber screen
BB Breeze blocks
CN Concrete

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Proposed alterations shown in orange



rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564

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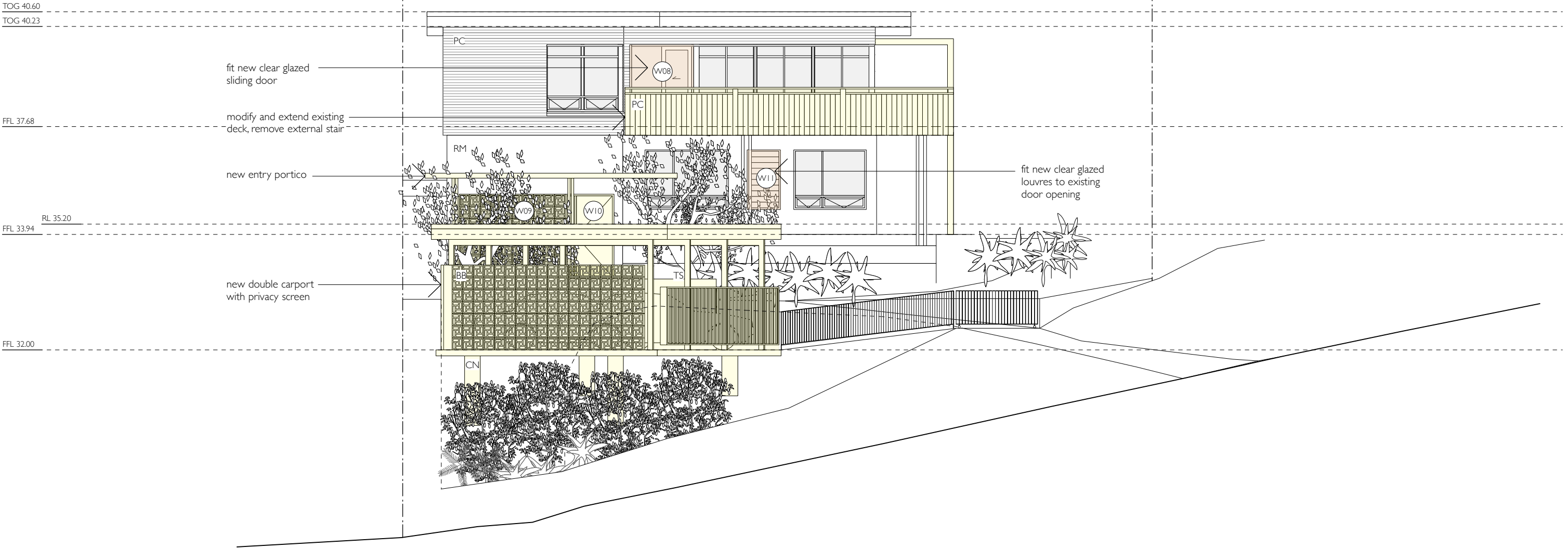
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SOUTH ELEVATION

LEGEND

- CG Clear glazing
- OG Opaque glazing
- RM Rendered masonry
- PC Cladding, paint finish
- TF Timber frame, paint finish
- TD Timber deck
- TS Timber screen
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rachel hudson architect

rachel@rachelhudson.com.au
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Newport
NSW 2106

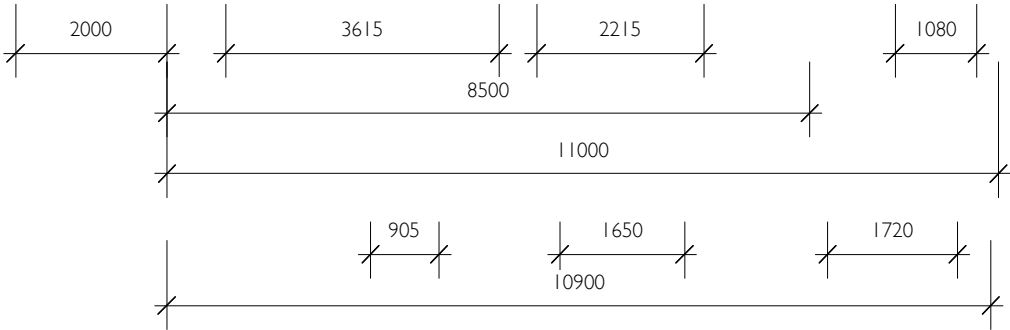
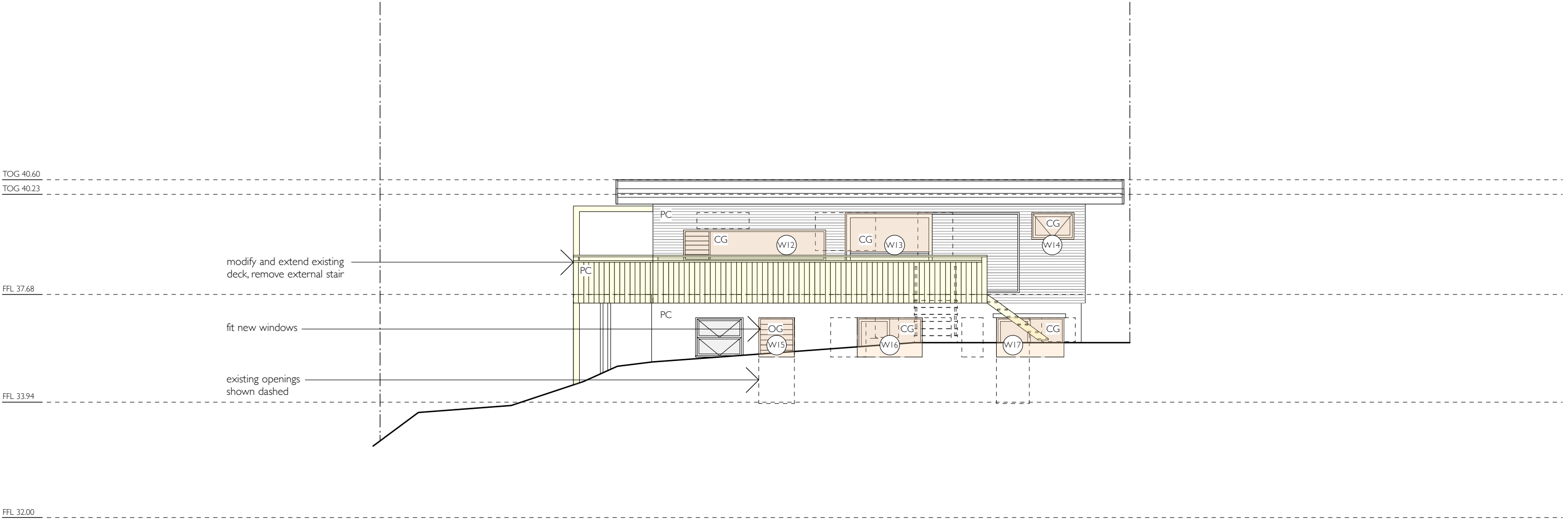
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EAST ELEVATION

LEGEND

- CG Clear glazing
- OG Opaque glazing
- RM Rendered masonry
- PC Cladding, paint finish
- TF Timber frame, paint finish
- TD Timber deck
- TS Timber screen
- BB Breeze blocks
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rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564

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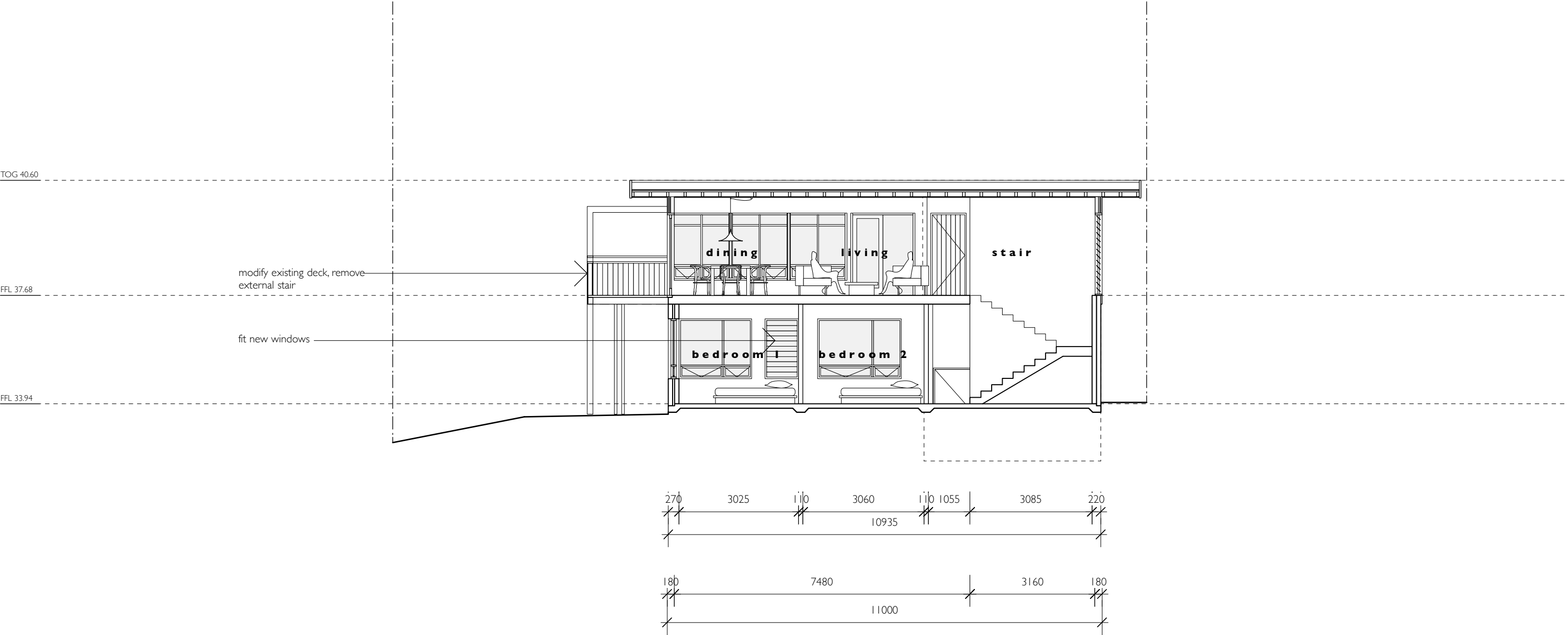
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JAMES ROCHFORD HOUSE

Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

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WEST ELEVATION



rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564

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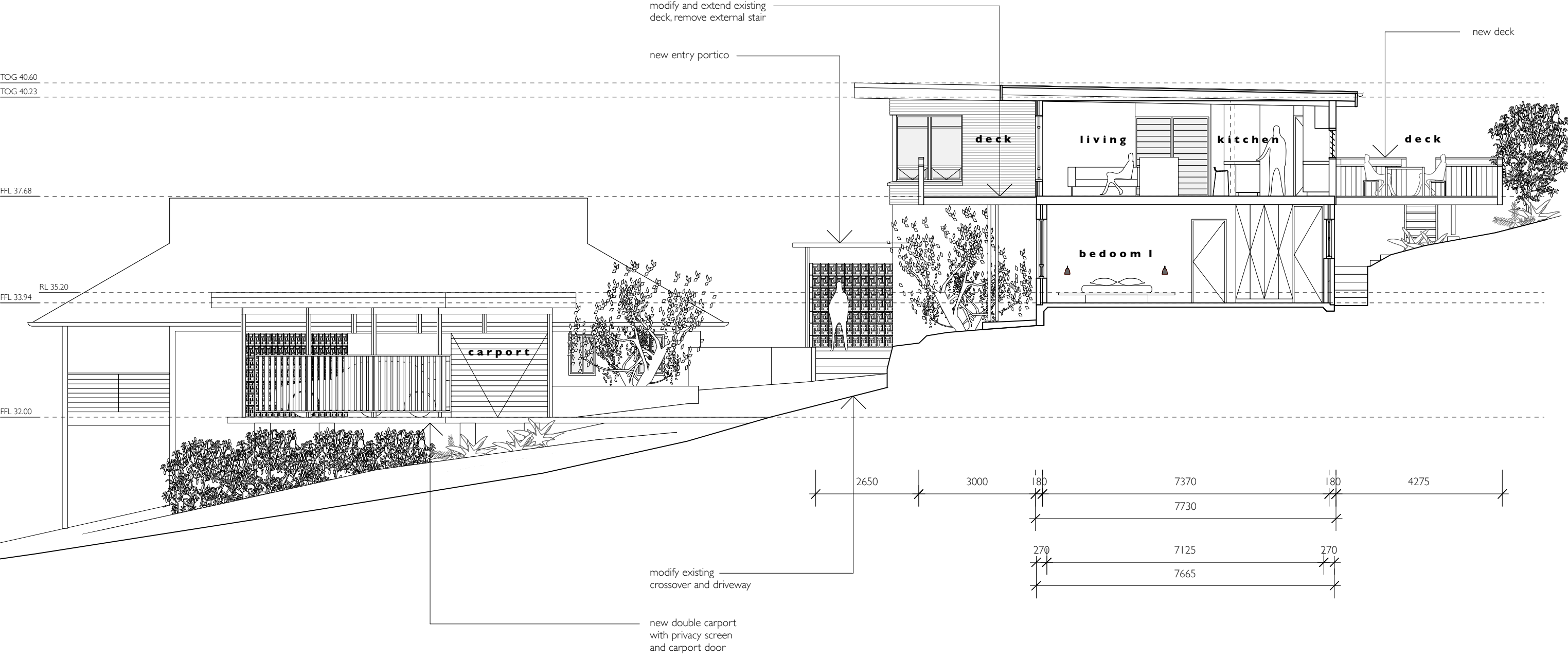
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Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

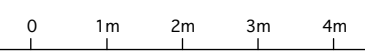
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SECTION AA



rachel hudson architect
rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564

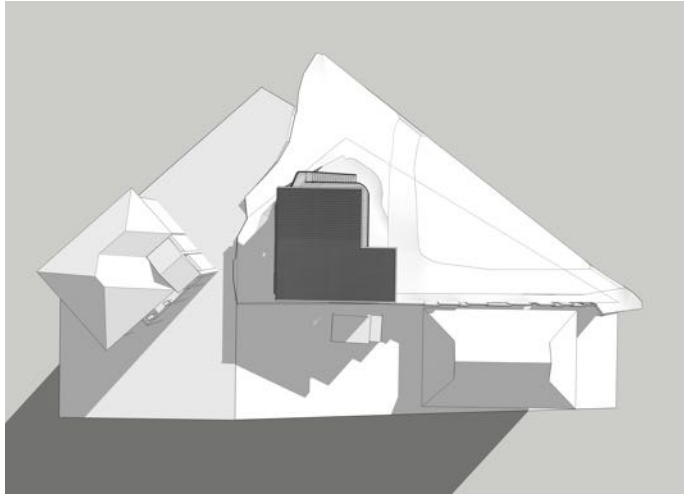
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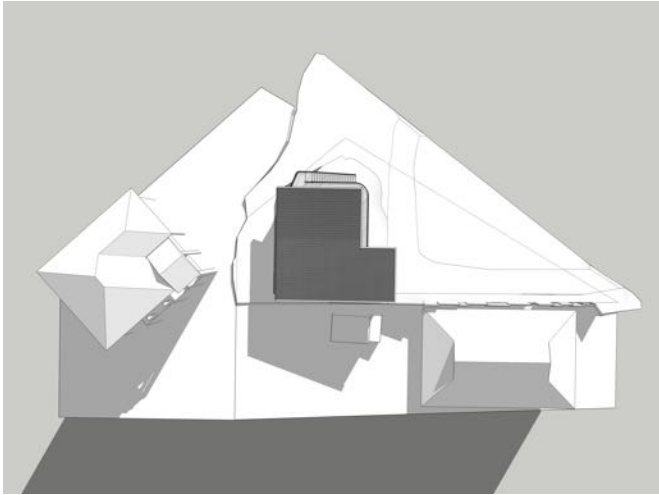
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Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

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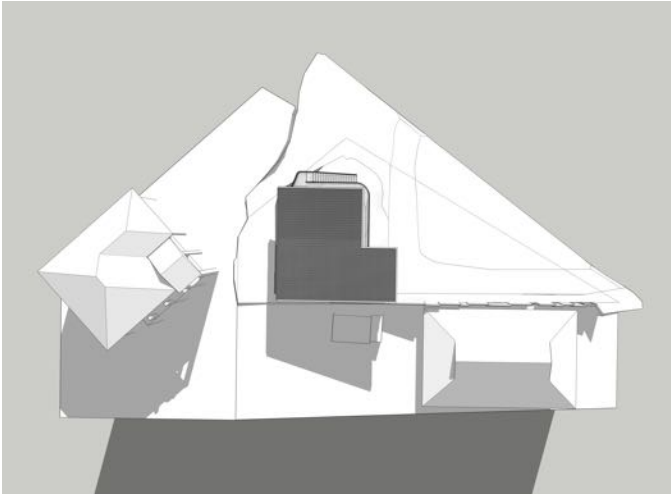
SECTION BB



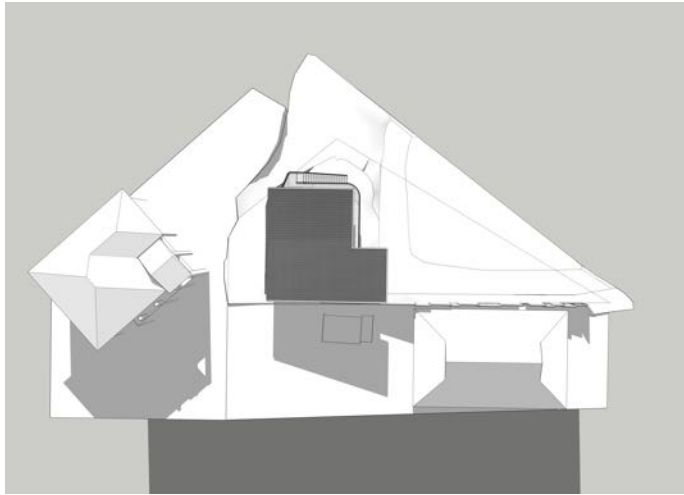
9:00AM 21st JUNE - EXISTING DWELLING



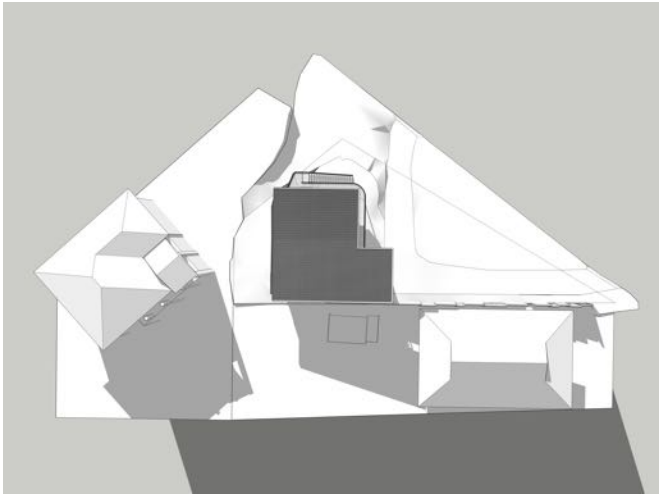
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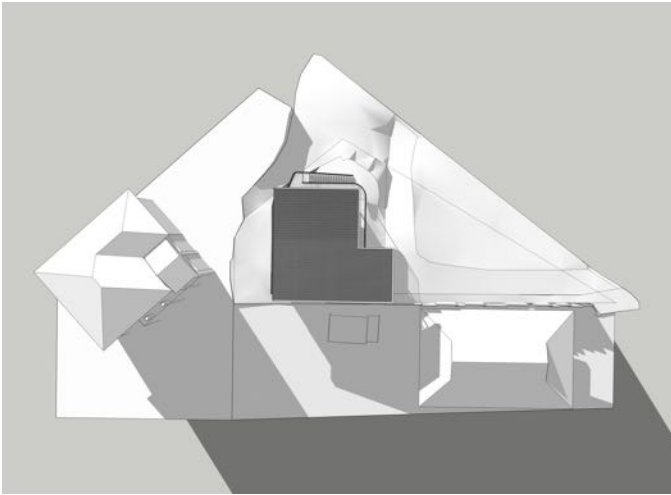
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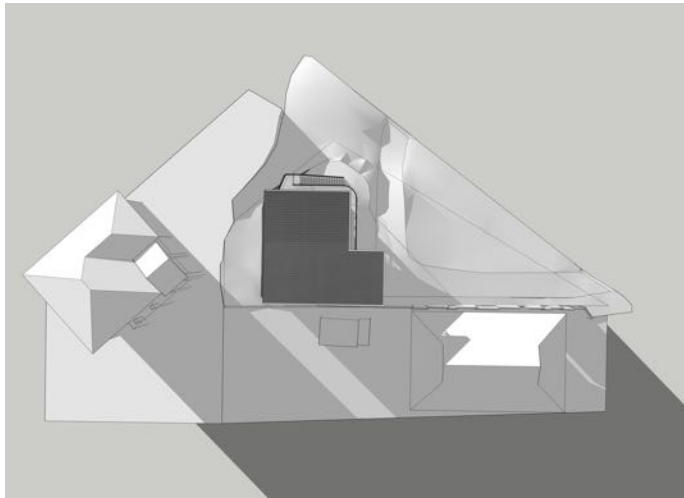
12:00PM 21st JUNE - EXISTING DWELLING



1:00PM 21st JUNE - EXISTING DWELLING



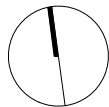
2:00PM 21st JUNE - EXISTING DWELLING



3:00PM 21st JUNE - EXISTING DWELLING

rachel hudson *architect*

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564



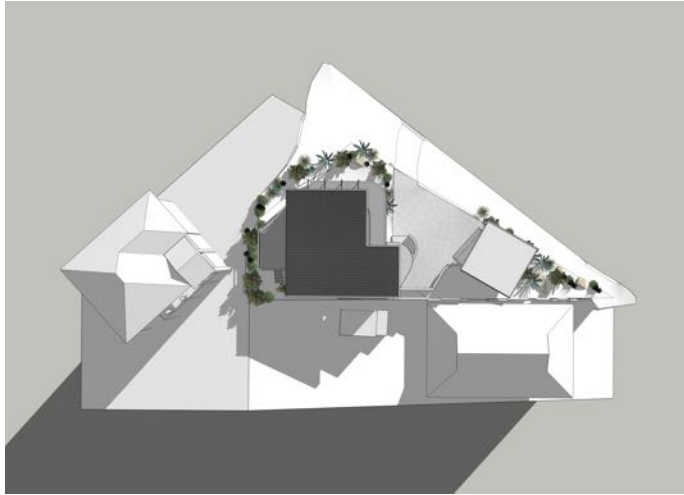
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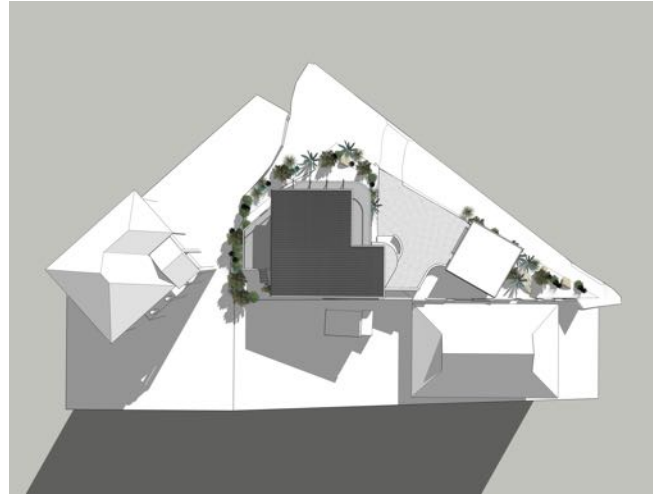
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NSW 2106

DWG	JRH-13-DA
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ISSUE	A
JOB #	115
SCALE	N/A

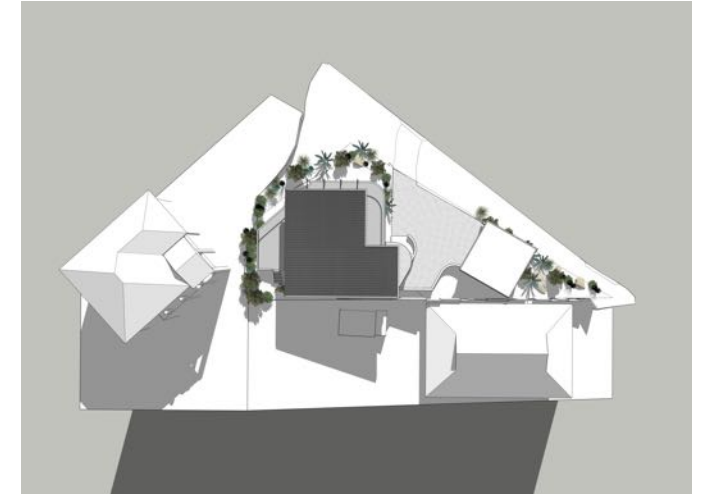
SHADOW DIAGRAMS JUNE 21 EXISTING



9:00AM 21st JUNE - PROPOSED DWELLING



10:00AM 21st JUNE - PROPOSED DWELLING



11:00AM 21st JUNE - PROPOSED DWELLING



12:00PM 21st JUNE - PROPOSED DWELLING



1:00PM 21st JUNE - PROPOSED DWELLING



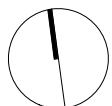
2:00PM 21st JUNE - PROPOSED DWELLING



3:00PM 21st JUNE - PROPOSED DWELLING

rachel hudson architect

rachel@rachelhudson.com.au
www.rachelhudson.com.au
0410 323 564



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JAMES ROCHFORD HOUSE

Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

DWG	JRH-14-DA
DATE	20.05.20
ISSUE	A
JOB #	115
SCALE	N/A

SHADOW DIAGRAMS JUNE 21 PROPOSED



Rendered Masonry
- lower level of existing dwelling
- paint finish



Cladding system
- upper level of existing dwelling
- mid grey paint finish



Concrete
- landscaping
- new driveway



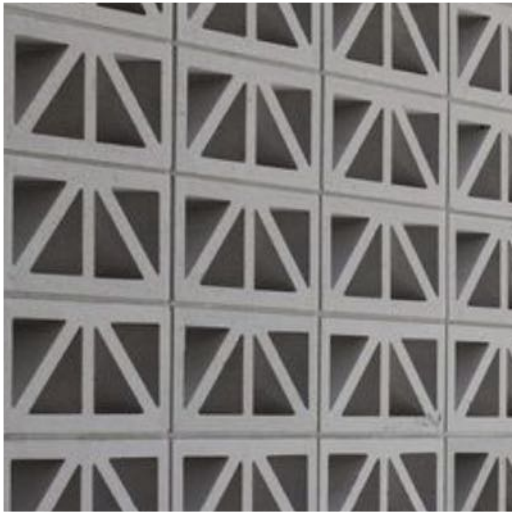
Timber Frame
- existing doors and windows
- carport framing



Tallowwood
- decking



Greenery
- site condition



Breezeblock
- carport + dwelling screens



Colorbond Windspray
- roofing
- gutters
- downpipes



Aluminium Frame
- new doors and windows



Sandstone
- landscaping

rachel hudson *architect*

rachel@rachelhudson.com.au
www.rachelhudson.com.au
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JAMES ROCHFORD HOUSE

Matt James + Louisa Rochford
1 Grandview Drive
Newport
NSW 2106

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SCHEDULE OF EXTERNAL FINISHES