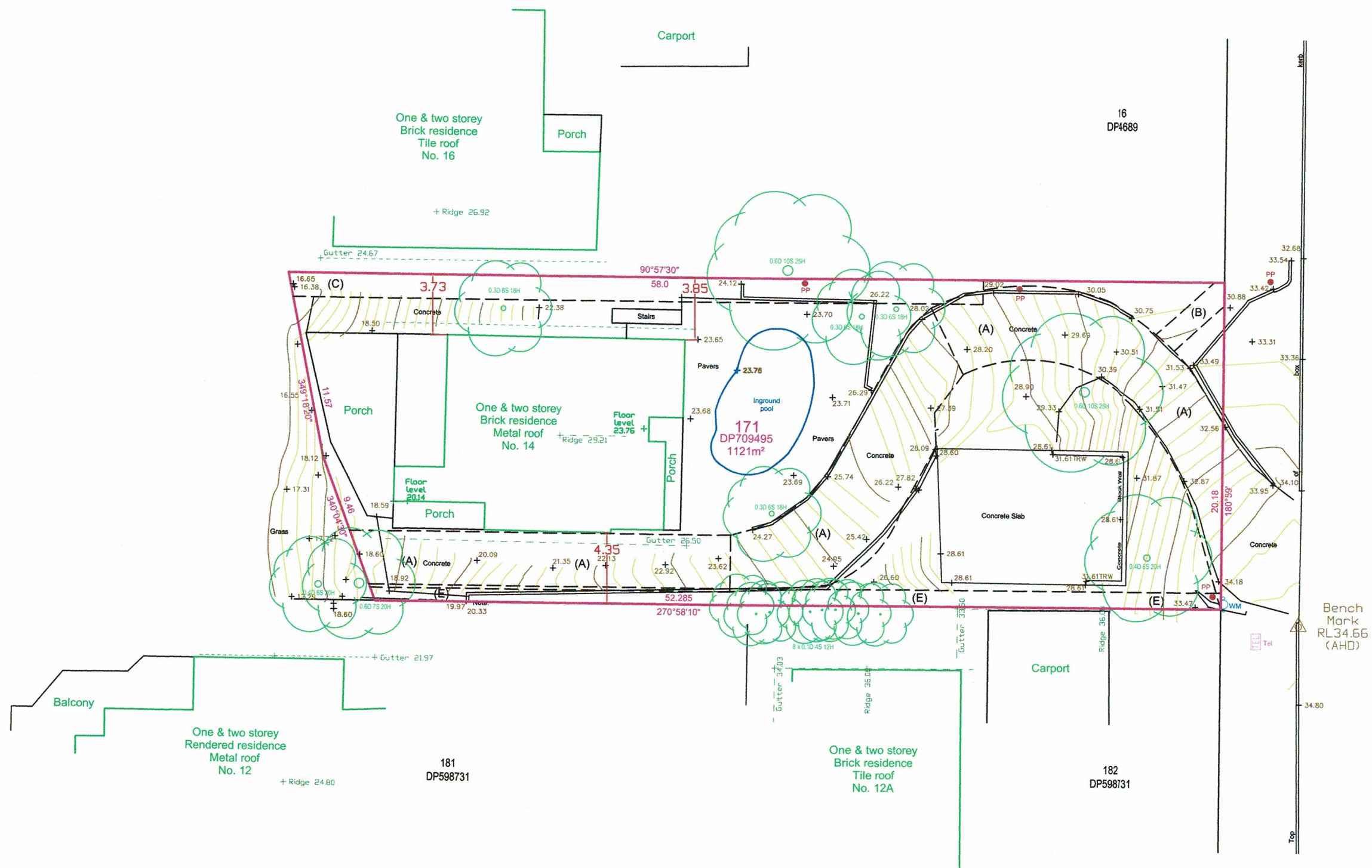




- (A) - Right of way 3.5, variable & 4.5 wide (vide DP709495)
 (B) - Right of footway 1.5 wide (vide DP709495)
 (C) - Right of way 1.5 wide (vide DP709495)
 (D) - Easement to drain water 1.0 wide (vide DP709495)
 (E) - Easement for services 1.0 wide (vide DP709495)

B. Tull
 REGISTERED SURVEYOR
 11/7/2021

GENERAL & SITE SPECIFIC NOTES

This survey has been undertaken for identification and contour and detail mapping purposes only.
 Boundaries HAVE BEEN IDENTIFIED BY FIELD SURVEY. REVISED DATE OF SURVEY 3-06-2021

No accurate investigation into property boundaries has been made. Therefore any position of features and structures are approximate only. Parcel boundary dimensions, bearings and areas have been adopted from the subject deposited plan and have not been investigated, any bearing, distance, area, setback or other dimension may be subject to change with further investigation and lodgment of a plan of survey at the Land Titles Office.

Contours are indicative of surface topography only. Surveyed spot levels are the only values at which reduced level can be relied upon. Contours are displayed at 1 metre major and 0.25 metre minor intervals.

Services shown have been derived from visual evidence apparent at the time of survey. It is strongly advised to visit 'dial before you dig' prior to any excavation or construction and verify critical locations with a suitably qualified service locator to AS 5488-2013 QL-A prior to any works or critical design.

It is strongly advised to review an up to date title search and give careful consideration to all items prior to any planning and/or construction.

Tree and roof profile details are approximate only. Line styles and symbols are diagrammatic only.

REVISED PLAN DATE: 03-06-2020 - Surveyed and added new concrete slab and concrete block wall

