

PRINCE CHARLES ROAD

LOT 4
DP 23720

LOT 2
DP 23720

No. 100
(FOREST WAY)

FOREST WAY

E	ISSUED FOR DEVELOPMENT APPLICATION	25/08/2025
D	DRIVEWAY MODIFICATION	23/07/2025
C	CONSULTANT ISSUE	10/07/2025
B	AMENDED SKETCH PLAN RE CLIENT FEEDBACK	02/06/2025
A	PRELIMINARY CLIENT ISSUE	25/03/2025
Issue	Amendment	Date

Dual Occupancy
at
**102 Prince Charles Road,
Frenchs Forest**
for
Alberto Origlia



Level 2 19-23 Bridge Street PYMBLE NSW 2073 AUSTRALIA
t: (02) 9440 2455 e: info@gelder.com.au w: gelder.com.au
ABN 48 090 878 827 NSW ARB REG ARCHITECT: GELDER # 6126

Site Plan

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Project No:	2169	Date:	March 2025	Issue: E
Drawing No:	DA 02	Scale:	1:100	
		Date Plotted:	26/08/2025	

A1 ORIGINAL SIZE

PRINCE CHARLES ROAD

LOT 1
250.00 m²

LOT 2
571.93 m²

LOT 4
DP 23720

LOT 2
DP 23720

FOREST WAY

Legend:

Symbol	Description
E	IS
D	DF
C	CC
B	AN
A	PP
Issue	Ad

Level 2 1
t: (02) 9444
ABN 48 09

S

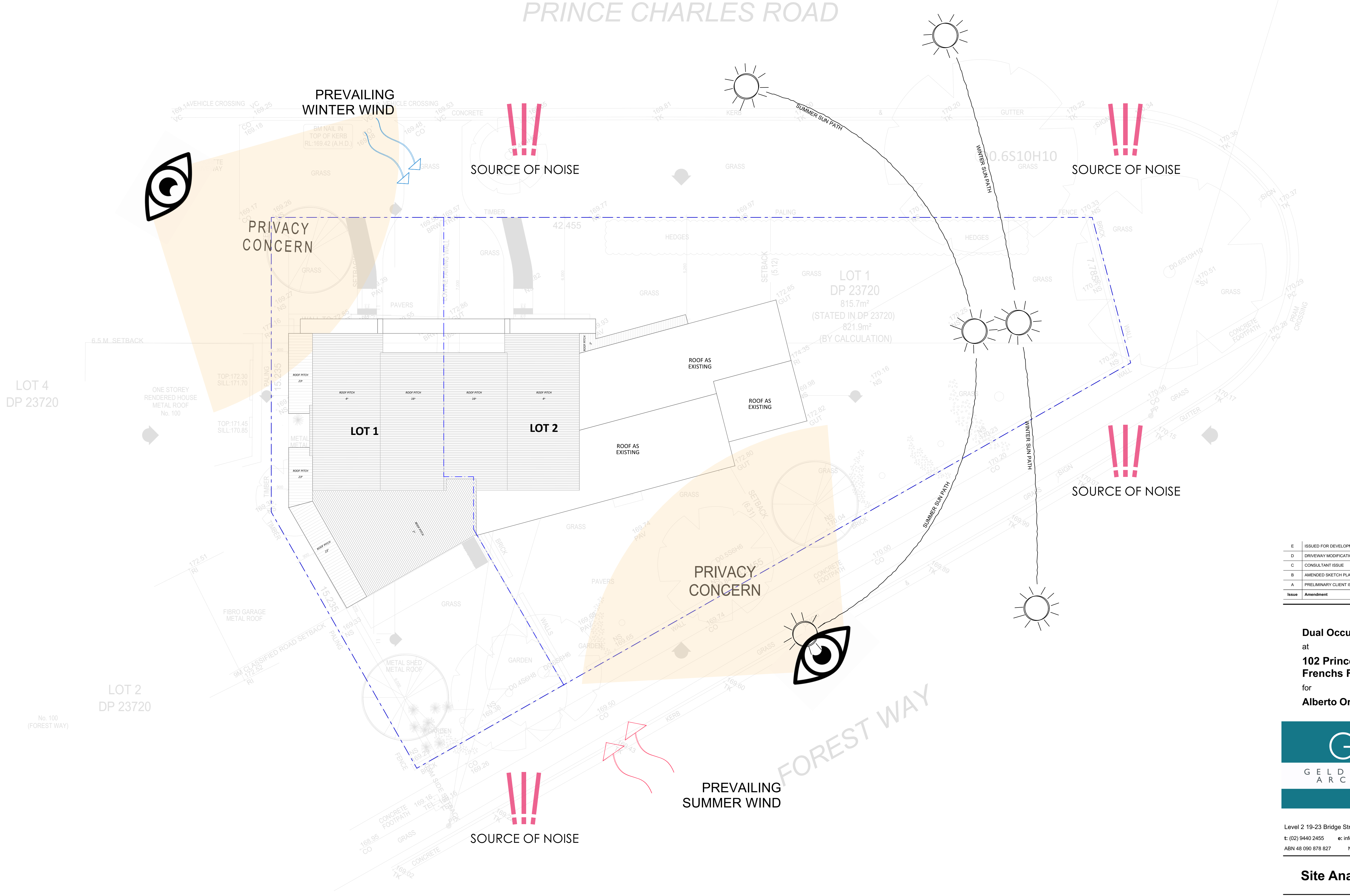
The property is
2 Design File
of this drawing

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A1 ORIGINAL SIZE



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Site Analysis

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Project No:	2169	Date:	March 2025	Issue:
Drawing No:	DA 04	Scale:	1:100	E
		Date Plotted:	26/08/2025	

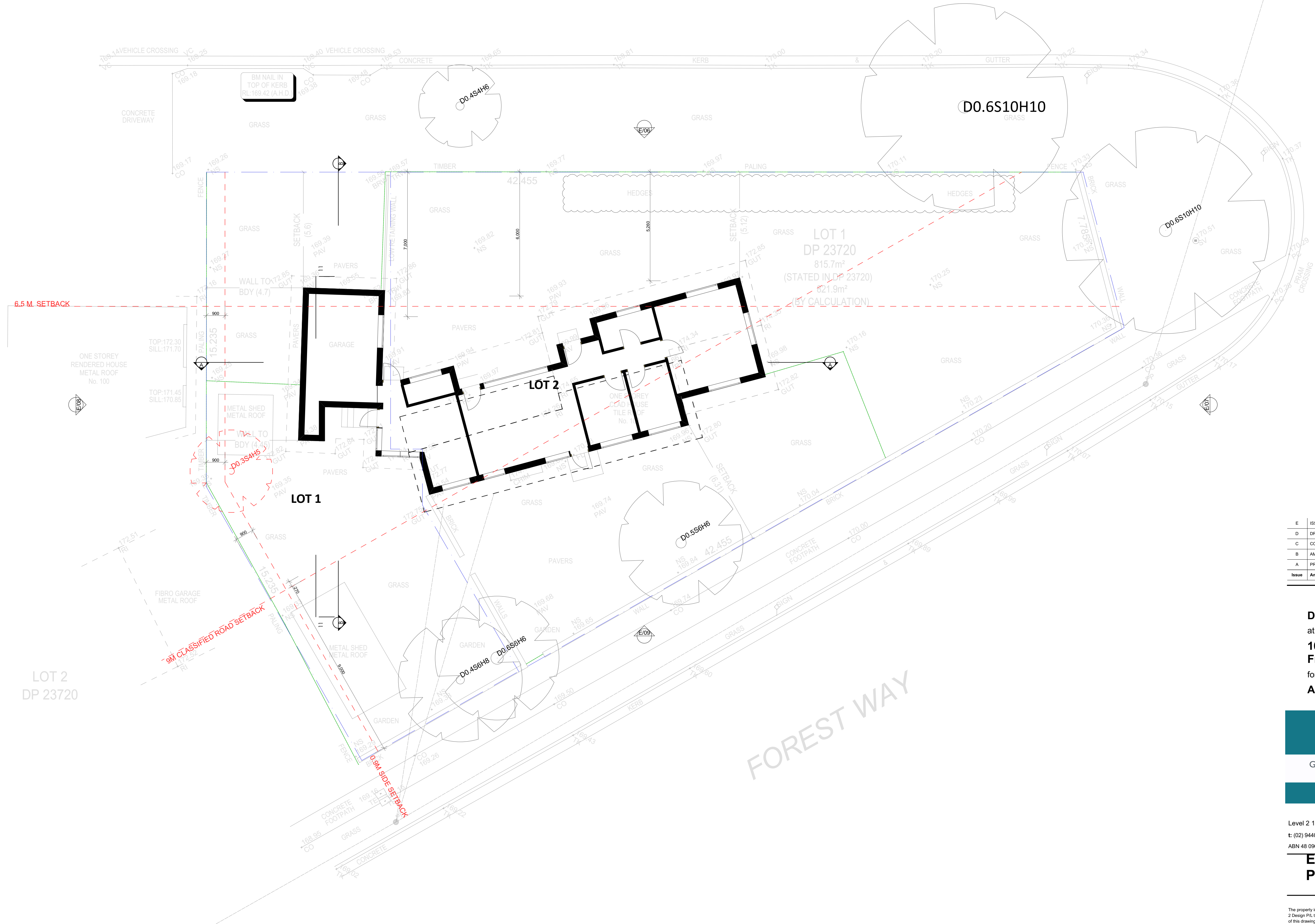
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DP 23720

PRINCE CHARLES ROAD

FOREST WAY



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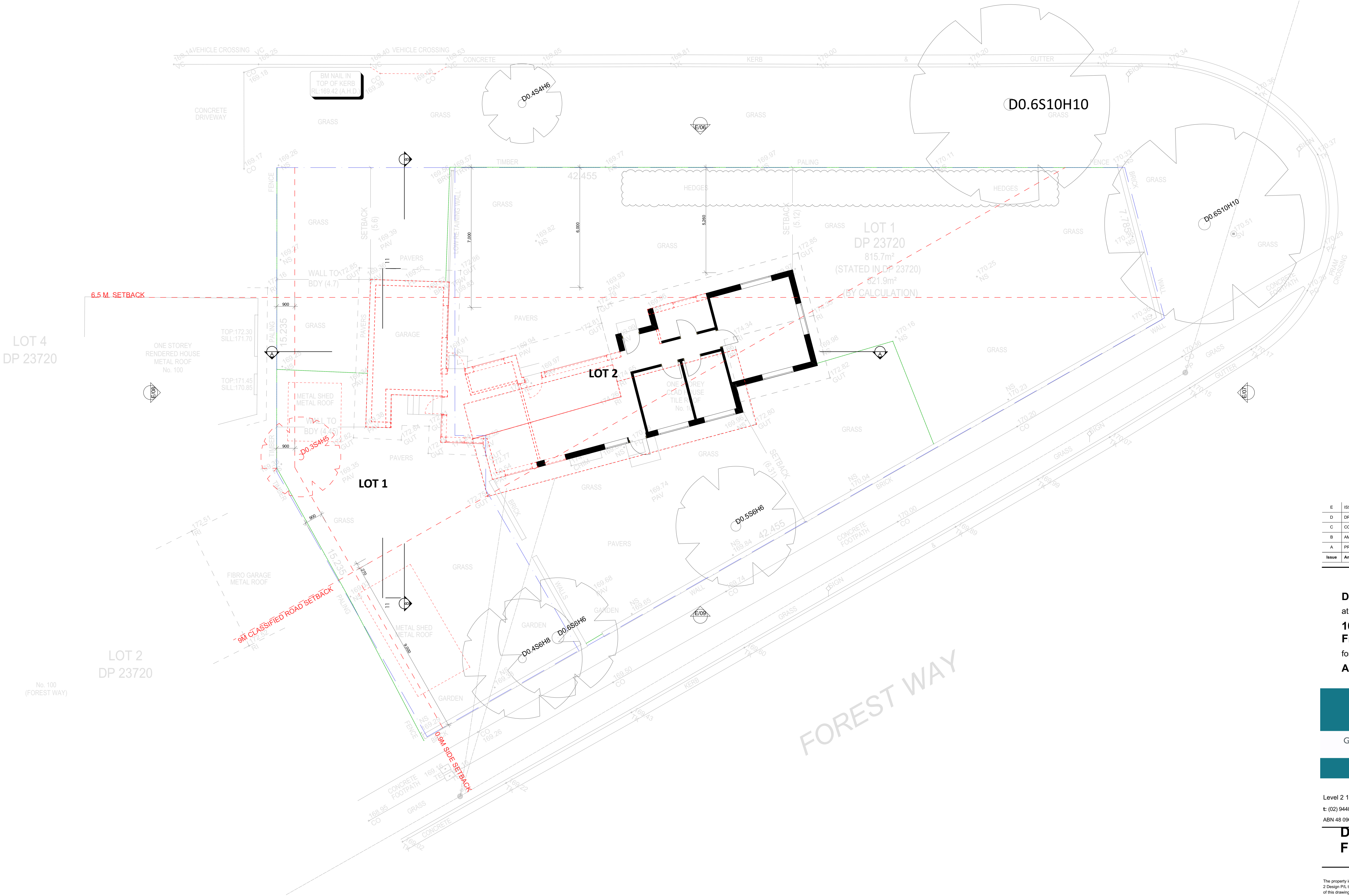
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Existing Ground Floor Plan

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Project No:	2169	Date:	March 2025	Issue:	E
Drawing No:	DA 05	Scale:	1:100	Date Plotted:	26/08/2025

PRINCE CHARLES ROAD



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Demolition Ground
Floor Plan

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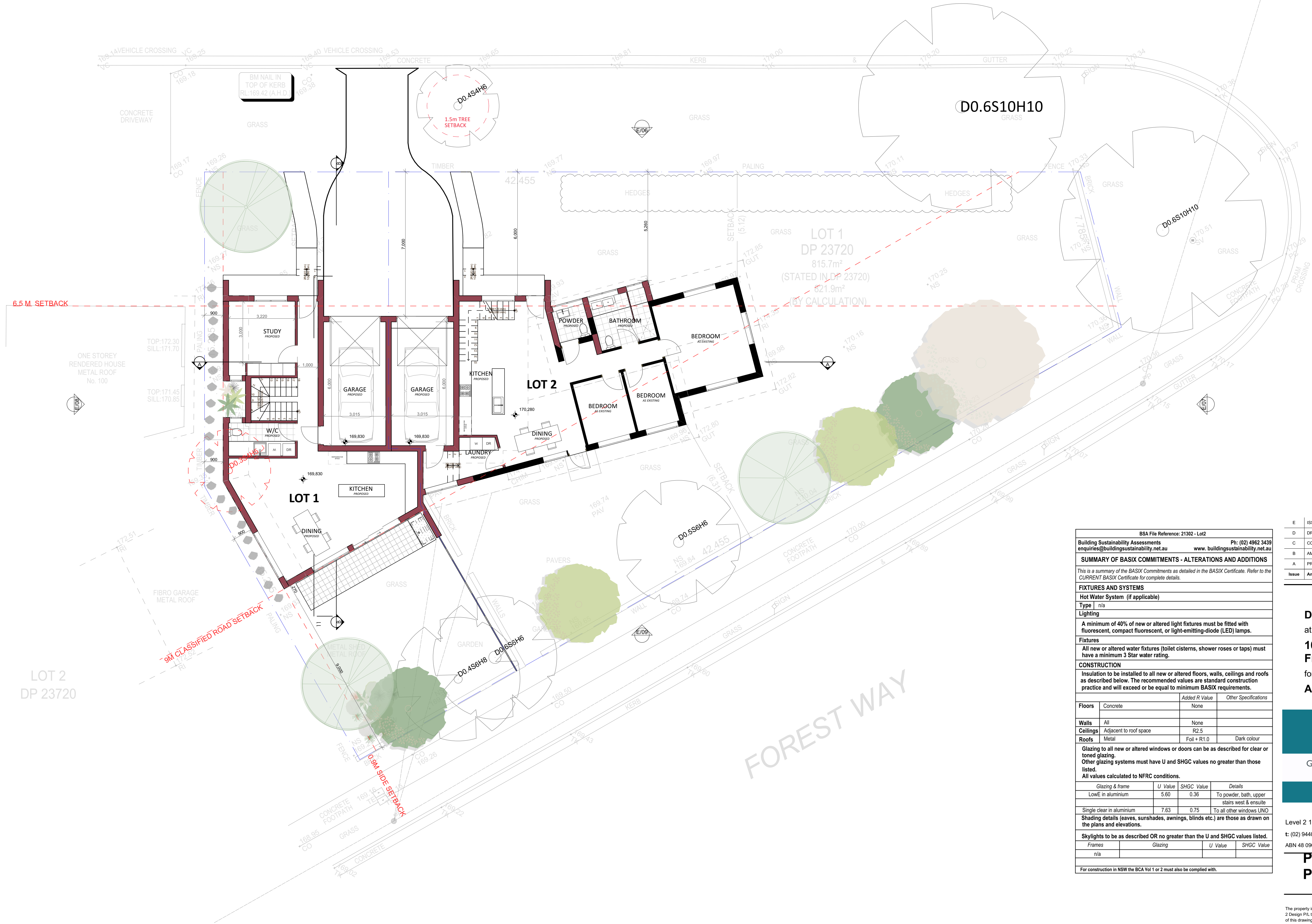
Project No:	2169	Date:	March 2025	Issue:	E
Drawing No:	DA 06	Scale:	1:100	Date Plotted:	26/08/2025

PRINCE CHARLES ROAD

LOT 4
DP 23720

LOT 2
DP 23720

No. 100
(FOREST WAY)



BSA File Reference: 21302 - Lot2			
Building Sustainability Assessments enquiries@buildingustainability.net.au		Ph: (02) 4962 3439 www.buildingsustainability.net.au	
SUMMARY OF BASIX COMMITMENTS - ALTERATIONS AND ADDITIONS			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for complete details.			
FIXTURES AND SYSTEMS			
Hot Water System (if applicable)			
Type	n/a		
Lighting			
A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures			
All new or altered water fixtures (toilet cisterns, shower roses or taps) must have a minimum 3 Star water rating.			
CONSTRUCTION			
Insulation to be installed to all new or altered floors, walls, ceilings and roofs as described below. The recommended values are standard construction practice and will exceed or be equal to minimum BASIX requirements.			
		Added R Value	Other Specifications
Floors	Concrete	None	
Walls	All	None	
Ceilings	Adjacent to roof space	R2.5	
Roofs	Metal	Foil + R1.0	Dark colour
Glazing to all new or altered windows or doors can be as described for clear or tinted glazing.			
Other glazing systems must have U and SHGC values no greater than those listed.			
All values calculated to NFRC conditions.			
	Glazing & frame	U Value	SHGC Value
	LowE in aluminium	5.60	0.36
	Single clear in aluminium	7.63	0.75
Shading details (eaves, sunshades, awnings, blinds etc.) are those as drawn on the plans and elevations.			
Skylights to be as described OR no greater than the U and SHGC values listed.			
Frames	Glazing	U Value	SHGC Value
n/a			
For construction in NSW the BCA Vol 1 or 2 must also be complied with.			

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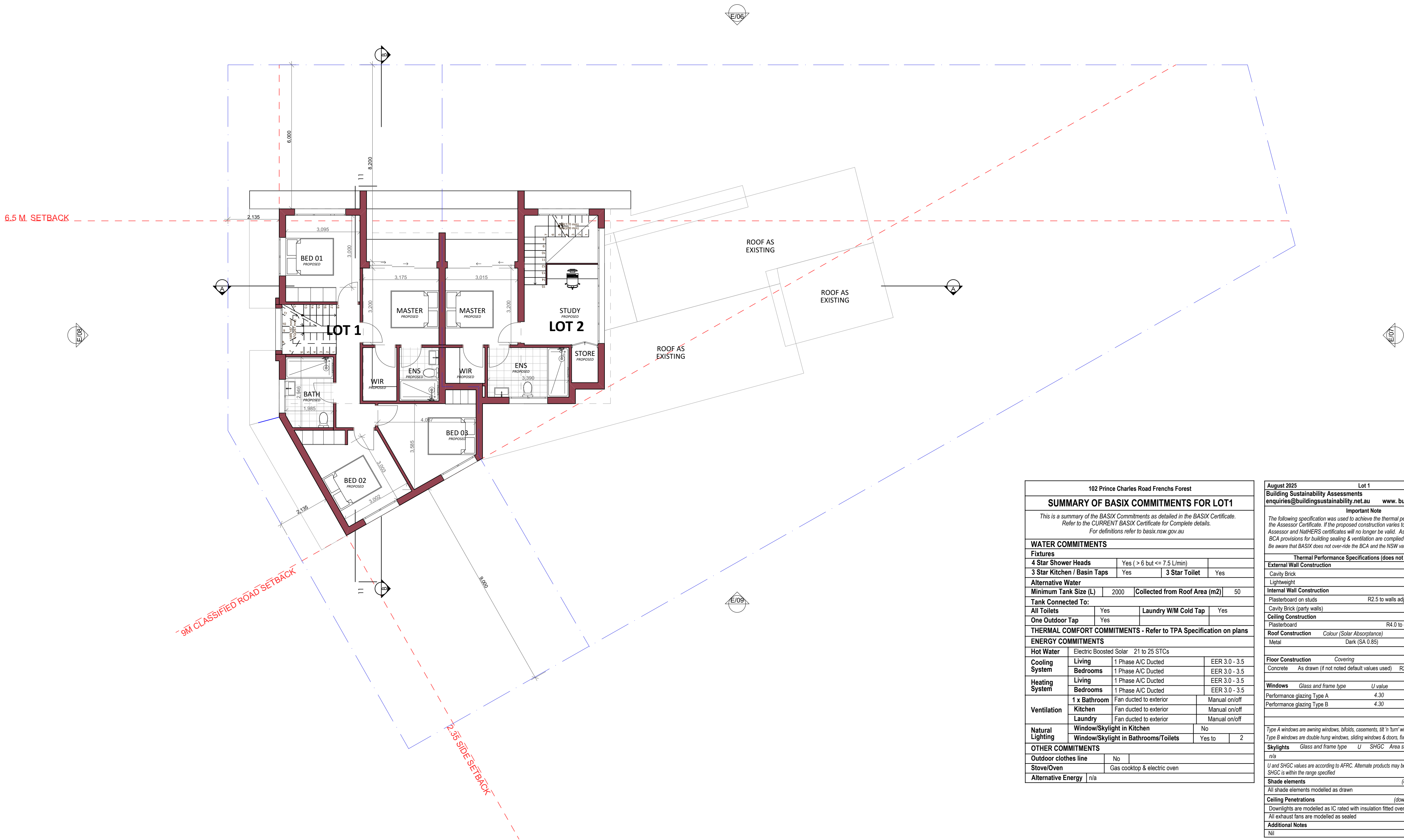


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Proposed Ground Floor
Plan

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Project No:	2169	Date:	March 2025	Issue:	E
Drawing No:	DA 07	Scale:	1:100	Date Plotted:	26/08/2025



102 Prince Charles Road Frenchs Forest			
SUMMARY OF BASIX COMMITMENTS FOR LOT1			
This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au			
WATER COMMITMENTS			
Fixtures			
4 Star Shower Heads	Yes (> 6 but <= 7.5 L/min)		
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes
Alternative Water			
Minimum Tank Size (L)	2000	Collected from Roof Area (m2)	50
Tank Connected To:			
All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		
THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans			
ENERGY COMMITMENTS			
Hot Water	Electric Boosted Solar	21 to 25 STCs	
Cooling System	Living	1 Phase A/C Ducted	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Ducted	EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Ducted	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Ducted	EER 3.0 - 3.5
Ventilation	1 x Bathroom	Fan ducted to exterior	Manual on/off
	Kitchen	Fan ducted to exterior	Manual on/off
	Laundry	Fan ducted to exterior	Manual on/off
Natural Lighting	Window/Skylight in Kitchen	No	
	Window/Skylight in Bathrooms/Toilets	Yes to	2
OTHER COMMITMENTS			
Outdoor clothes line	No		
Stove/Oven	Gas cooktop & electric oven		
Alternative Energy	n/a		

August 2025	Lot 1	BSA Reference: 21392
Building Sustainability Assessments	Ph: (02) 4962 3430	
enquiries@buildingsustainability.net.au	www.buildingsustainability.net.au	
Important Note		
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction. Be aware that BASIX does not over-ride the BCA and the NSW variations must be complied with.		
Thermal Performance Specifications (does not apply to garage)		
External Wall Construction		Added Insulation
Cavity Brick		R1.0
Lightweight		R2.5
Internal Wall Construction		Added Insulation
Plasterboard on studs	R2.5 to walls adjacent to roofspace and garage	
Cavity Brick (party walls)		None
Ceiling Construction		Added Insulation
Plasterboard	R4.0 to ceilings adjacent to roof space	
Roof Construction	Colour / Solar Absorbance	Added Insulation
Metal	Dark (SA 0.85)	Foil + R1.3 blanket
Floor Construction	Covering	Added Insulation
Concrete	As drawn (if not noted default values used)	R2.0 to floors adjacent to garage
Windows	Glass and frame type	U value SHGC Range Area sq m
Performance glazing Type A	4.30	0.45 - 0.49 As drawn
Performance glazing Type B	4.30	0.50 - 0.56 As drawn
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors		
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers		
Skylights	Glass and frame type	U SHGC Area sq m Detail
n/a		
U and SHGC values are according to AFRC. Alternative products may be used if the U value is lower & the SHGC is within the range specified		
Shade elements		(eaves, verandahs, awnings etc)
All shade elements modelled as drawn		
Ceiling Penetrations		(downlights, exhaust fans, flues etc)
Downlights are modelled as IC rated with insulation fitted over the fixtures		
All exhaust fans are modelled as sealed		
Additional Notes		
Nil		

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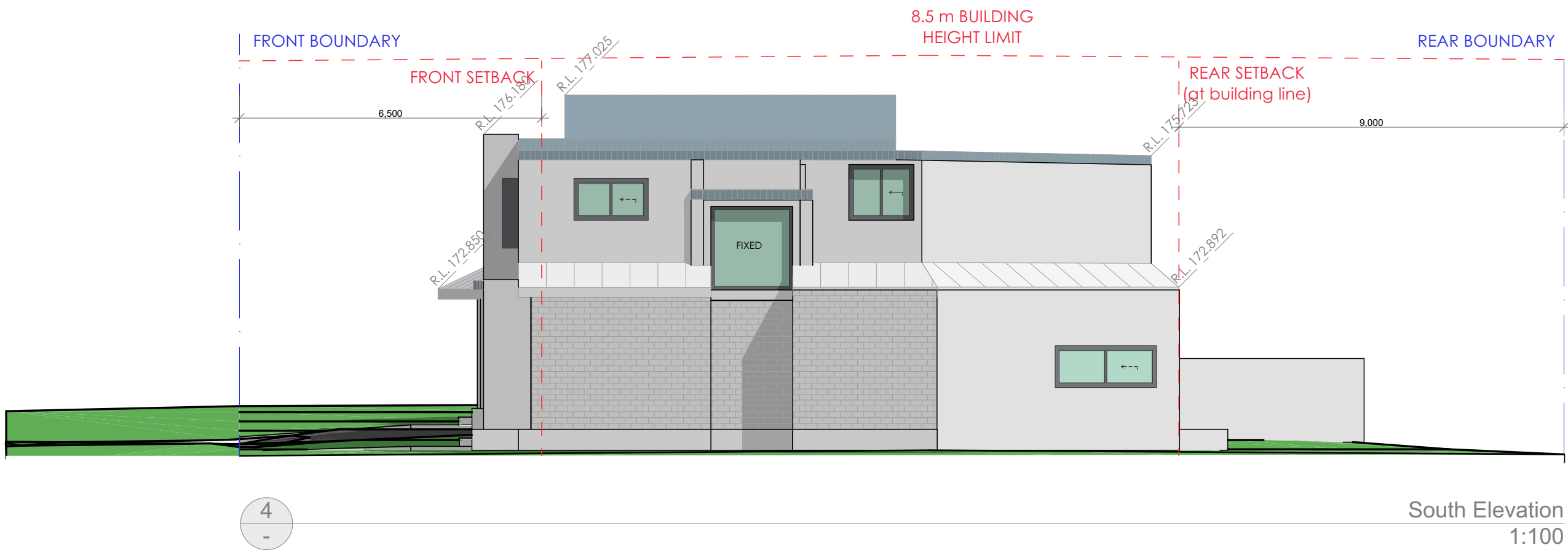
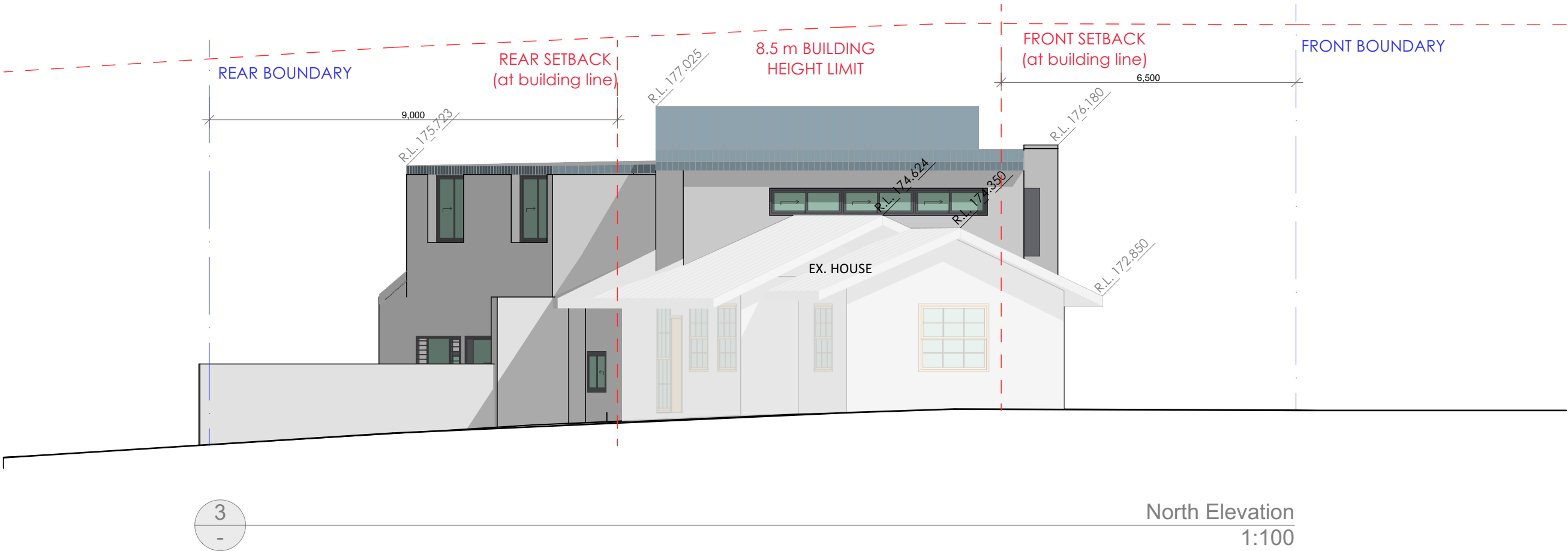
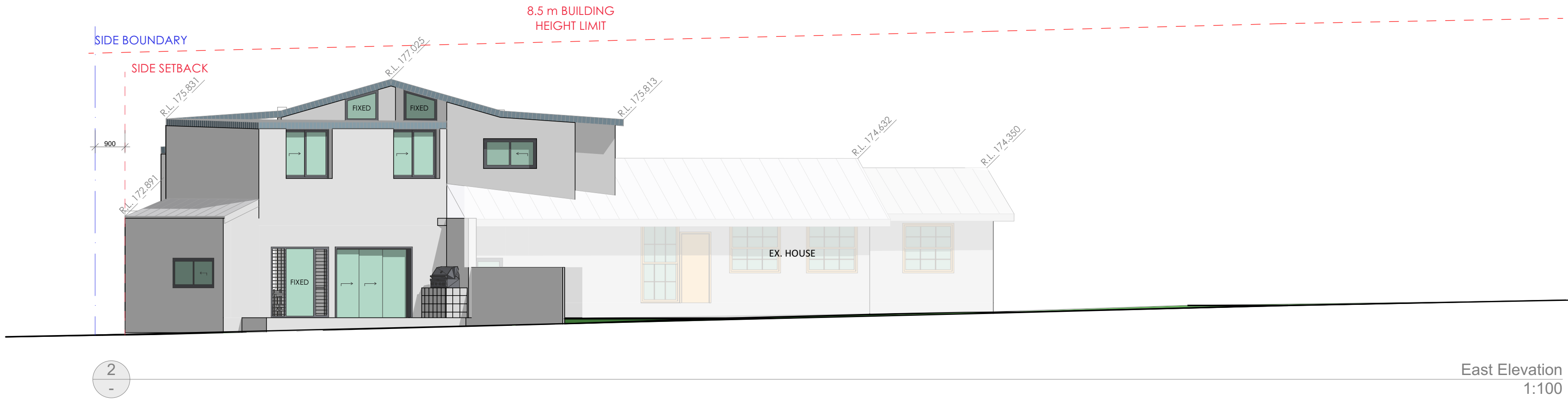
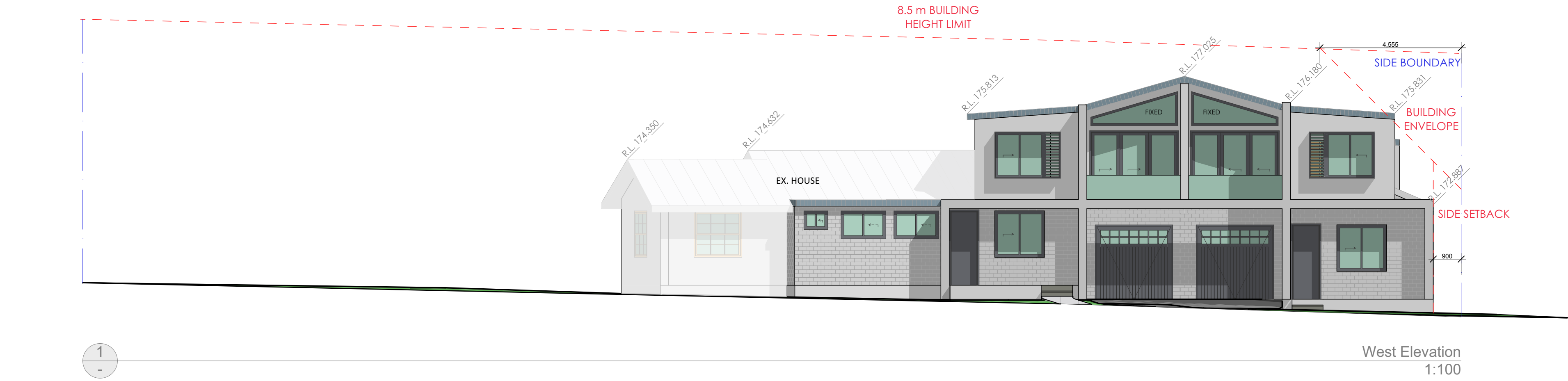
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Proposed First Floor
Plan

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Project No:	2169	Date:	March 2025	Issue	E
Drawing No:	DA 08	Scale:	1:100	Date Plotted:	26/08/2025

A1 ORIGINAL SIZE 102 Prince Charles Road, FRENCHS FOREST 01 Plan 0102 DA 01UP 01 ARCH 01 022 Y 2025



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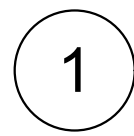
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Proposed Elevations

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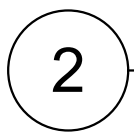
Project No:	2169	Date:	March 2025	Issue E
Drawing No:	DA 09	Scale:	1:100	
		Date Plotted:	26/08/2025	

A1 ORIGINAL SIZE 102 Prince Charles Road, FRENCHS FOREST 01 Plan 102 DA 02 UP 01 ARCH 04 022 V 01



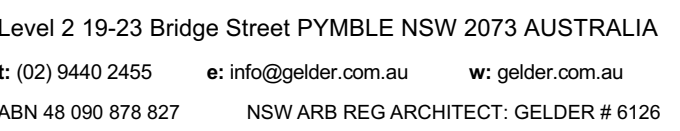
SECTION A

1:100



SECTION B
1:100

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Sections

Project No:	2169	Date:	March 2025	Issue E
Drawing No:	DA 10	Scale:	1:100	
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3D Model Perspectives



North Perspective



North East Perspective



West Perspective

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3D Views

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Project No:	2169	Date:	March 2025	Issue	E
Drawing No:	DA 11	Scale:			
		Date Plotted:	26/08/2025		



Internal GFA	
Lot	Area (m2)
Lot 1 FF	66.80
Lot 1 GF	90.39
Lot 2 FF	33.03
Lot 2 GF.	115.65

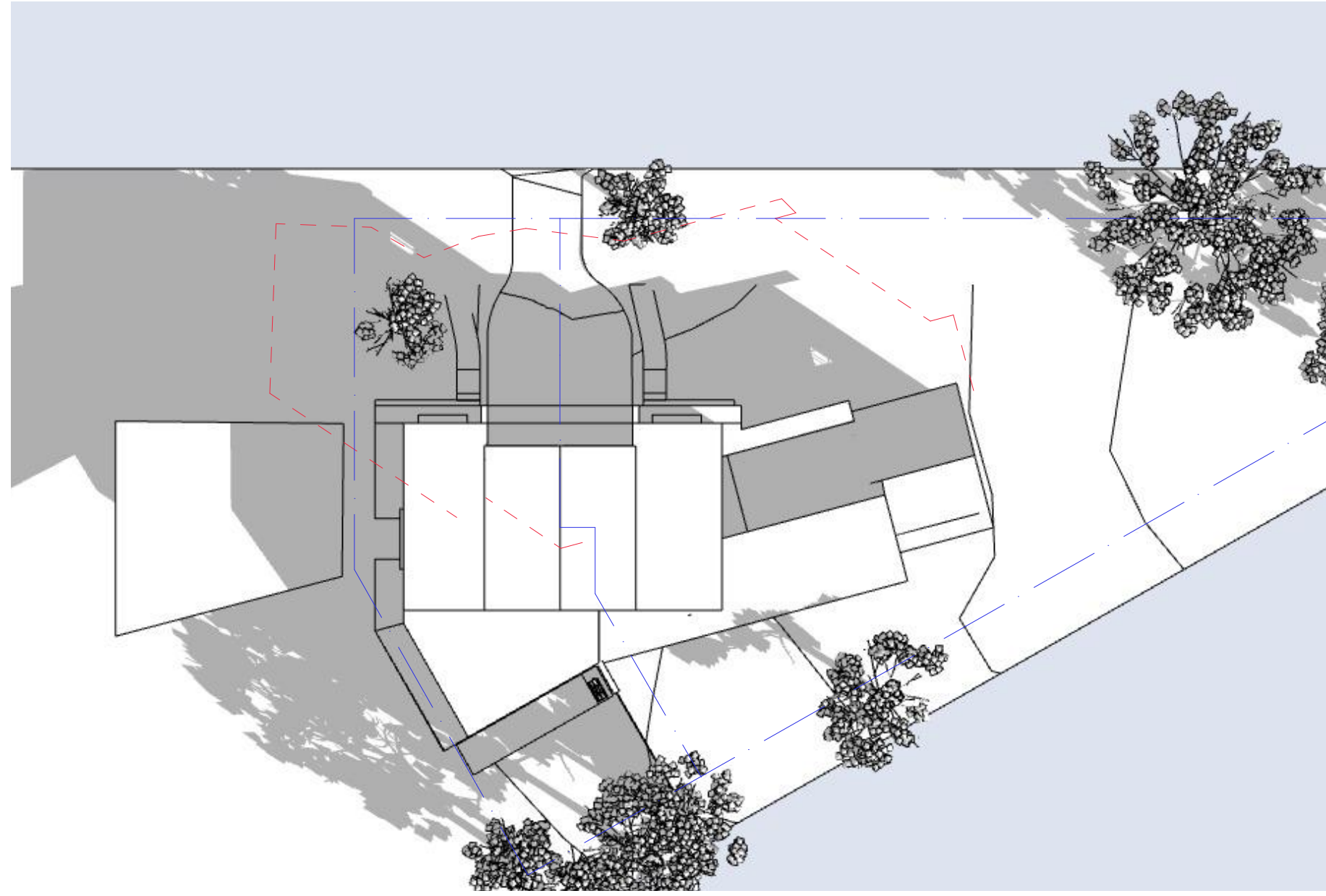
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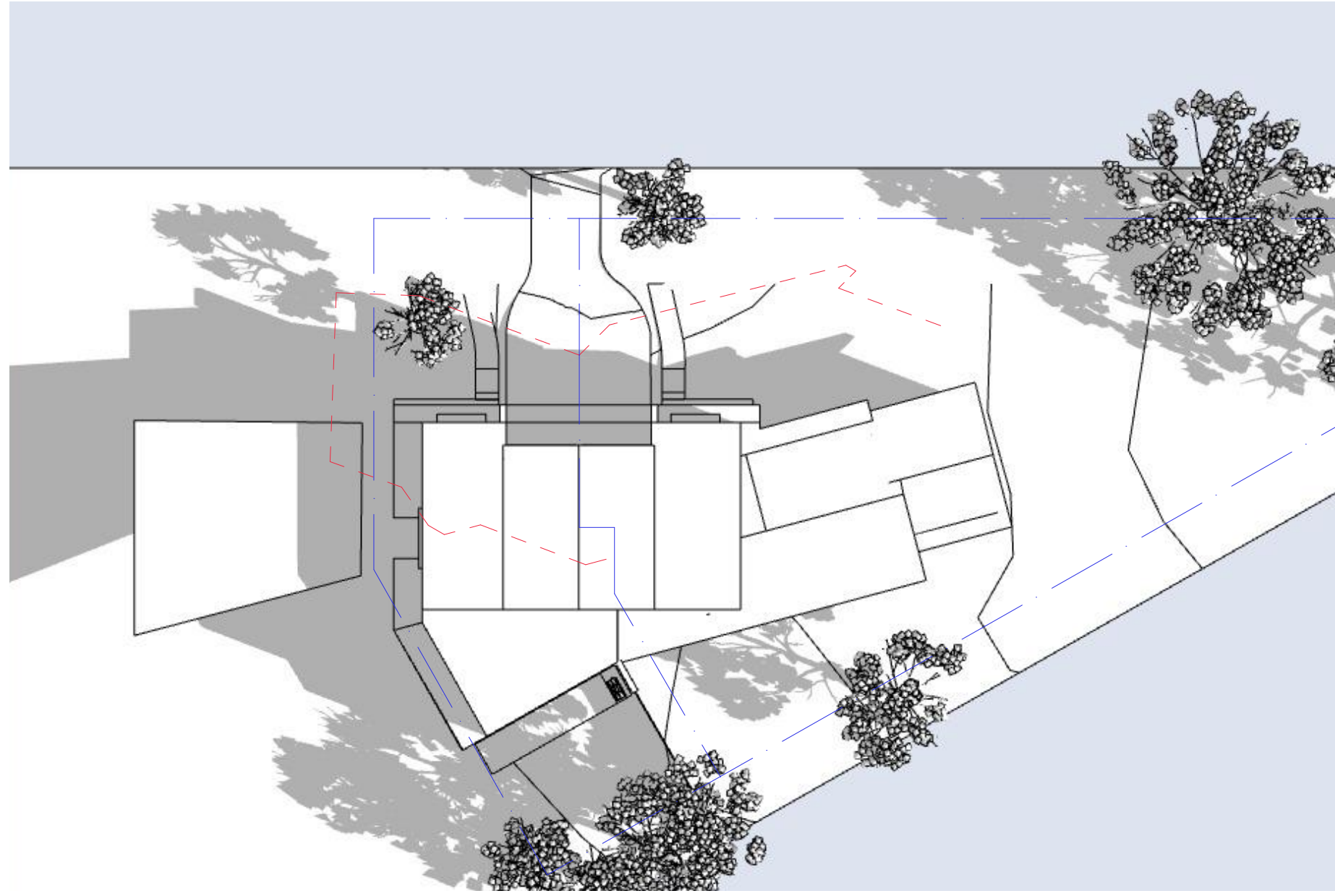
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A1 ORIGINAL SIZE

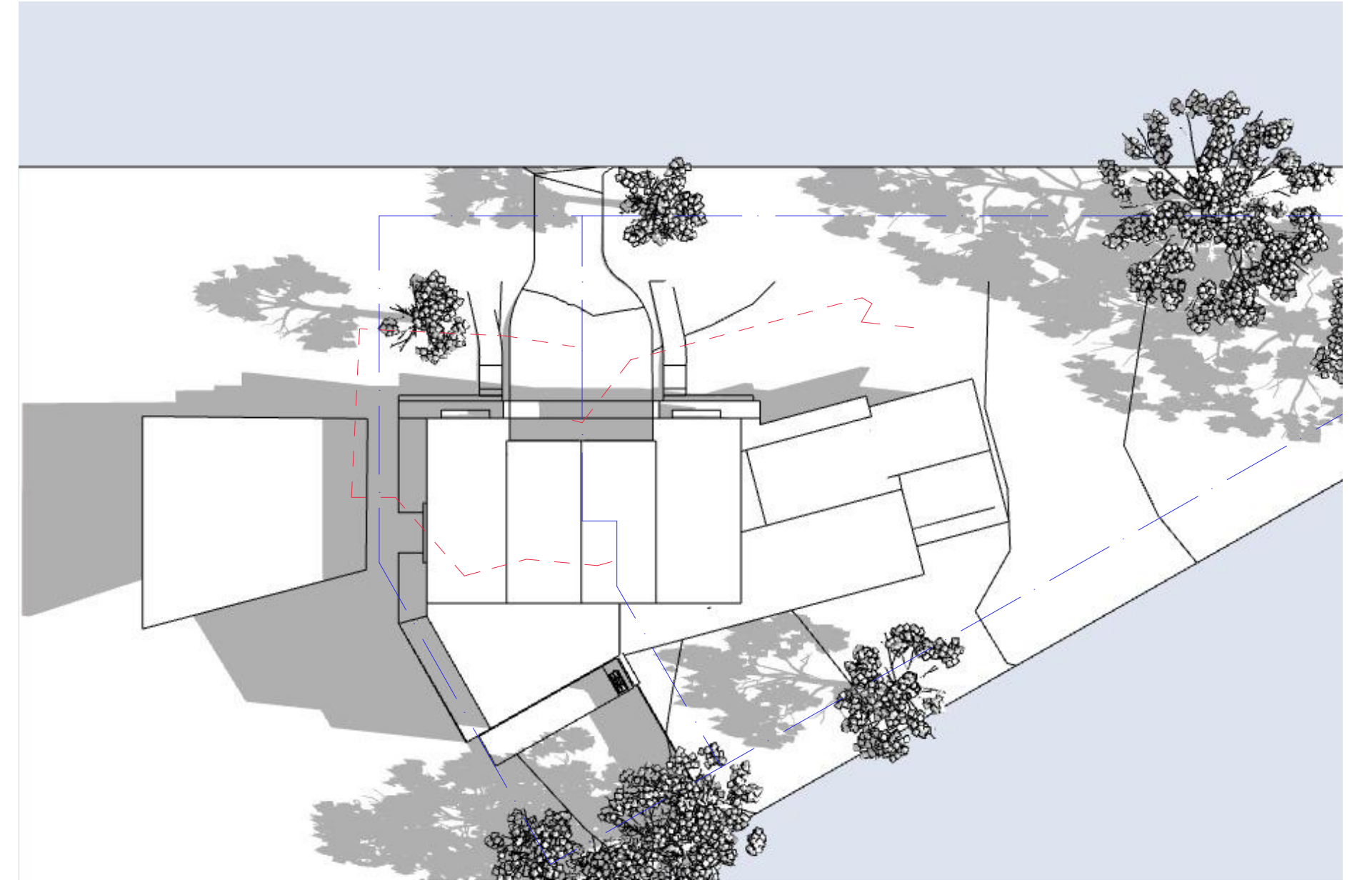
Sun Study/ Shadow Analysis - 21st June



1 9am - Winter Solstice



2 10am - Winter Solstice



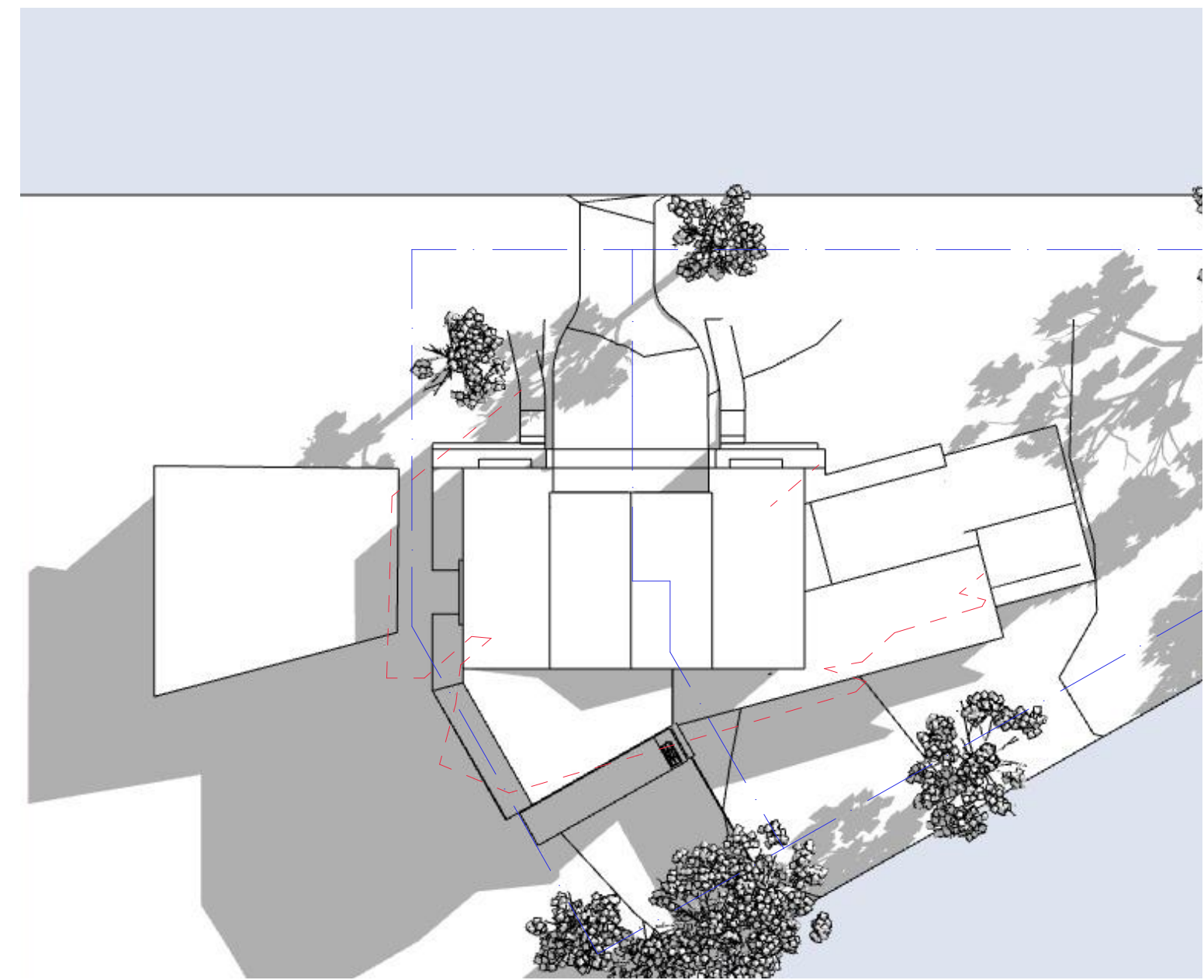
3 11am - Winter Solstice



4 12pm - Winter Solstice



5 1pm - Winter Solstice



6 2pm - Winter Solstice

Existing Shadows

Proposed Shadows

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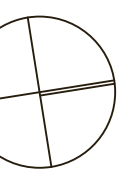
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GGA
GELDER GROUP
ARCHITECTS

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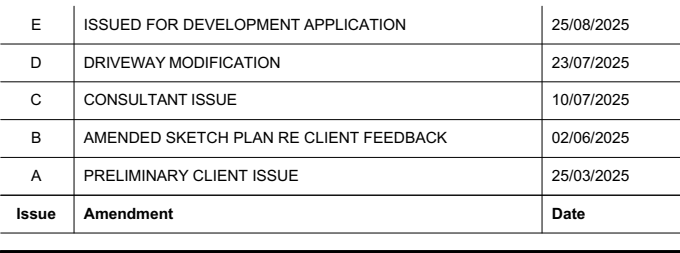
Shadow Analysis

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Project No:	2169	Date:	March 2025	Issue
Drawing No:	DA 13	Scale:		
		Date Plotted:	26/08/2025	

A1 ORIGINAL SIZE



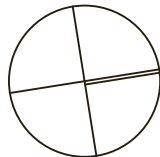
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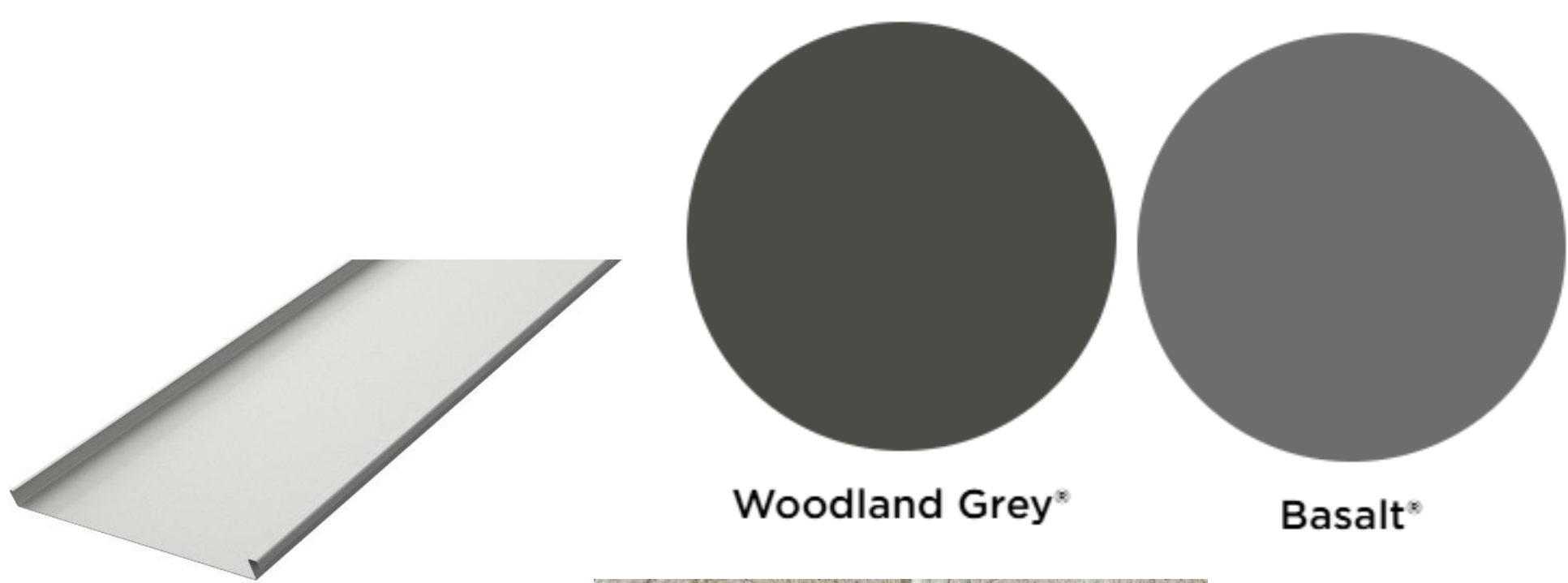
Excavation and Fill

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Project No:	2169	Date:	March 2025	Issue E
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External Materials and Finishes Schedule



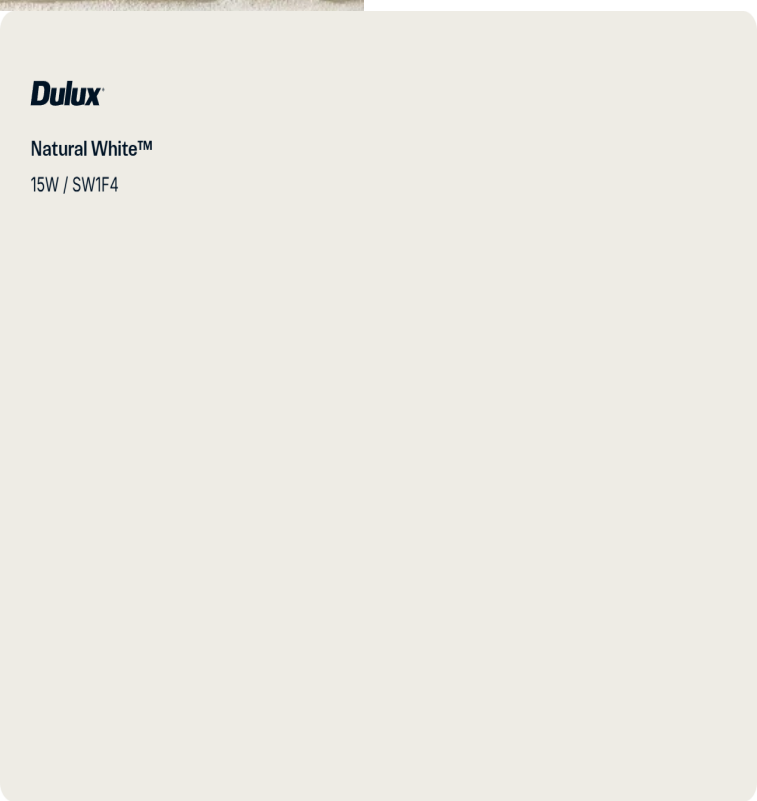
ROOF - PREFINISHED STEEL ROOFING
'COLORBOND', 'BASALT', 'WOODLAND GREY' OR
SIMILAR
GUTTERS - COLORBOND DOWNPIPES TO MATCH
WALL COLOUR OR SIMILAR



WALLS - FACEBRICK 'AUSTRAL BRICKS
SAN SELMO' SMOKED GREY
CASHMERE OR SIMILAR



WINDOW FRAMES -
DURALLOY - 'BAYSALT SATIN
2727865S'
WINDOW SASHES AND TRIMS
DURALLOY - 'SHOJI WHITE
SATIN 27284682'
OR SIMILAR



WALLS - RENDER PAINT FINISH
DULUX 'NATURAL WHITE'
SW1F4 OR SIMILAR



ARCHITECTURAL ELEMENTS
ON FACADE, CONCRETE
FINISH



FRONT FENCE / GATES
COLORBOND 'BASALT'
OR SIMILAR

E	ISSUED FOR DEVELOPMENT APPLICATION	25/08/2025
D	DRIVEWAY MODIFICATION	23/07/2025
C	CONSULTANT ISSUE	10/07/2025
B	AMENDED SKETCH PLAN RE CLIENT FEEDBACK	02/06/2025
A	PRELIMINARY CLIENT ISSUE	25/03/2025
Issue	Amendment	Date

Dual Occupancy
at
102 Prince Charles Road,
Frenchs Forest
for
Alberto Origlia



Level 2 19-23 Bridge Street PYMBLE NSW 2073 AUSTRALIA
t: (02) 9440 2455 e: info@gelder.com.au w: gelder.com.au
ABN 48 090 878 827 NSW ARB REG ARCHITECT: GELDER # 6126

Material Schedule

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Project No:	2169	Date:	March 2025	Issue
Drawing No:	DA 15	Scale:		E
		Date Plotted:	26/08/2025	

[illegible]

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A1 ORIGINAL SIZE

Site Photographs



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Site Photos

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Project No:	2169	Date:	March 2025	Issue	E
Drawing No:	DA 17	Scale:			
		Date Plotted:	26/08/2025		