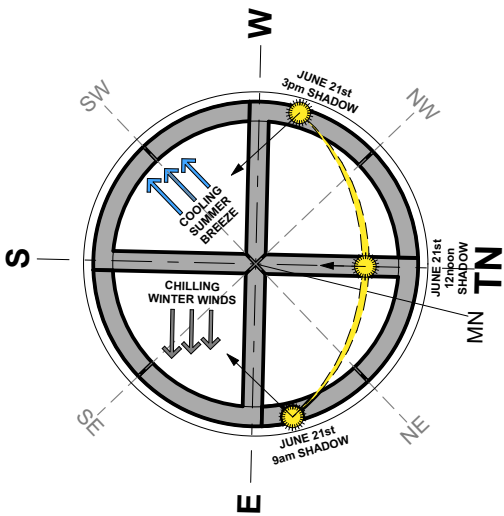




LEGEND

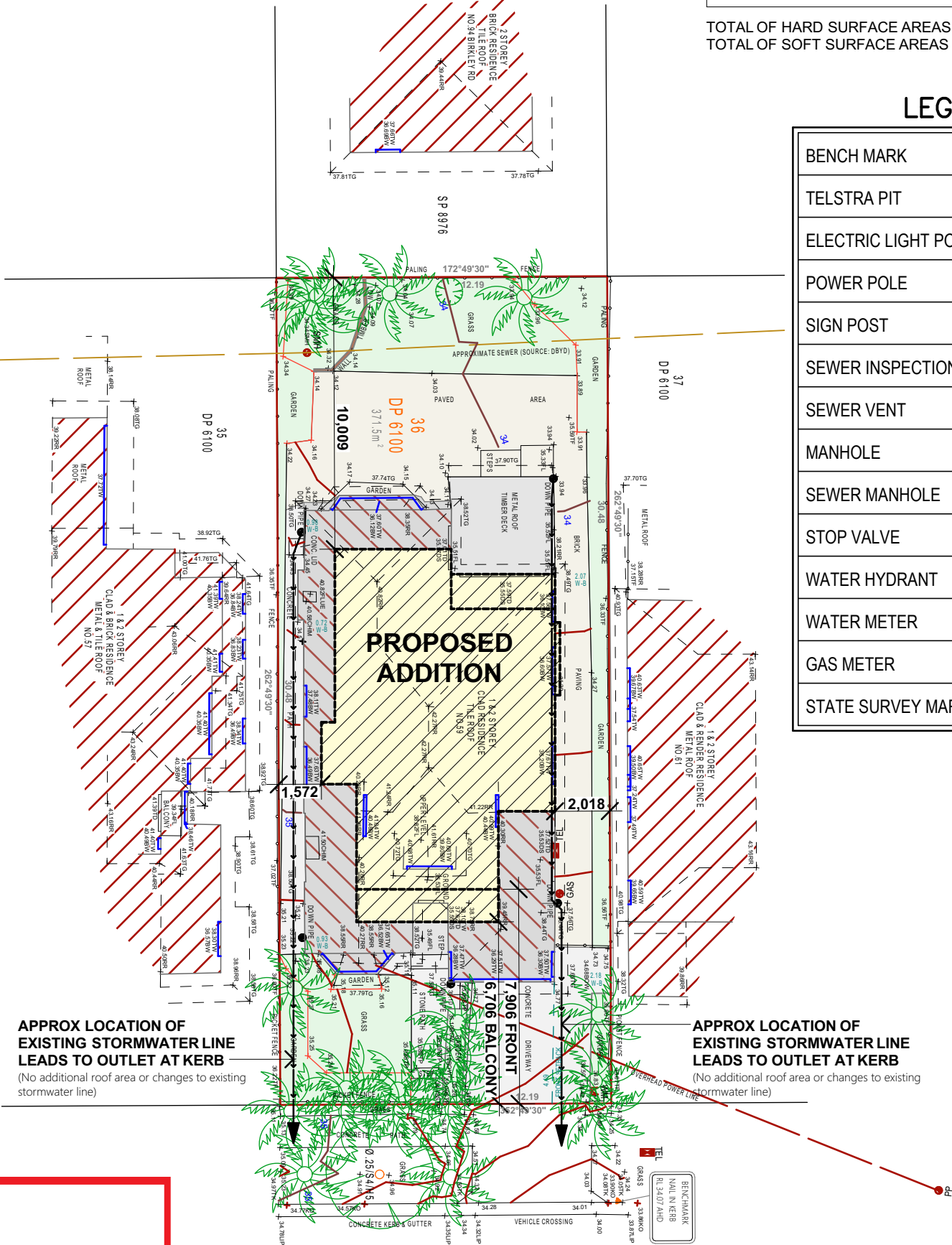
- TF - TOP OF FENCE
TK - TOP OF KERB
LIP - LIP OF KERB
KO - KERB OUTLET
CL - CENTRE LINE OF ROAD
TW - TOP OF WINDOW
BW - BOTTOM OF WINDOW
TG - TOP OF GUTTER
RR - ROOF RIDGE
FL - FLOOR LEVEL
DS - DOOR STEP
TD - TOP OF DOOR
Ø.4/S10/H16 - TREE DIAMETER/SPREAD/HEIGHT

SITE AREA CALCULATION	
NAME	Area
1. SITE AREA	371.5
2. EXISTING FOOTPRINT	148.1
3. PROPOSED FIRST FLOOR	84.1
4. PROPOSED F/F BALCONY 1	6.3
5. PROPOSED F/F BALCONY 2	4.6
6. FRONT PORCH	2.5
7. REAR TIMBER DECK	13.7
8. PAVED AREAS	66.8
9. HARD SURFACE	45.1
10. SOFT SURFACE	97.2

TOTAL OF HARD SURFACE AREAS 274.3 m² - 74%
TOTAL OF SOFT SURFACE AREAS 97.2 m² - 26%

LEGEND

BENCH MARK	▲
TELSTRA PIT	TEL
ELECTRIC LIGHT POLE	LP
POWER POLE	PP
SIGN POST	SP
SEWER INSPECTION PIT	SIP
SEWER VENT	SEWER
MANHOLE	MH
SEWER MANHOLE	SMH
STOP VALVE	SV
WATER HYDRANT	HYD
WATER METER	WM
GAS METER	GM
STATE SURVEY MARK	SSM



APPROX LOCATION OF
EXISTING STORMWATER LINE
LEADS TO OUTLET AT KERB
(No additional roof area or changes to existing
stormwater line)

APPROX LOCATION OF
EXISTING STORMWATER LINE
LEADS TO OUTLET AT KERB
(No additional roof area or changes to existing
stormwater line)



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QUINTON ROAD

SITE PLAN



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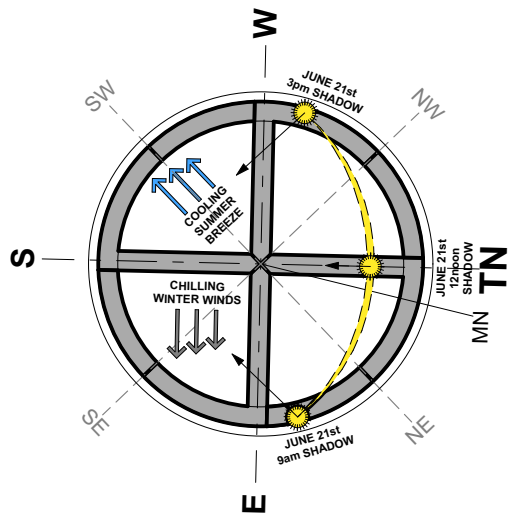
DESIGNERS & BUILDERS
EXTEND-A-HOME CONSTRUCTIONS PTY LTD
A.C.N. 053 669 373
100 QUEENS ROAD,
FIVE DOCK, N.S.W. 2046
TELEPHONE: (02) 9736 3344.

PROPOSED ADDITION AND ALTERATIONS
TO RESIDENCE

NAME: Mr F Gorrings & Ms C Gatzen
ADDRESS: 59 Quinton Road, Manly. NSW. 2095.

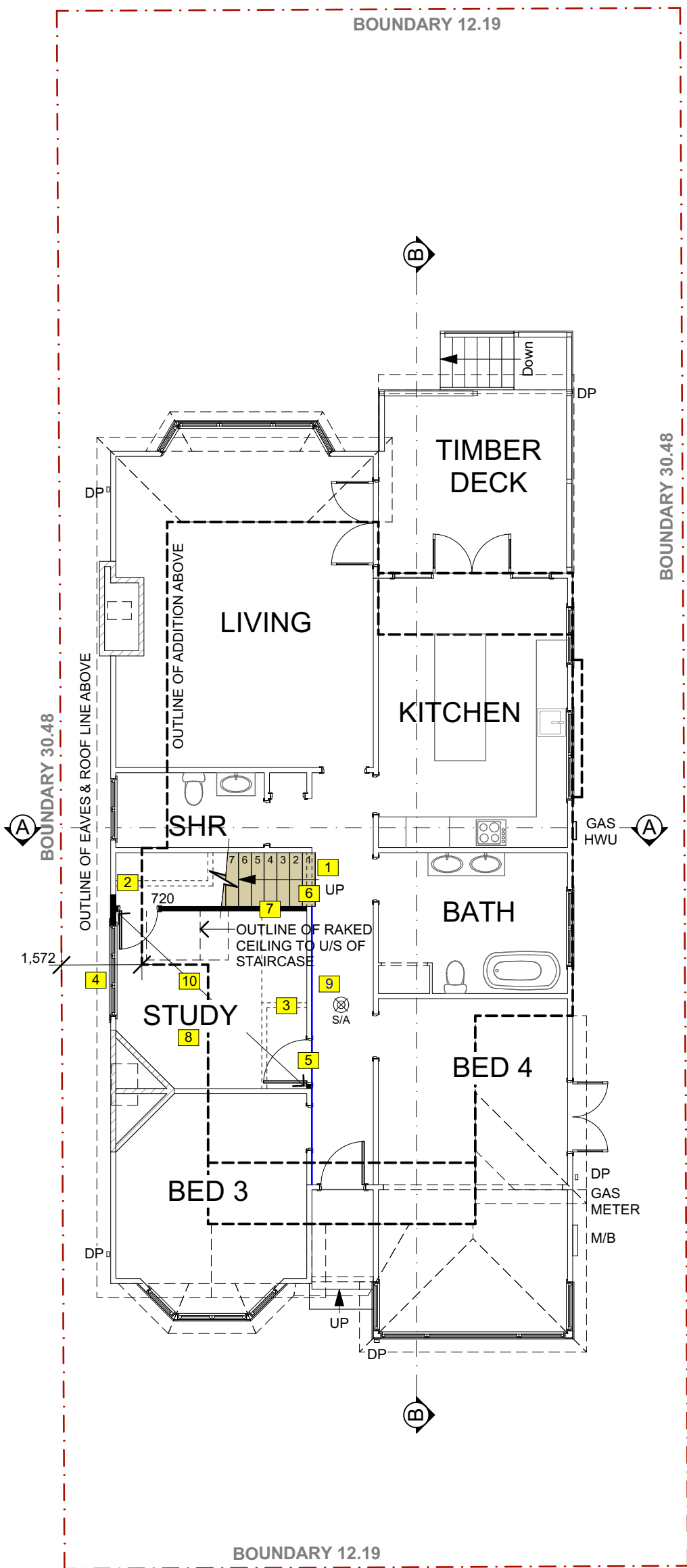
SITE PLAN

DATE	1/12/2023	SCALE	SHEET NO	ISSUE
DRAWN BY:	NOEL C	1:200 @ A3	A3-2	C
DESIGN BY:	DAREK S			
				DRAWING JOB NO
				3457



GROUND FLOOR ALTERATIONS:

1. REMOVE EXISTING DOOR AND SAVE FOR REUSE.
2. DEMOLISH EXISTING WARDROBE.
3. DEMOLISH EXISTING ATTIC STAIRCASE WALLS AND REMOVE EXISTING STAIRCASE.
4. REMOVE EXISTING WINDOW, ALTER OPENING AND INSTALL EXISTING WINDOW INTO NEW POSITION. EXTERNAL PAINT THE WALL BETWEEN THE 2 FIREPLACES TO THE AREA AFFECTED THE REMOVAL AND RELOCATION OF THE EXISTING WINDOW.
5. INSTALL EXISTING DOOR TO NEW POSITION.
6. CREATE FULL HEIGHT OPENING TO ALLOW FOR INSTALLATION OF NEW STAIRCASE.
7. CONSTRUCT NEW WALL TO ENCLOSE STAIRCASE AND FORM THE STORAGE CUPBOARD WITH SQUARE SET CORNICE.
8. CARRY OUT PAINTING OF STUDY AND SAND AND SEAL STUDY FLOOR.
9. CARRY OUT PAINTING OF HALL / BEDROOM 3 - STUDY WALL.
10. RELOCATE EXISTING CEILING ROSETTE AND THE EXISTING PENDANT LIGHT FITTING IT CONTAINS.



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- * S/A is SMOKE ALARM
- * ALL DIMENSIONS TO BE CHECKED & CONFIRMED ON SITE.

GROUND FLOOR PLAN

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100 QUEENS ROAD,
FIVE DOCK, N.S.W. 2046
TELEPHONE: (02) 9736 3344.

PROPOSED ADDITION AND ALTERATIONS TO RESIDENCE

NAME: Mr F Gorringe & Ms C Gatzen
ADDRESS: 59 Quinton Road, Manly. NSW. 2095.

EXISTING GROUND FLOOR PLAN

DATE	1/12/2023	SCALE	SHEET NO	DRAWING JOB NO
DRAWN BY:	NOEL C	1:100 @ A3	A3-4	3457
DESIGN BY:	DAREK S			

ISSUE
C

TELEPHONE: (02) 9736 3344.

SUPPLY AND FIX TIMBER WINDOWS TO NEW FIRST FLOOR ADDITION WITH ALUMINIUM FLYSCREENS.
NOTE: W1, W2, W3, W4, W11, W12, W13 & W14 TO BE FITTED WITH COLONIAL BARS.

27° 510
1000
ROOF PITCH
FRONT GABLE

550mm x 700mm FIXED VELUX SKY WINDOW

PROPOSED RIDGE

▽ R.L. 43,234

OUTLINE OF EXISTING ROOF LINE & ATTIC.
DEMOLISH EXISTING ATTIC TO ALLOW FOR NEW FIRST FLOOR.

U/SIDE C/JOISTS

▽ R.L. 41,865

TIMBER FRENCH COLONIAL HINGED DOORS.
NO FLYSCREEN.

LINEA 180mm
WEATHERBOARD CLADDING

SUPPLY AND FIX COLORBOND
NEW QUAD GUTTERING.
100mm x 50mm DOWNPIPES.

EXTEND BARGE BOARD 300mm
FROM POST

T/SIDE FLOORING

▽ R.L. 39,115

U/SIDE C/LINING

▽ R.L. 38,585

RETILE LOWER PITCHED ROOF AREAS WITH
NEW NEW LUTUM SHINGLE LOOK TERRA
COTTA TILES WITH HEAVY DUTY SARKING.
PROVIDE NEW VALLEYS AND R -3.5 INSULATION
BATTS TO LOWER ROOF.

CONSTRUCT TILED DECK WITH SCYON FIBRE
CEMENT SHEET - INSTALL POLYURETHANE
MEMBRANE OVER WITH TILE FINISH.
INSTALL SOLID BALUSTRADING WITH VERTICAL
BALUSTRADING ON TOP. INSTALL PANELLED
CEILING LINING TO BALCONY 1 CEILING.

T/SIDE FLOORING

▽ R.L. 35,530

EAST ELEVATION

550mm x 700mm FIXED VELUX SKY WINDOW

NEW LUTUM SHINGLE LOOK TERRA COTTA TILES
WITH HEAVY DUTY SARKING.

PROPOSED RIDGE

▽ R.L. 43,234

SUPPLY AND FIX TIMBER STACKER SLIDING DOOR
WITH TIMBER FLYSCREEN.

U/SIDE C/JOISTS

▽ R.L. 41,865

SUPPLY AND INSTALL COLORBOND ROOF
OVER REAR BALCONY SUPPORTED BY
EXPOSED RAFTERS WITH SET CEILING
LINING COMPLETE WITH COLORBOND
GUTTERING AND DOWNPIPE.

POWDER COATED SLATTED AWNING
MIN: PROJECTION 600mm

450mm WIDE EAVES RAKED.
TREATED PINE EXPOSED RAFTERS WITH VEE
JOINTED PINE INSTALLED ON TOP OF RAFTERS
AND ENCLOSED BETWEEN RAFTERS WITH SOLID
BLOCKING.

T/SIDE FLOORING

▽ R.L. 39,115

U/SIDE C/LINING

▽ R.L. 38,585

REMOVE EXISTING METAL ROOF FROM
EXISTING ROOF AND REPLACE WITH
KLIPLOCK COLORBOND ROOF INCLUDING
INSULBLANKET

RETILE LOWER PITCHED ROOF AREAS WITH
NEW NEW LUTUM SHINGLE LOOK TERRA
COTTA TILES WITH HEAVY DUTY SARKING.
PROVIDE NEW VALLEYS AND R -3.5 INSULATION
BATTS TO LOWER ROOF.

T/SIDE FLOORING

▽ R.L. 35,530

WEST ELEVATION



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EXTEND-A-HOME CONSTRUCTIONS PTY LTD

A.C.N. 053 669 373

100 QUEENS ROAD,
FIVE DOCK. N.S.W. 2046

TELEPHONE: (02) 9736 3344.

**PROPOSED ADDITION AND ALTERATIONS
TO RESIDENCE**

NAME: Mr F Gorringer & Ms C Gatzen

ADDRESS: 59 Quinton Road, Manly. NSW. 2095.

EAST & WEST ELEVATIONS

DATE 1/12/2023

SCALE

SHEET NO

ISSUE
C

DRAWING JOB NO

DRAWN BY: NOEL.C
DESIGN BY: DAREK.S

1:100 @ A3

A3-6

3457

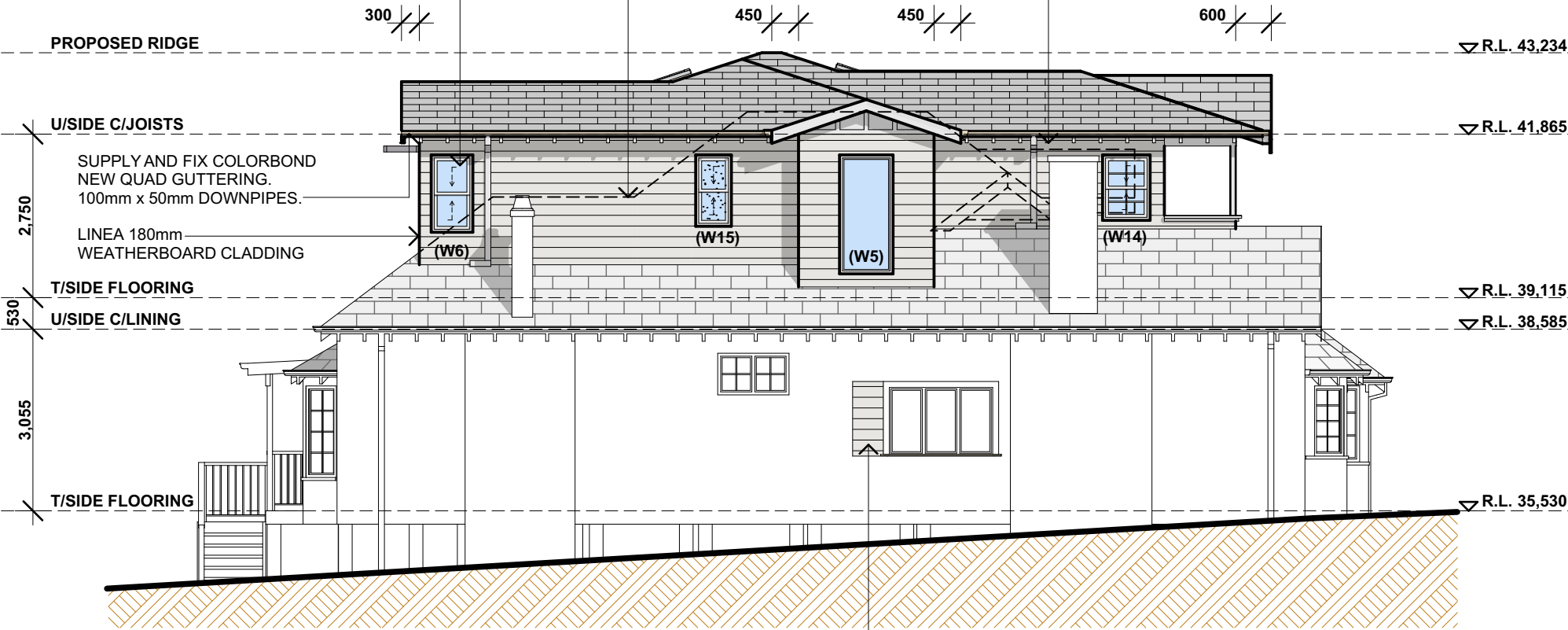
B LIC. 26113C

...it's a new level of living!

OUTLINE OF EXISTING ROOF LINE & ATTIC.
DEMOLISH EXISTING ATTIC TO ALLOW FOR NEW FIRST FLOOR.

SUPPLY AND FIX TIMBER WINDOWS TO NEW FIRST FLOOR ADDITION WITH ALUMINIUM FLYSCREENS.
NOTE: W1, W2, W3, W4, W11, W12, W13 & W14 TO BE FITTED WITH COLONIAL BARS.

450mm WIDE EAVES RAKED.
TREATED PINE EXPOSED RAFTERS WITH VEE JOINTED PINE INSTALLED ON TOP OF RAFTERS AND ENCLOSED BETWEEN RAFTERS WITH SOLID BLOCKING.

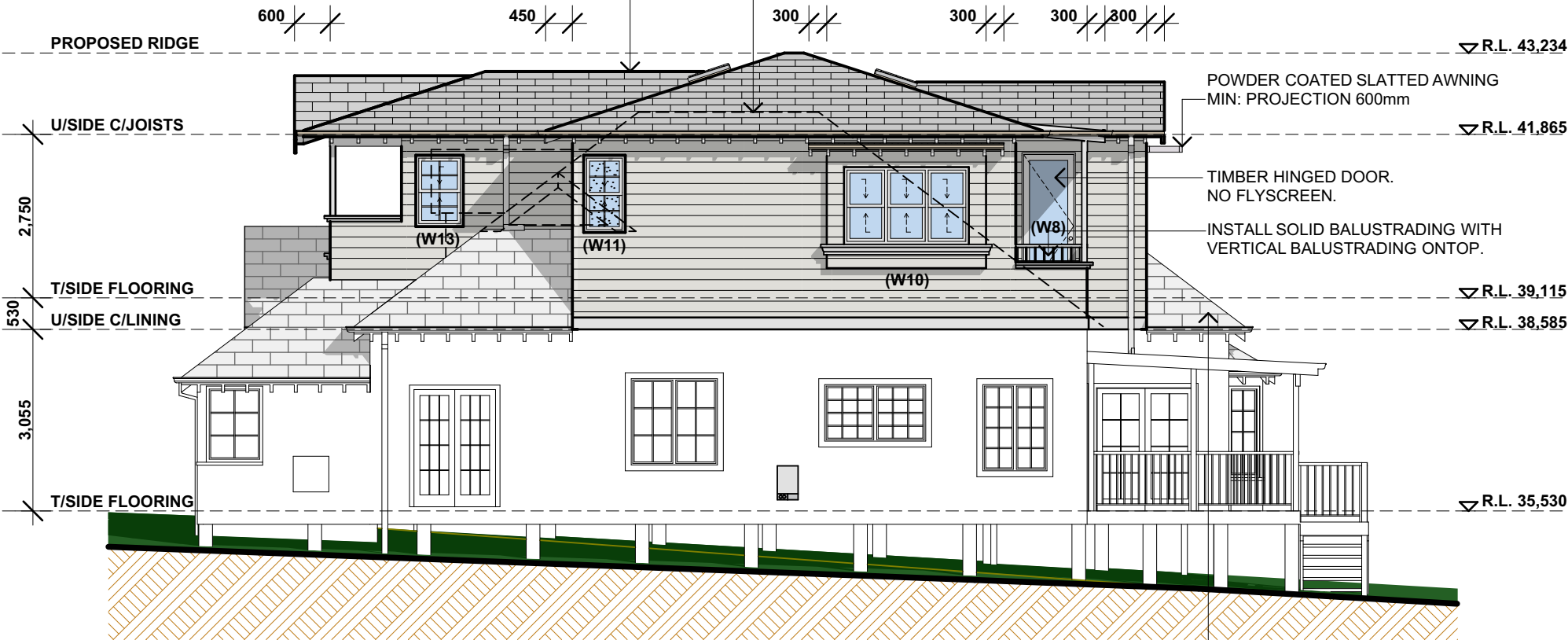


SOUTH ELEVATION

REMOVE EXISTING WINDOW, ALTER OPENING AND INSTALL EXISTING WINDOW INTO NEW POSITION. EXTERNAL PAINT THE WALL BETWEEN THE 2 FIREPLACES TO THE AREA AFFECTED THE REMOVAL AND RELOCATION OF THE EXISTING WINDOW.

NEW LUTUM SHINGLE LOOK TERRA COTTA TILES WITH HEAVY DUTY SARKING.

OUTLINE OF EXISTING ROOF LINE & ATTIC.
DEMOLISH EXISTING ATTIC TO ALLOW FOR NEW FIRST FLOOR.



NORTH ELEVATION

RETILE LOWER PITCHED ROOF AREAS WITH NEW NEW LUTUM SHINGLE LOOK TERRA COTTA TILES WITH HEAVY DUTY SARKING. PROVIDE NEW VALLEYS AND R -3.5 INSULATION BATTS TO LOWER ROOF.



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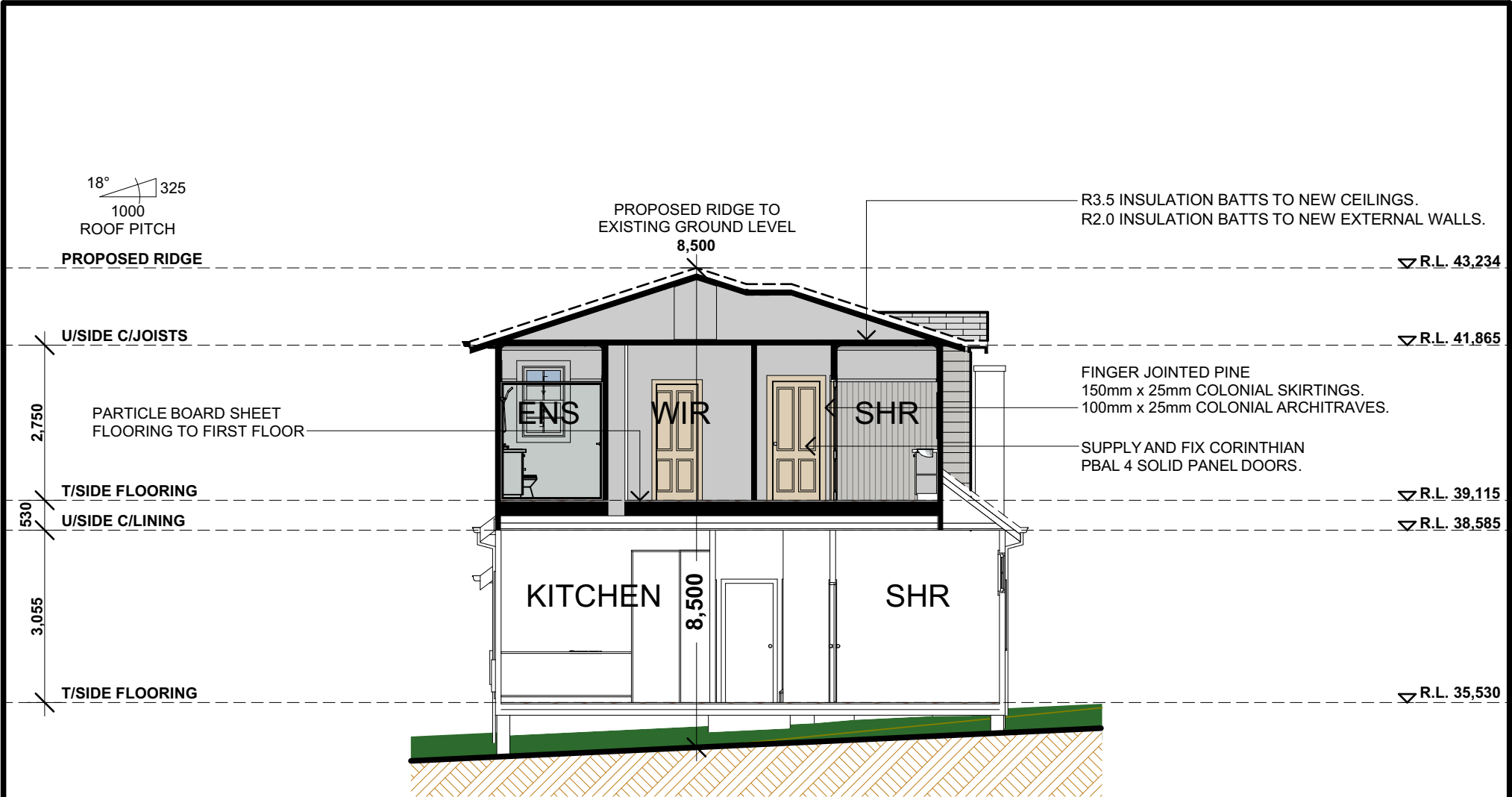
DESIGNERS & BUILDERS
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A.C.N. 053 669 373
100 QUEENS ROAD,
FIVE DOCK, N.S.W. 2046
TELEPHONE: (02) 9736 3344.

**PROPOSED ADDITION AND ALTERATIONS
TO RESIDENCE**

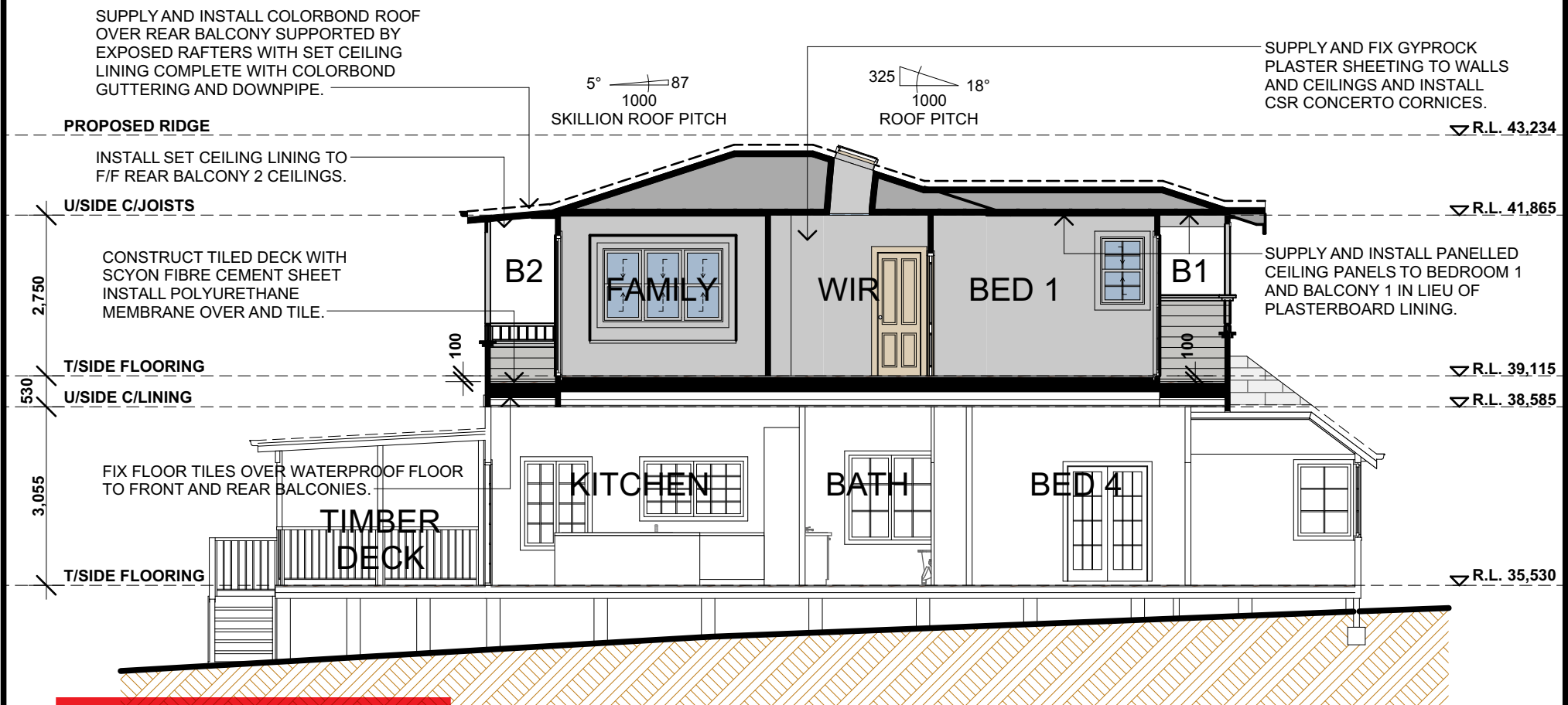
NAME: Mr F Gorringer & Ms C Gatzen
ADDRESS: 59 Quinton Road, Manly. NSW. 2095.

SOUTH & NORTH ELEVATIONS

DATE	1/12/2023	SCALE	SHEET NO	ISSUE
DRAWN BY:	NOEL C	1:100 @ A3	A3-7	C
DESIGN BY:	DAREK S			
				DRAWING JOB NO
				3457



SECTION A-A



SECTION B-B

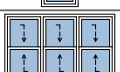
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ALL TIMBER FRAMING COMPLY
WITH TIMBER FRAMING CODE AS 1684

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				DATE 1/12/2023	SCALE	SHEET NO	DRAWING JOB NO
				DRAWN BY: NOEL.C DESIGN BY: DAREK.S	1:100 @ A3	A3-8	3457

WINDOW SCHEDULE												
Element ID	Orientation	Head height	Window Sill height	Window Height	Window Width	Frame	Sash	Glass	U-v	SHGC	Flyscreens	View from Outside
(W1) DH 2408	EAST	2.400	0.000	2.40	0.80	TIMBER	DOUBLE HUNG COL BARS	CLEAR	5.71	0.66	YES ALUMINIUM	
(W2) HD 2416	EAST	2.400	0.000	2.40	1.66	TIMBER	HINGED DOOR COLONIAL BARS	CLEAR	5.71	0.66	NO	
(W3) DH 2408	EAST	2.400	0.000	2.40	0.80	TIMBER	DOUBLE HUNG COL BARS	CLEAR	5.71	0.66	YES ALUMINIUM	
(W4) DH 1308	EAST	2.400	1.100	1.30	0.80	TIMBER	DOUBLE HUNG COL BARS	CLEAR	5.71	0.66	YES ALUMINIUM	
(W5) FIX 2009	SOUTH	2.400	0.400	2.00	0.90	TIMBER	FIXED	CLEAR	5.71	0.66	NO	
(W6) DH 1307	SOUTH	2.400	1.100	1.30	0.70	TIMBER	DOUBLE HUNG	CLEAR	5.71	0.66	YES ALUMINIUM	
(W7) DH 3 x 1307	WEST	2.400	1.100	1.30	2.10	TIMBER	DOUBLE HUNG	CLEAR	5.71	0.66	YES ALUMINIUM	
(W8) HD 2408	NORTH	2.400	0.000	2.40	0.82	TIMBER	HINGED DOOR	CLEAR	5.71	0.66	NO	
(W9) ST 2432	WEST	2.400	0.000	2.40	3.20	TIMBER	STACKER SLIDING	CLEAR	5.71	0.66	YES TIMBER	
(W10) DH 3 x 1307	NORTH	2.200	0.900	1.30	2.10	TIMBER	DOUBLE HUNG	CLEAR	5.71	0.66	YES ALUMINIUM	
(W11) DH 1307	NORTH	2.400	1.100	1.30	0.70	TIMBER	DOUBLE HUNG COL BARS	OBSCURE	5.71	0.66	YES ALUMINIUM	
(W12) DH 1308	EAST	2.400	1.100	1.30	0.80	TIMBER	DOUBLE HUNG COL BARS	CLEAR	5.71	0.66	YES ALUMINIUM	
(W13) DH 1208	NORTH	2.400	1.200	1.20	0.80	TIMBER	DOUBLE HUNG COL BARS	CLEAR	5.71	0.66	YES ALUMINIUM	
(W14) DH 1108	SOUTH	2.400	1.300	1.10	0.80	TIMBER	DOUBLE HUNG COL BARS	CLEAR	5.71	0.66	YES ALUMINIUM	
(W15) DH 1206	SOUTH	2.400	1.200	1.20	0.60	TIMBER	DOUBLE HUNG	OBSCURE	5.71	0.66	YES ALUMINIUM	

SKYLIGHT SCHEDULE												
Element ID	Orientation	Head height	Window Sill height	Window Height	Window Width	Frame	Sash	Glass	U-v	SHGC	Flyscreens	View from Outside
SL1 VELUX SKYLIGHT	WEST	---	---	0.70	0.55	ALUMINIUM	FIXED	CLEAR	6.21	0.808	NO	
SL2 VELUX SKYLIGHT	EAST	---	---	0.70	0.55	ALUMINIUM	FIXED	CLEAR	6.21	0.808	NO	

NOTE: DIMENSIONS IN THE WINDOW SCHEDULE ARE NOMINAL SIZES ONLY.
THE INSTALLER IS TO CONFIRM EXACT DIMENSIONS WITH THE WINDOW MANUFACTURER.



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DA2023/1814

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EXTEND-A-HOME CONSTRUCTIONS PTY LTD
A.C.N. 053 669 373
100 QUEENS ROAD,
FIVE DOCK. N.S.W. 2046
TELEPHONE: (02) 9736 3344.

PROPOSED ADDITION AND ALTERATIONS TO RESIDENCE

NAME: Mr F Gorringe & Ms C Gatzen
ADDRESS: 59 Quinton Road, Manly. NSW. 2095.

WINDOW & SKYLIGHT SCHEDULE

DATE	1/12/2023	SCALE	SHEET NO	ISSUE C
DRAWN BY: NOEL.C DESIGN BY: DAREK.S	1:1 @ A3	A3-10	3457	DRAWING JOB NO