

PROPOSED WALLS
 EXISTING STRUCTURE TO BE REMOVED

SITE ANALYSIS IN RED

DRAWING	DESCRIPTION
DA01	ROOF, SITE + SITE ANALYSIS PLAN
DA02	BASEMENT FLOOR PLAN
DA03	GROUND FLOOR PLAN
DA04	FIRST FLOOR PLAN
DA05	SECTIONS + ELEVATIONS
DA06	SECTIONS + ELEVATIONS
DA07	ELEVATIONS
AR01	FLOOR SPACE RATIO DIAGRAM
AR02	TOTAL OPEN SPACE & LANDSCAPED AREA DIAGRAM
SH01	SHADOW DIAGRAMS 9AM JUNE 21ST
SH02	SHADOW DIAGRAMS 12PM JUNE 21ST
SH03	SHADOW DIAGRAMS 3PM JUNE 21ST

LEGEND

Alw	Aluminium framed window
B	Brick
Bal	Black metal balustrade
Conc	Formed concrete wall
DP	Downpipe
GD	Grated drains
MF	Black metal fence
R	Render and painted
RWO	Rainwater outlet
RWT	Rainwater tank
St	Stone cladding
T	Timber cladding

BASIX NOTES - CERTIFICATE No 1247561S

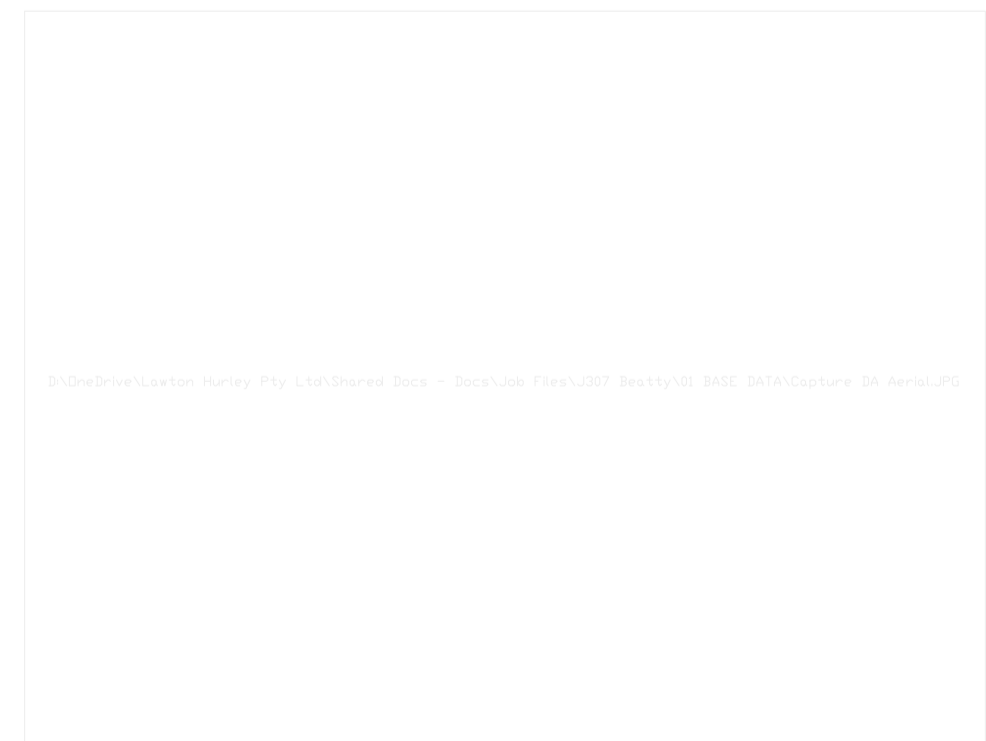
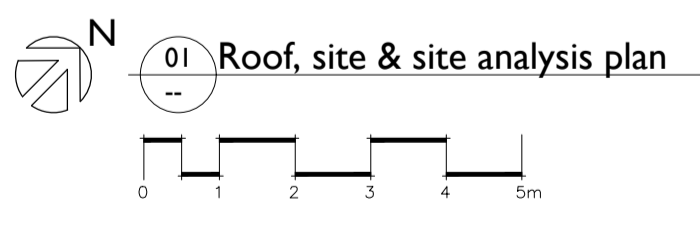
Landscape
 Applicant must plant indigenous or low water species of vegetation throughout 70% of the site.

Alternative water
 Applicant must install a rainwater tank of at least 3,000L on site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

Swimming pool
 The swimming pool must not have a volume greater than 45 kilolitres & it must be outdoors.

Simulation method
 The applicant must construct the floors & walls of the dwelling in accordance with the specifications listed below: concrete slab on ground - All or part of the floor area suspended floor above garage - All or part of floor area

Energy Commitments
Hot Water: The application must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars
Natural lighting: The applicant must install a window &/or skylight in the kitchen of the dwelling for natural lighting.
 The applicant must install a window &/or skylight in 3 bathrooms/toilets in the development for natural lighting.
Alternative energy
 The applicant must install a photovoltaic system with the capacity to generate at least 2.2 pool kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system



02 Aerial View

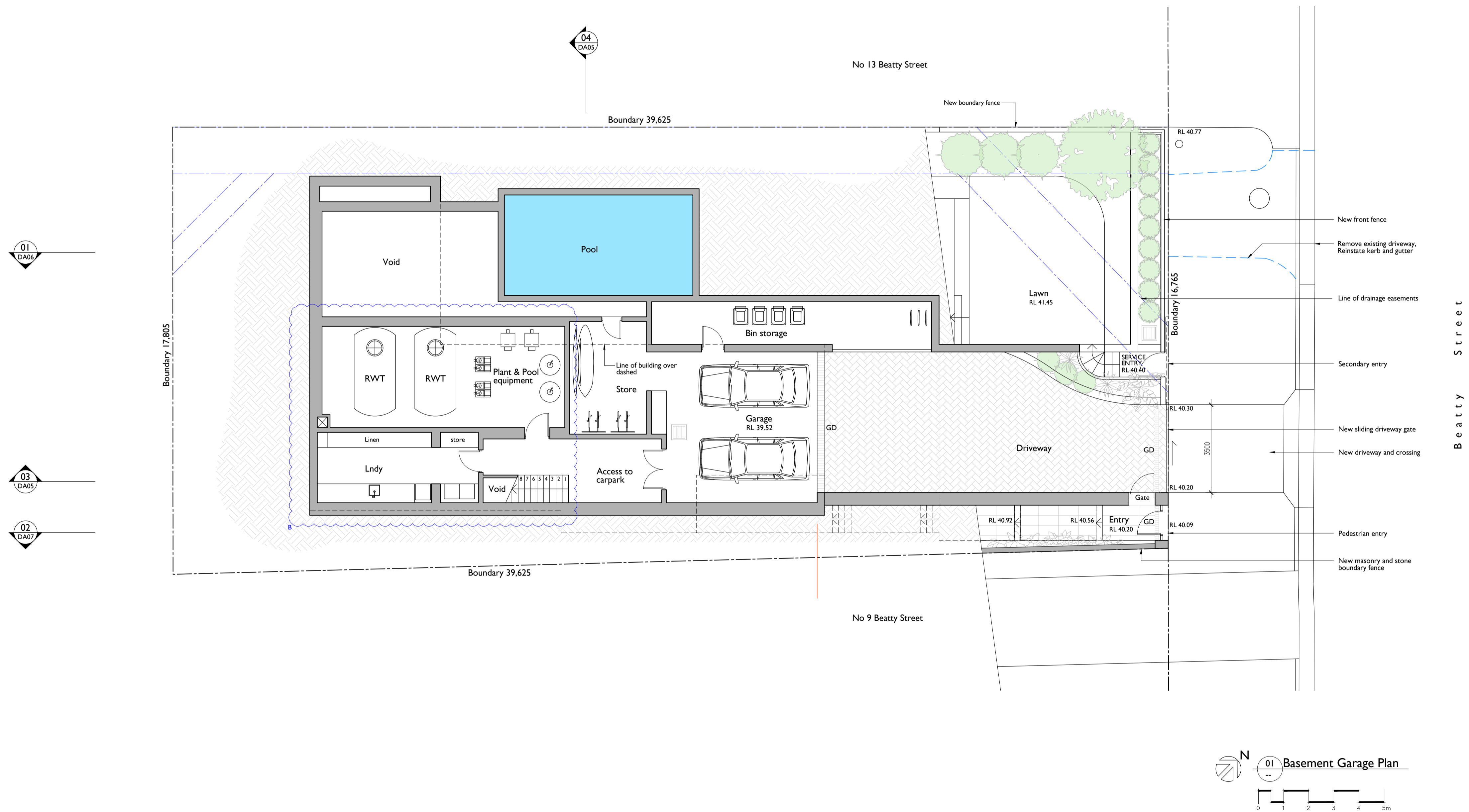
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	B		

11 Beatty Street Balgowlah Heights

LawtonHurley
 Architecture Interiors Planning

project	PROPOSED NEW DWELLING	scale	1:100 @ A1	drawn		job no	J 307
address	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	dwg no		issue			
drawing	ROOF, SITE + SITE ANALYSIS PLAN			DA 01			B

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N
01
Basement Garage Plan
0 1 2 3 4 5m

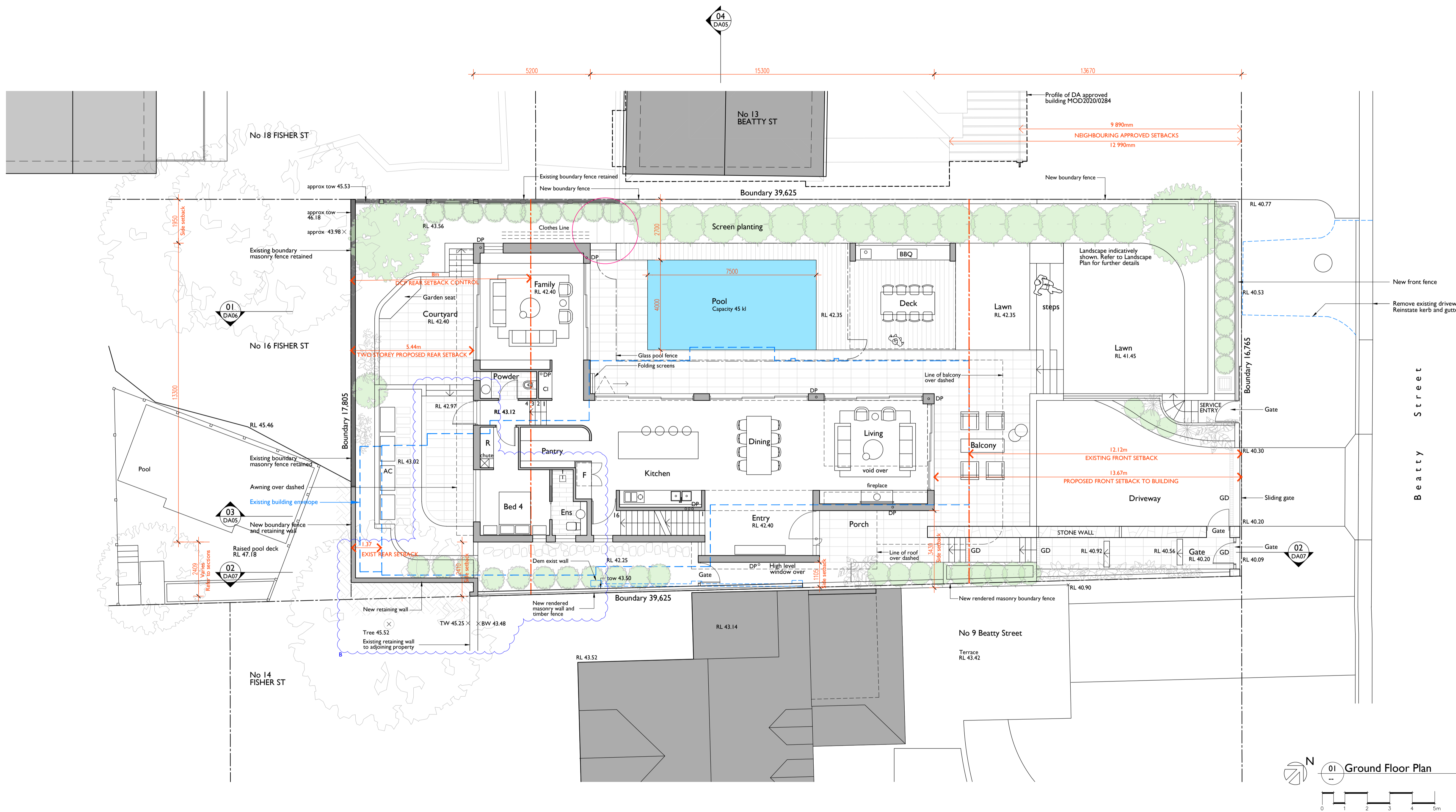
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project	PROPOSED NEW DWELLING	scale	1:100 @ A1	drawn	job no	j 307
address	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	dwg no	DA 02			
drawing	BASEMENT GARAGE FLOOR PLAN	issue	B			



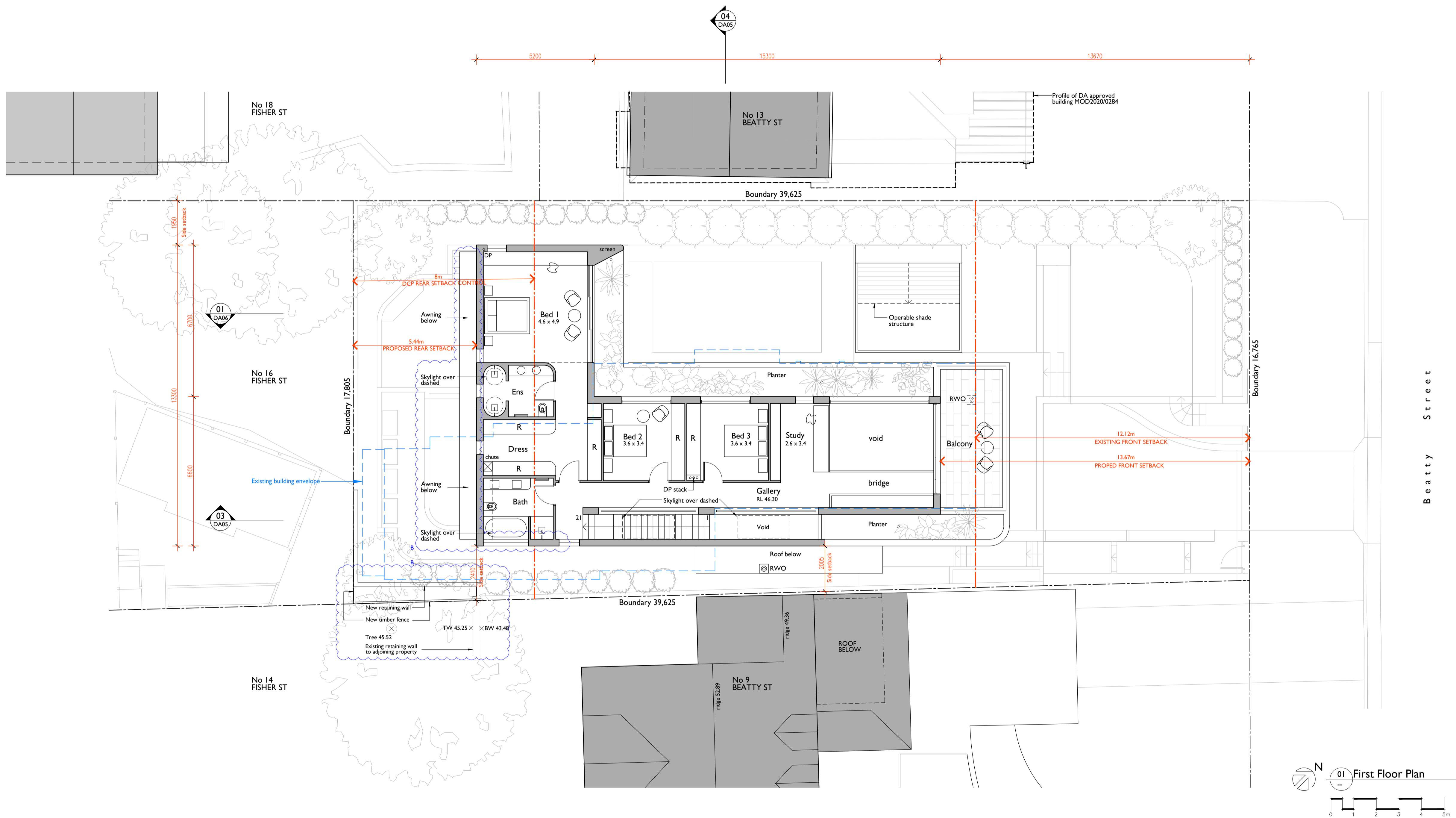
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project	PROPOSED NEW DWELLING	scale	1:100 @ A1	drawn	job no	J 307
address	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	dwg no	DA 03	issue	B	
drawing	GROUND FLOOR PLAN					



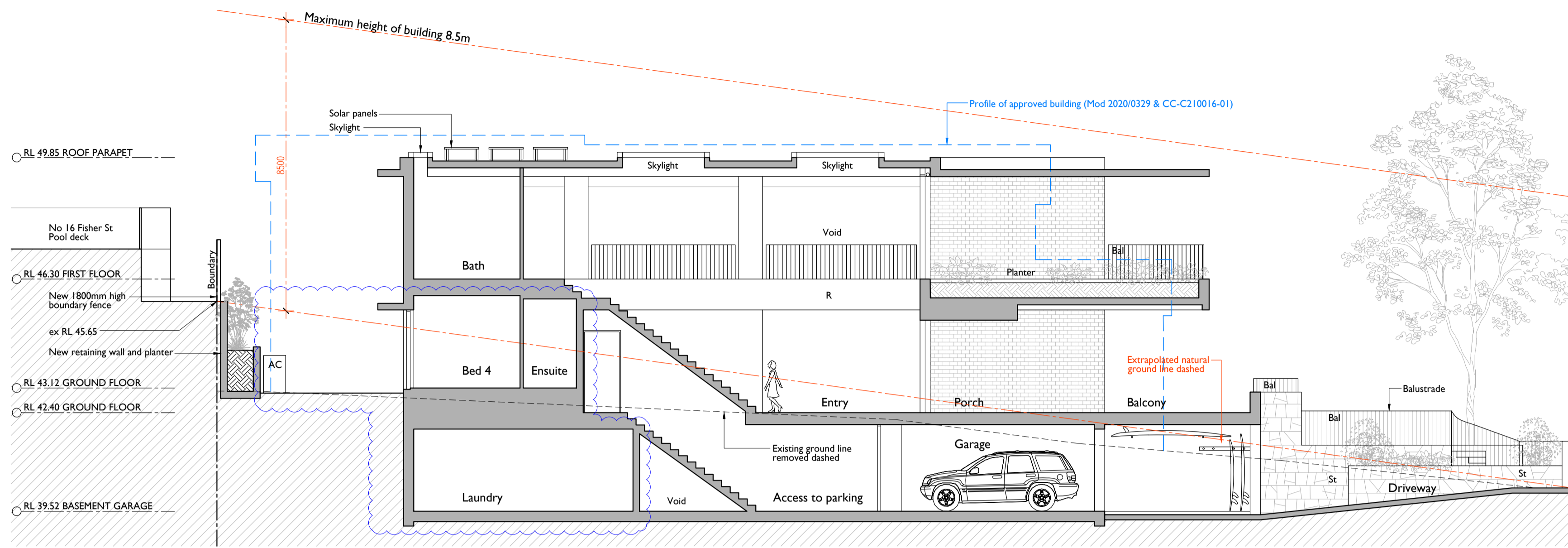
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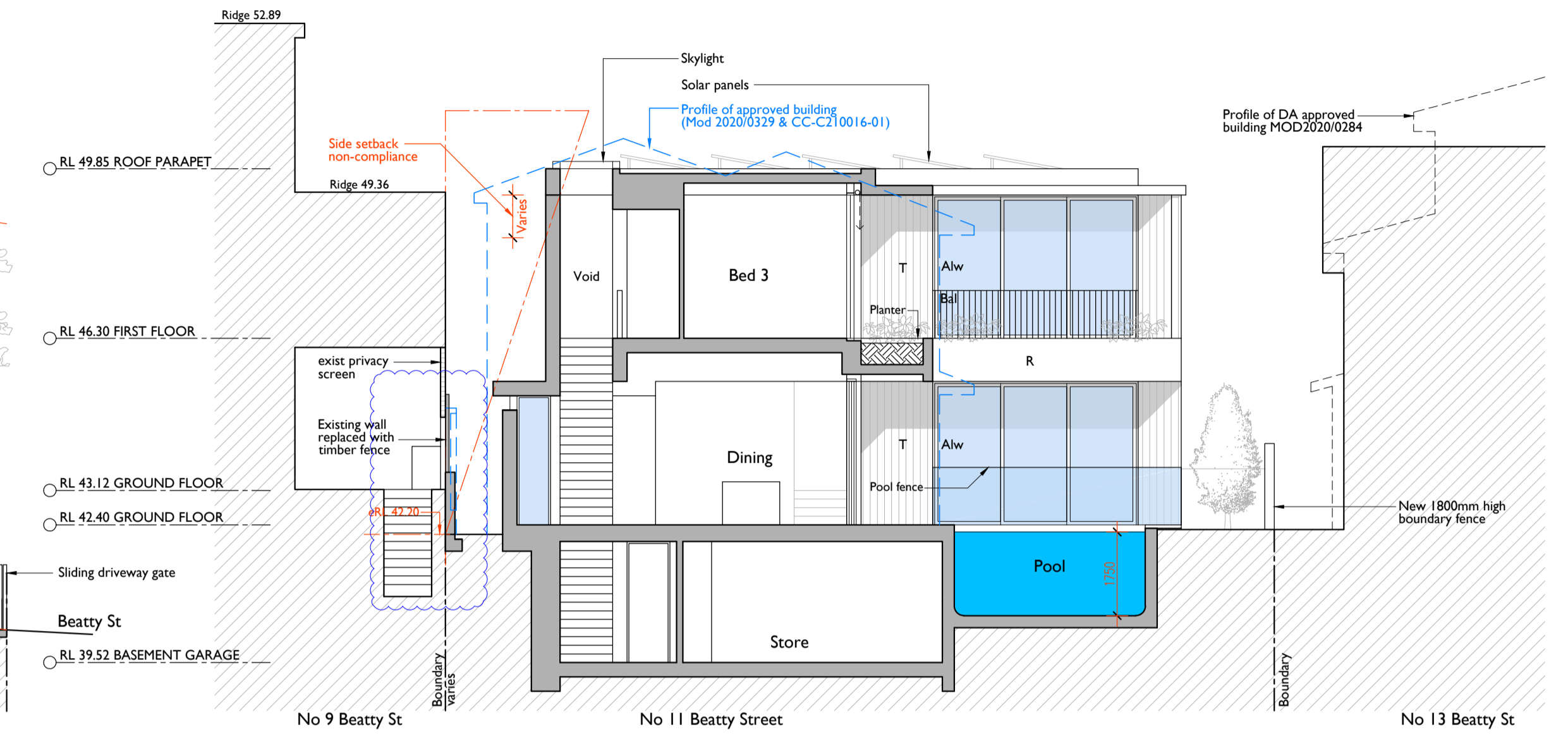
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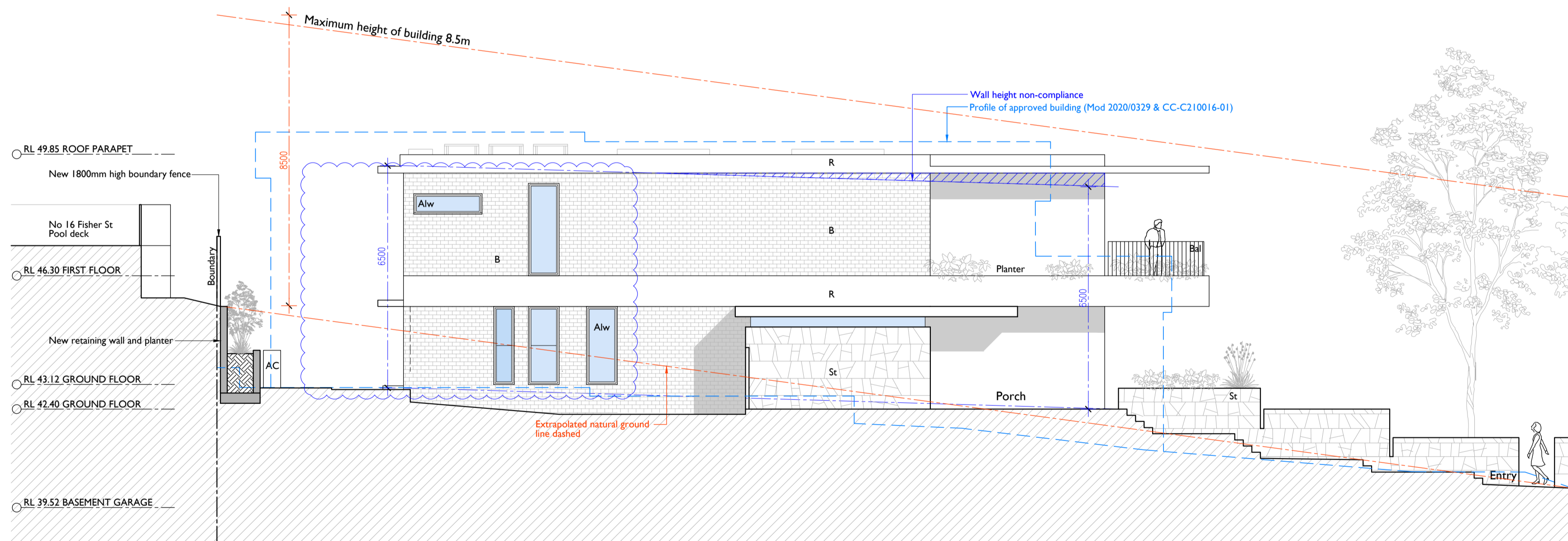
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PROPOSED NEW DWELLING	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	1:100 @ A1		J 307	
drawing	FIRST FLOOR PLAN	dwg no	DA 04		B



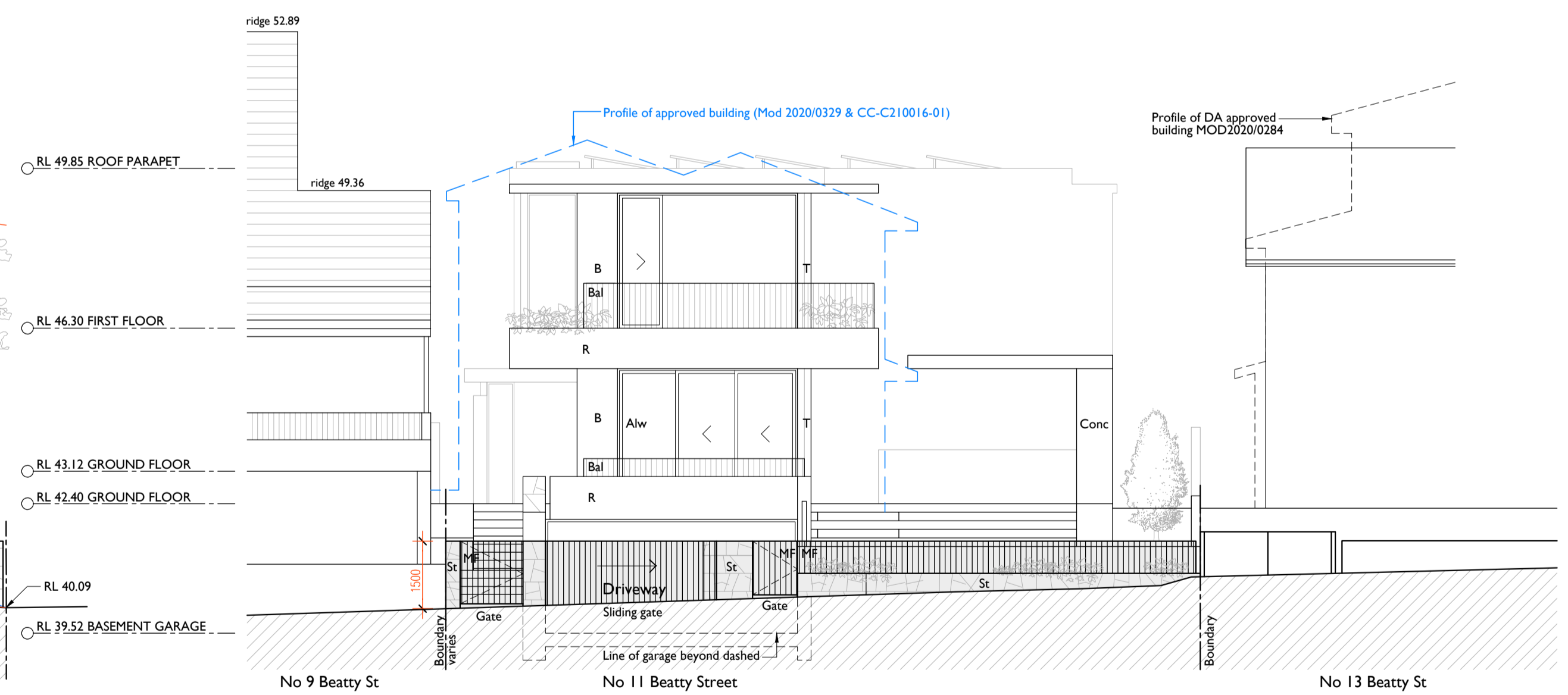
03 Long Section
-- looking north west



04 Short Section
-- looking south west



01 South East Elevation
-- from side entry



02 North East Elevation
-- from beatty street

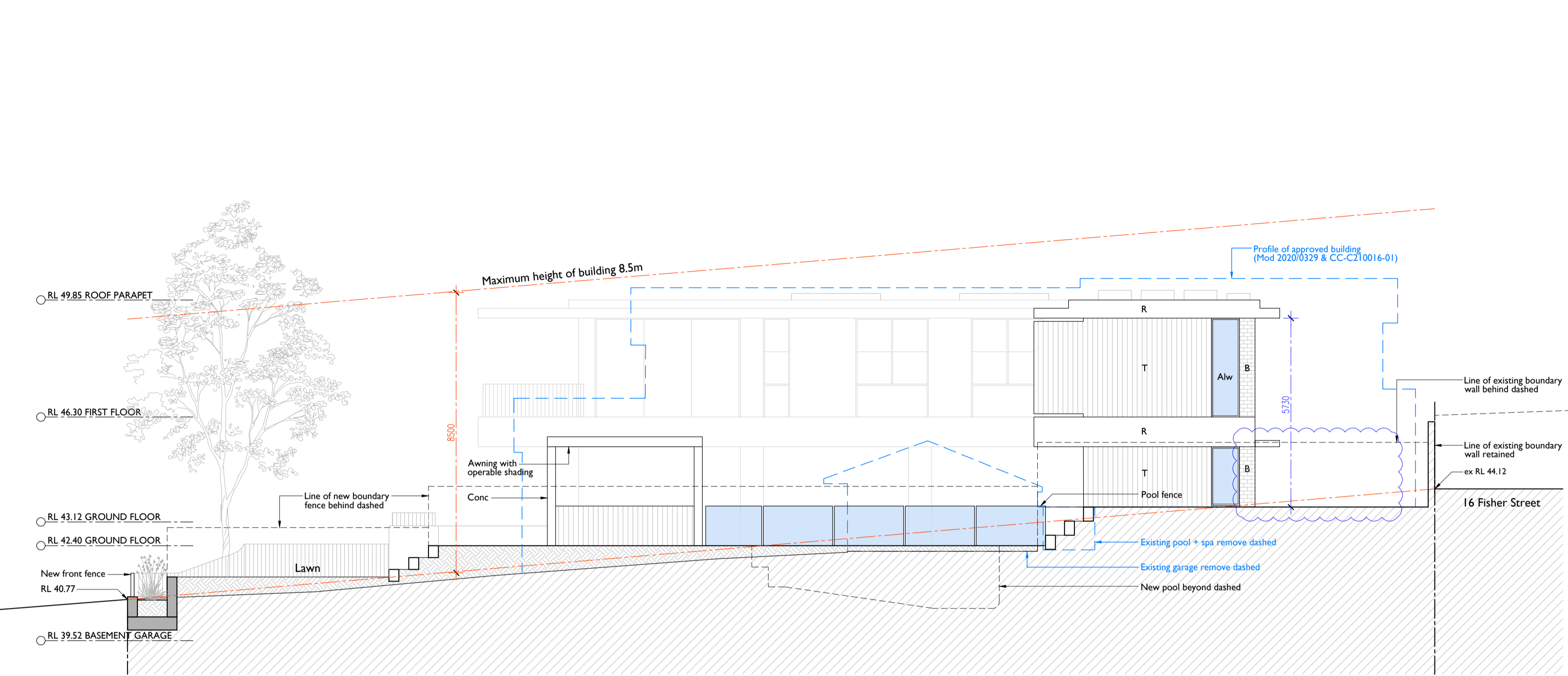
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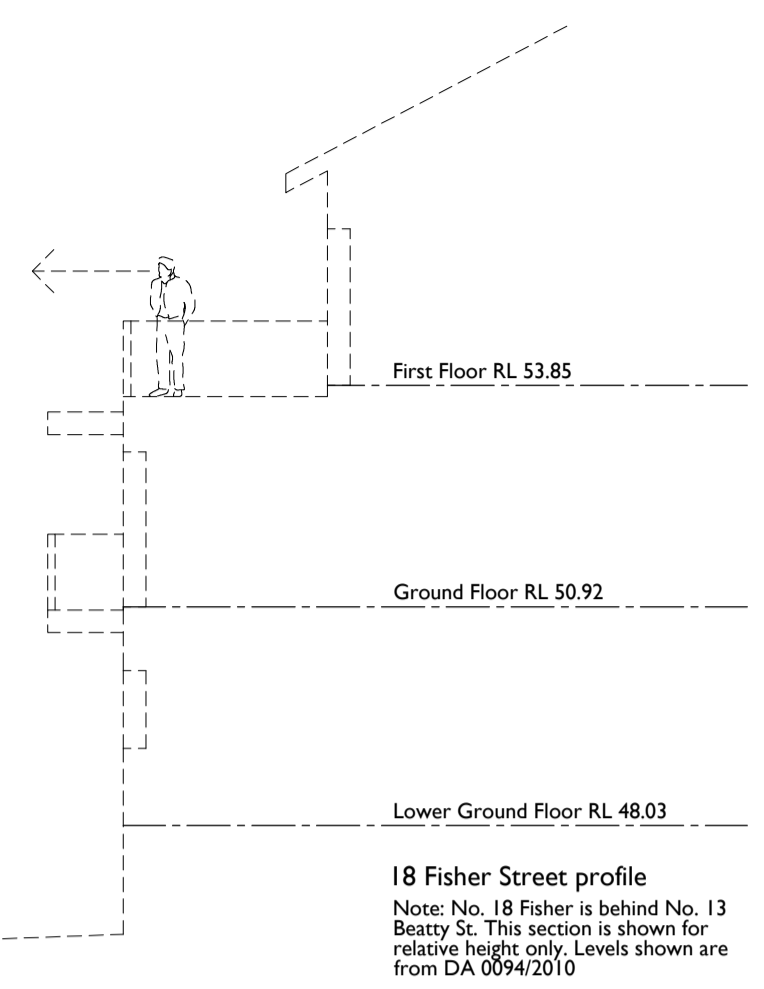
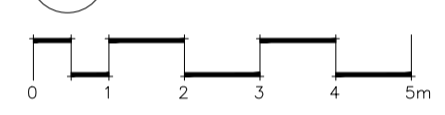
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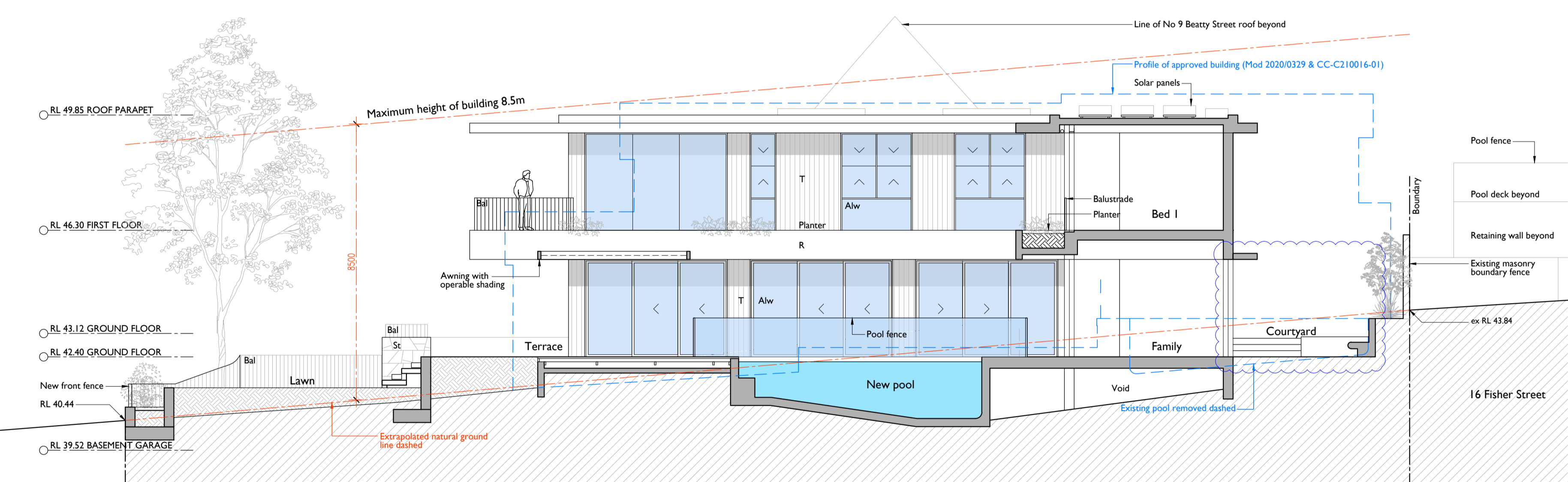
project	PROPOSED NEW DWELLING	scale	1:100 @ A1	drawn	job no	J 307
address	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	dwg no	DA 05	issue	B	
drawing	SECTIONS & ELEVATIONS					



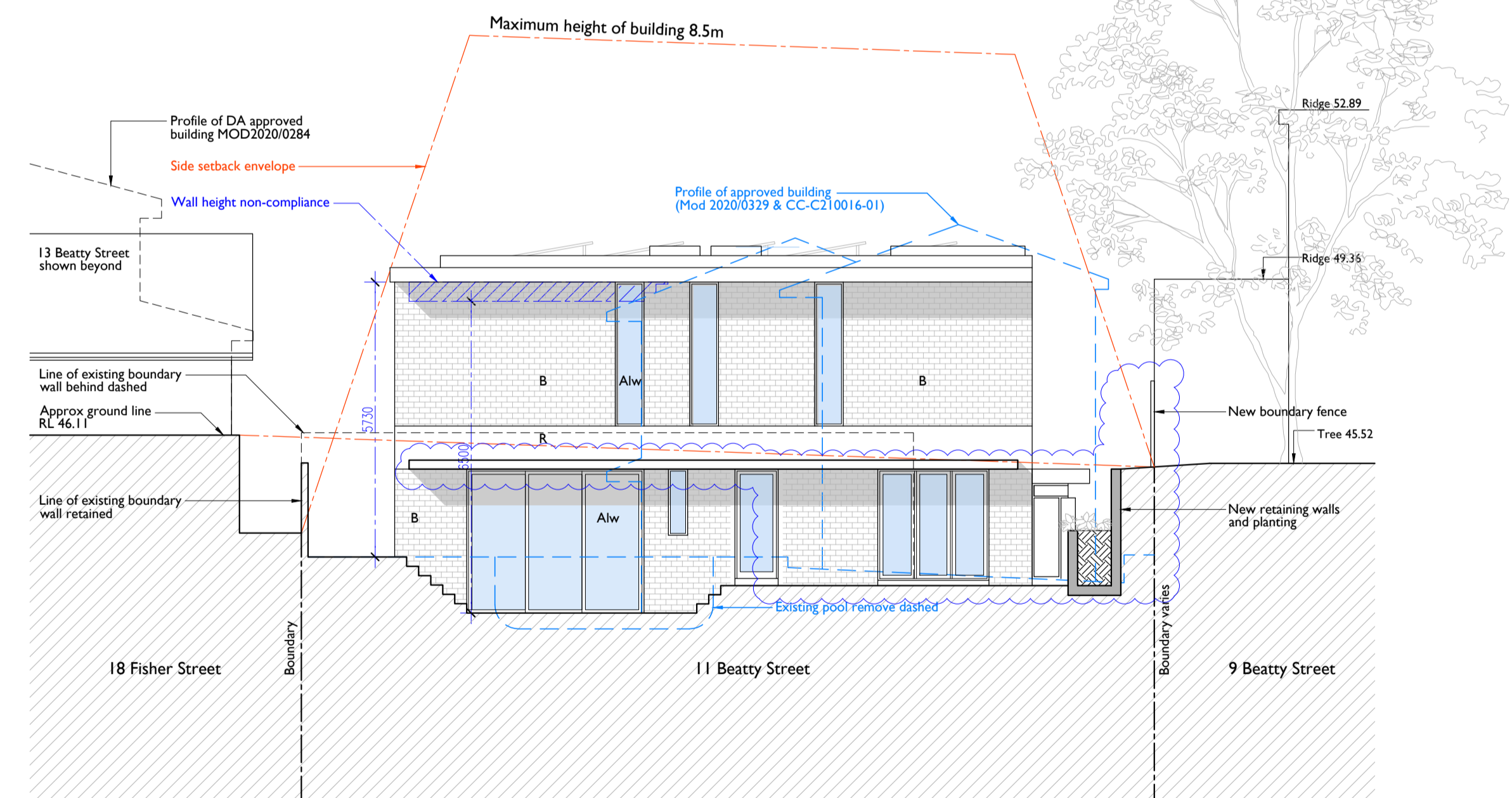
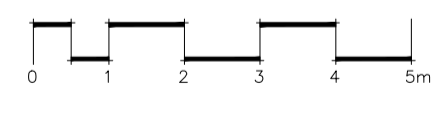
03 North West Elevation



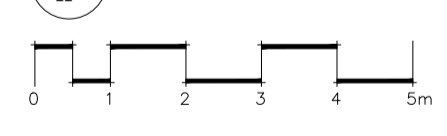
18 Fisher Street profile
 Note: No. 18 Fisher is behind No. 13 Beatty St. This section is shown for relative height only. Levels shown are from DA 0294/2010.



01 Long Section looking south east



02 South West Elevation



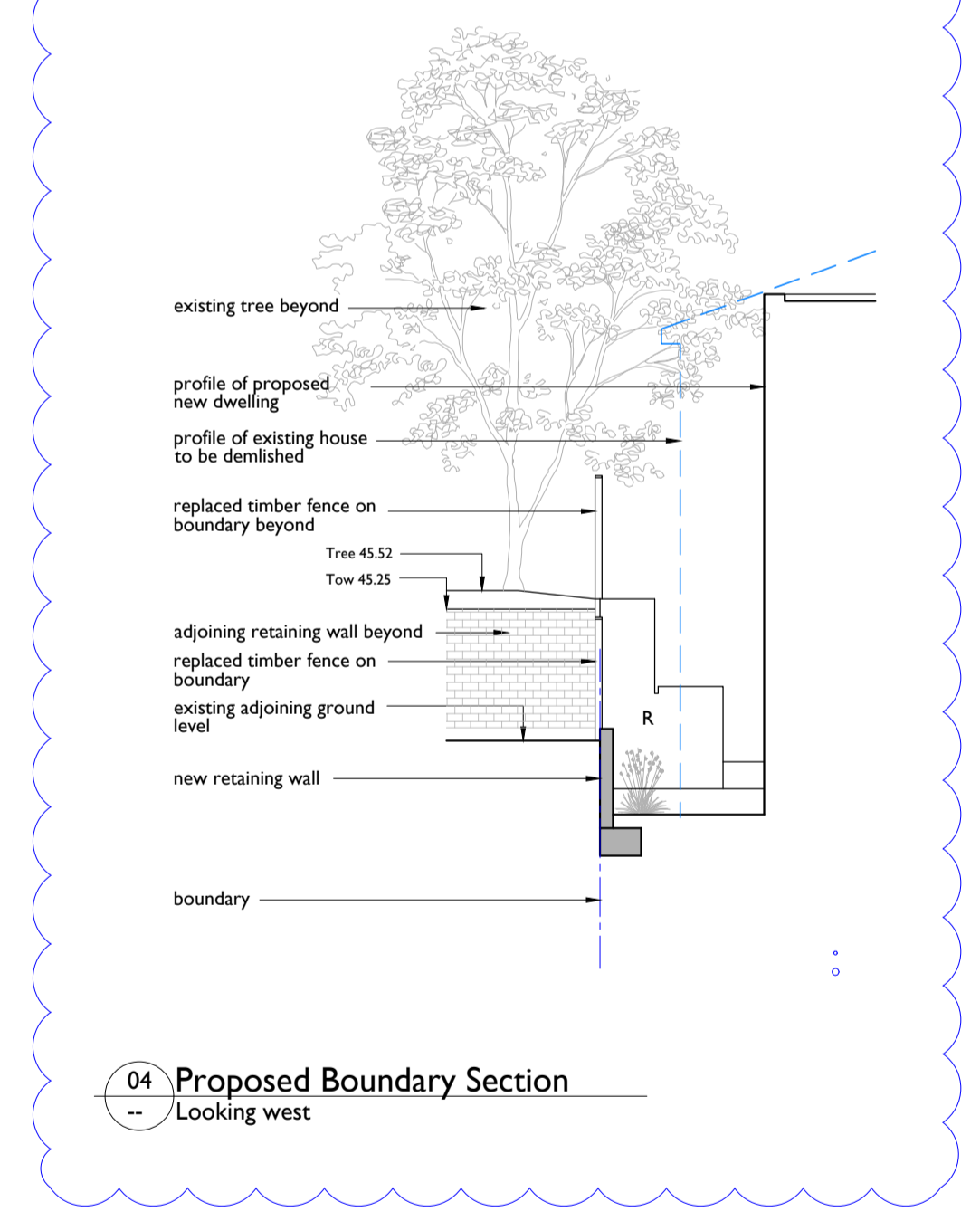
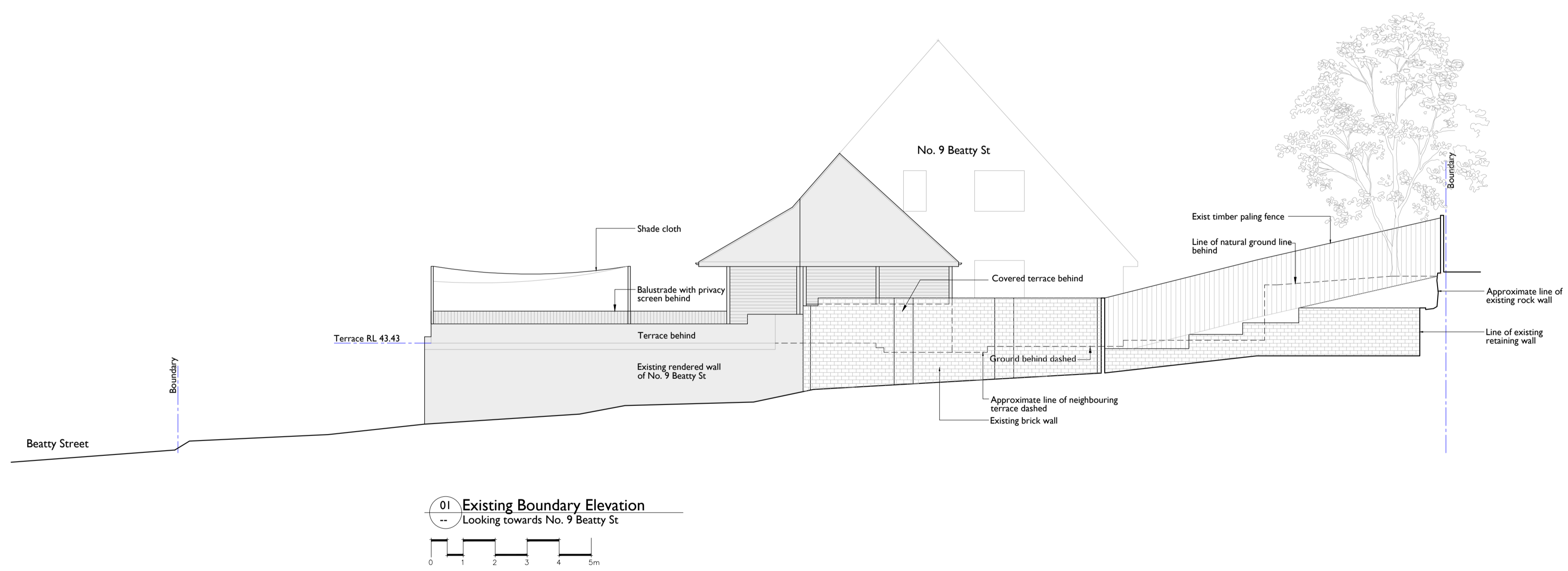
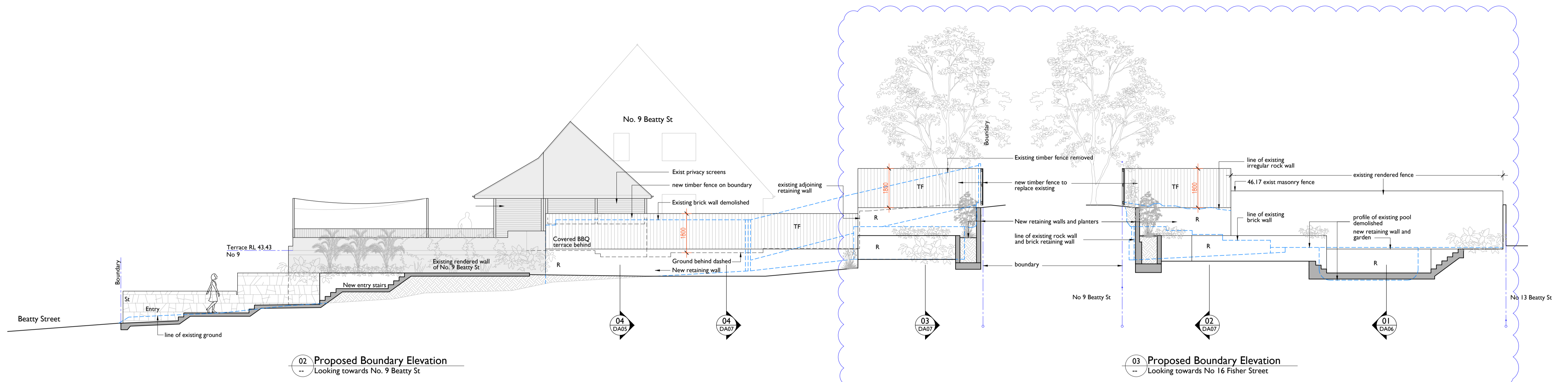
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PROPOSED NEW DWELLING	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	1:100 @ A1		J 307
drawing	dwg no	issue		
SECTIONS & ELEVATIONS	DA 06	B		



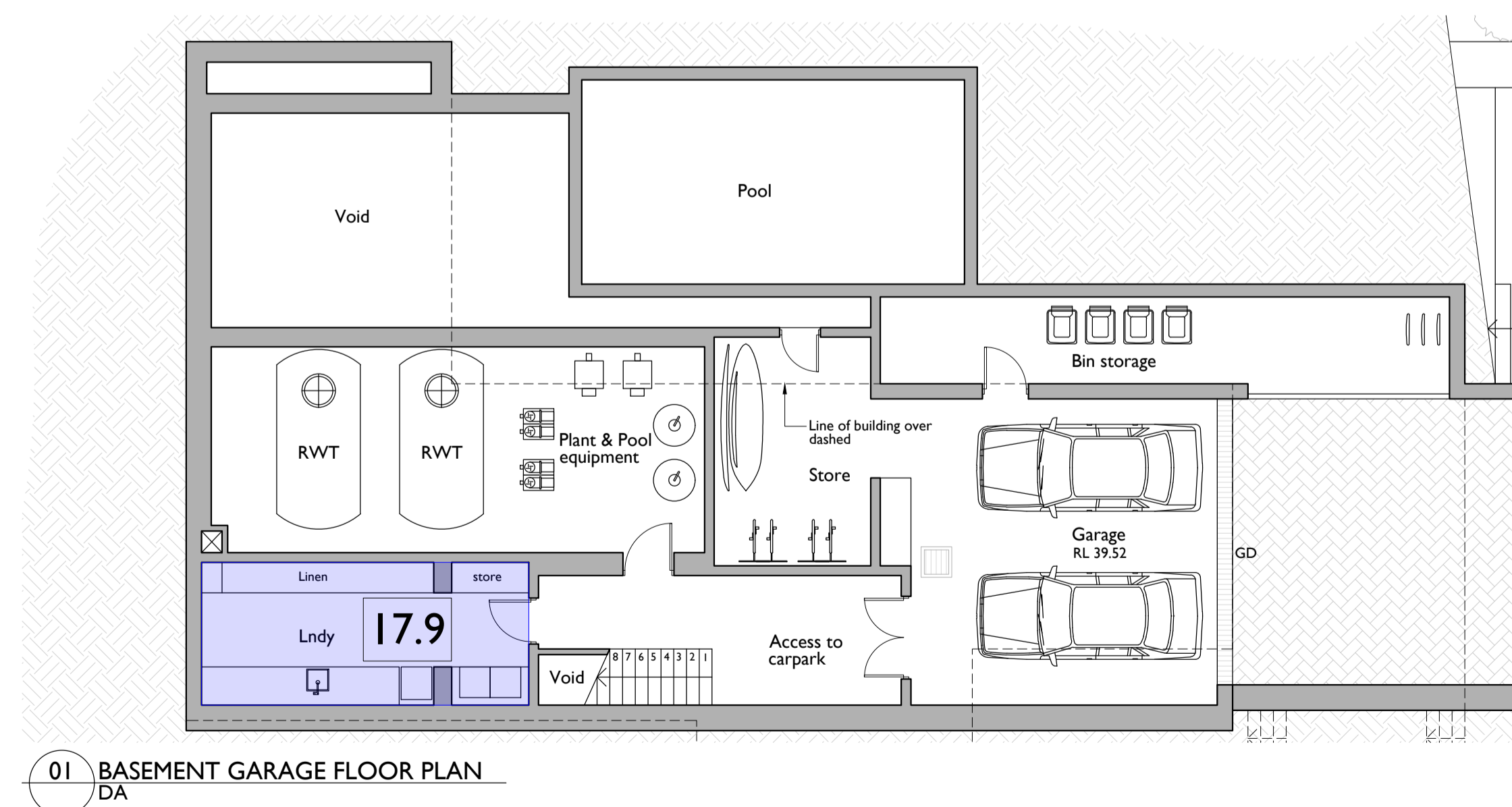
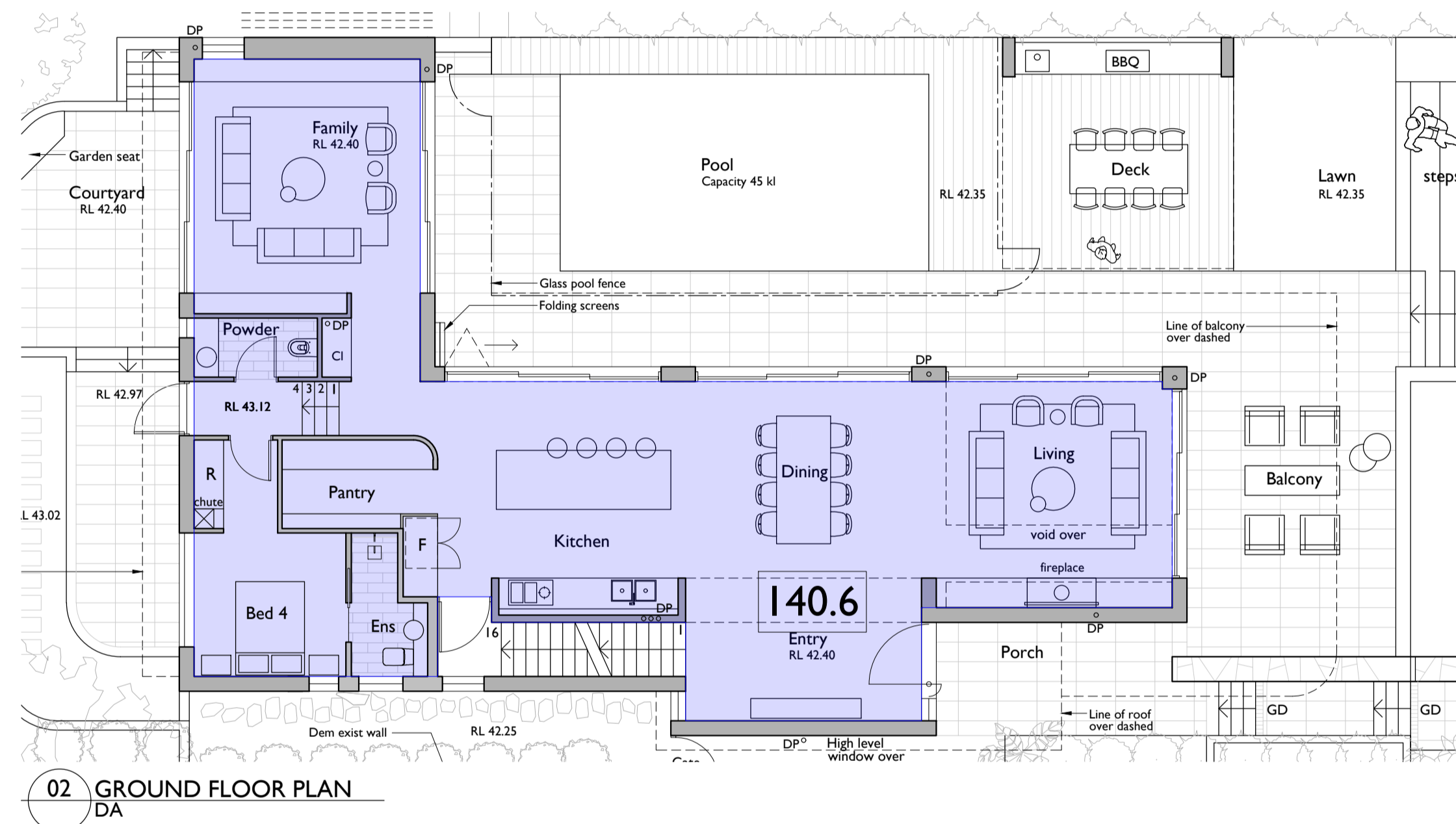
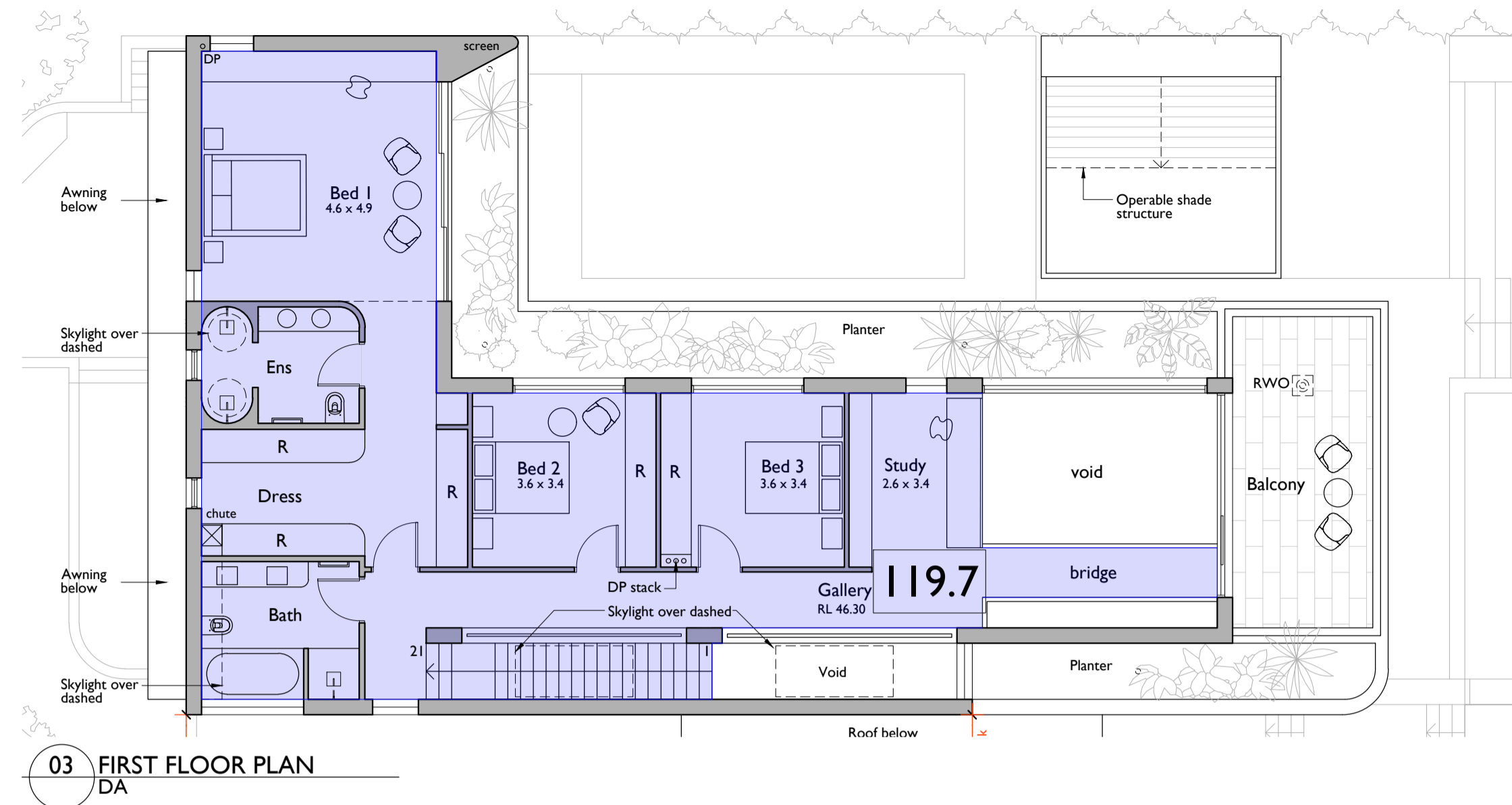
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	B	DEVELOPMENT APPLICATION - DETAILS ADDED	MAR 2022

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address	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	dwg no	DA 07		B	issue
drawing	ELEVATIONS SOUTH AND WEST FENCES					



FLOOR SPACE RATIO DIAGRAM	
SITE AREA	684.8
MAXIMUM FSR	0.4 : 1
MAXIMUM ALLOWABLE GFA	273.9
LEVEL	GROSS FLOOR AREA (SQM)
BASEMENT	17.9
GROUND	140.6
FIRST	119.7
TOTAL	278.2
PROPOSED FSR	0.41 : 1

■ GROSS FLOOR AREA

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address	11 BEATTY STREET BALGOWLAH HEIGHTS 2093	dwg no	AR 01		issue	B	
drawing	FLOOR SPACE RATIO DIAGRAM						

