

PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
PO Box 882, MONA VALE NSW 2103
DX 9018, MONA VALE
Facsimile: (02) 9970 7150
Telephone: (02) 9970 7222



17/12/03

Office Use Only:

C/C NO: CC0628/03

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

TARGET DATE: _____

APPROVAL NO: _____

POST OUT ☐ or PICK UP ☐ _____

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.



THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK

SUBDIVISION WORK

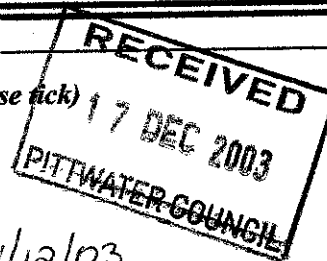
☒ AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No DA: N1138/01

Date 11/12/03

A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____



SITE DETAILS: (please print)

House No 48 Street/Road BILWARA AVE Suburb BILGOLA PLATEAU

Postcode 2107 Lot 4 Section 3 Deposited Plan 532952

Description of Proposal modification of Development Consent
No 1138/01 - connection of side & rear
deck.

VALUE OF DEVELOPMENT: \$.....500-.....

Nominated Building Classification: Class(es).....

CC - \$273.49

APPLICANT: (please print)

Name/Company MARITA WILMOT

Address 48 BILWARA AVE BILCOLA PLATEAU

Phone (02) 9973 2621 Daytime Contact No (02) 0411 860 964

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature [Signature] Date 11/12/03

OWNER (please print)

This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s JAMES & MARITA WILMOT

Address 48 BILWARA AVE

BILCOLA PLATEAU Postcode 2107

Signature(s) [Signature]

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

BUILDER'S NAME AND ADDRESS

(must be completed when the proposal involves residential building work): (please print)

Are you an Owner-Builder? YES, Permit No. 235757P

Licensed Builder Details

Name/Company _____

Address _____

Phone () _____ Daytime Contact No () _____

Licence No _____ Insurance Policy No _____

Note: (1) *Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.*

(2) *Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.*



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CONSTRUCTION MATERIALS/DETAILS: *(please print) (must by law be accurate)*

Construction materials

External walls _____ Roof _____

Floor _____ Wall frames _____

Details

Current use of the land/building(s) _____

Site area _____ m²

Floor area - existing _____ m²

- proposed _____ m²

Total _____ m²

Number of Storeys _____

Number of dwellings to be demolished _____

Number of dwellings proposed _____

THE CHECKLIST

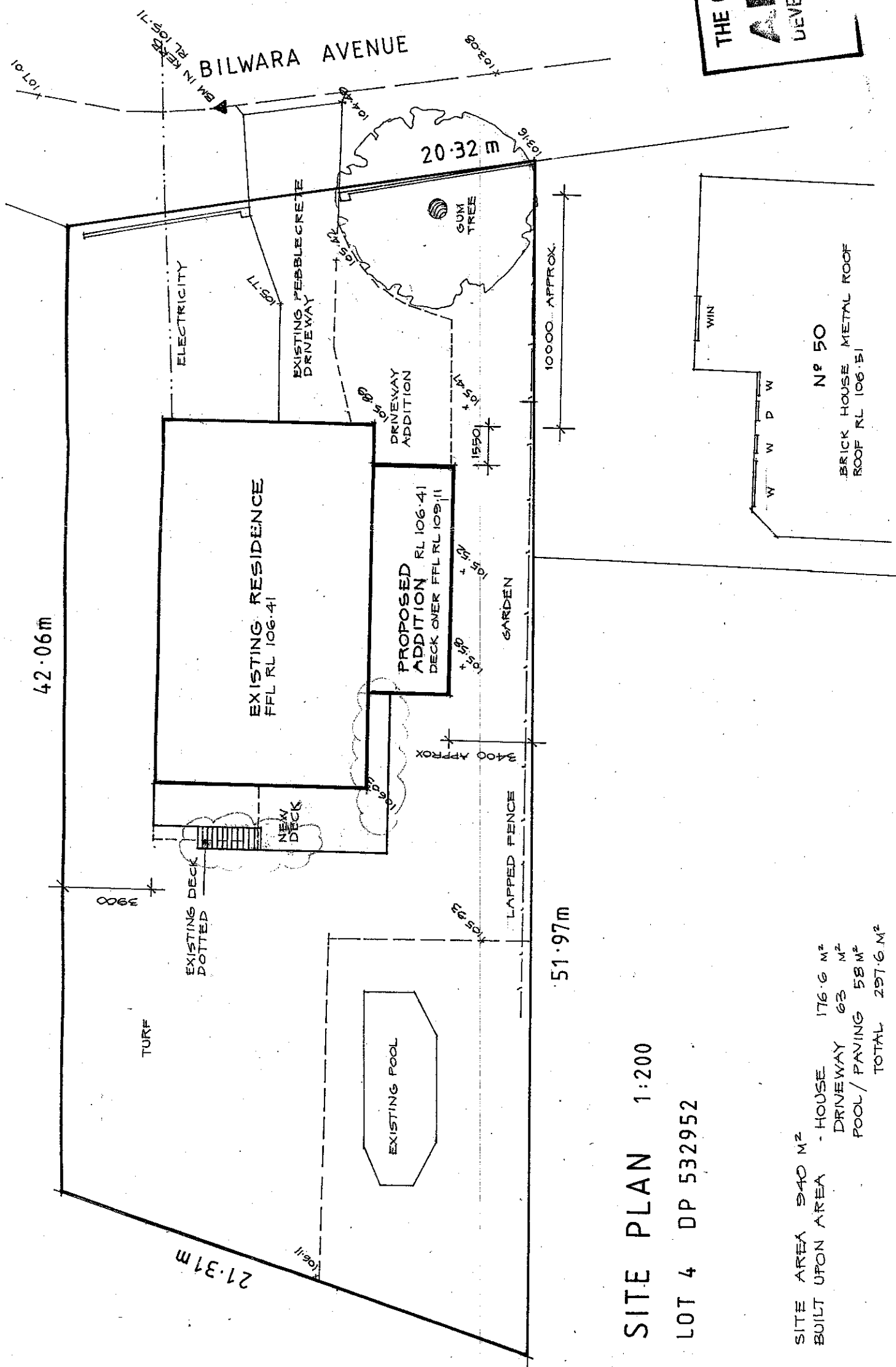
- We suggest you use the left hand column as your checklist, Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

YOUR USE	STAFF USE
A COMPLIANCE WITH CONSENT CONDITIONS	
Supplied by applicant	Information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.
B COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.	
	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.
C SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:200	
	North point and all boundary dimensions of the block. All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured). The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors. Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses. Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.
D ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100	
	All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified. Existing/proposed ground levels and all floor to ceiling heights. Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels. Roof profile, material, colour, reflectivity and eaves width are shown. The outline of buildings on the adjoining sites.



LOT 4 DP 532952

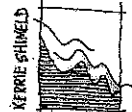
SITE AREA	940 M ²	
BUILT UPON AREA	- HOUSE	176.6 M ²
	DRIVEWAY	63 M ²
	POOL / PAVING	58 M ²
	TOTAL	297.6 M ²

$\therefore 68\%$ OPEN SPACE

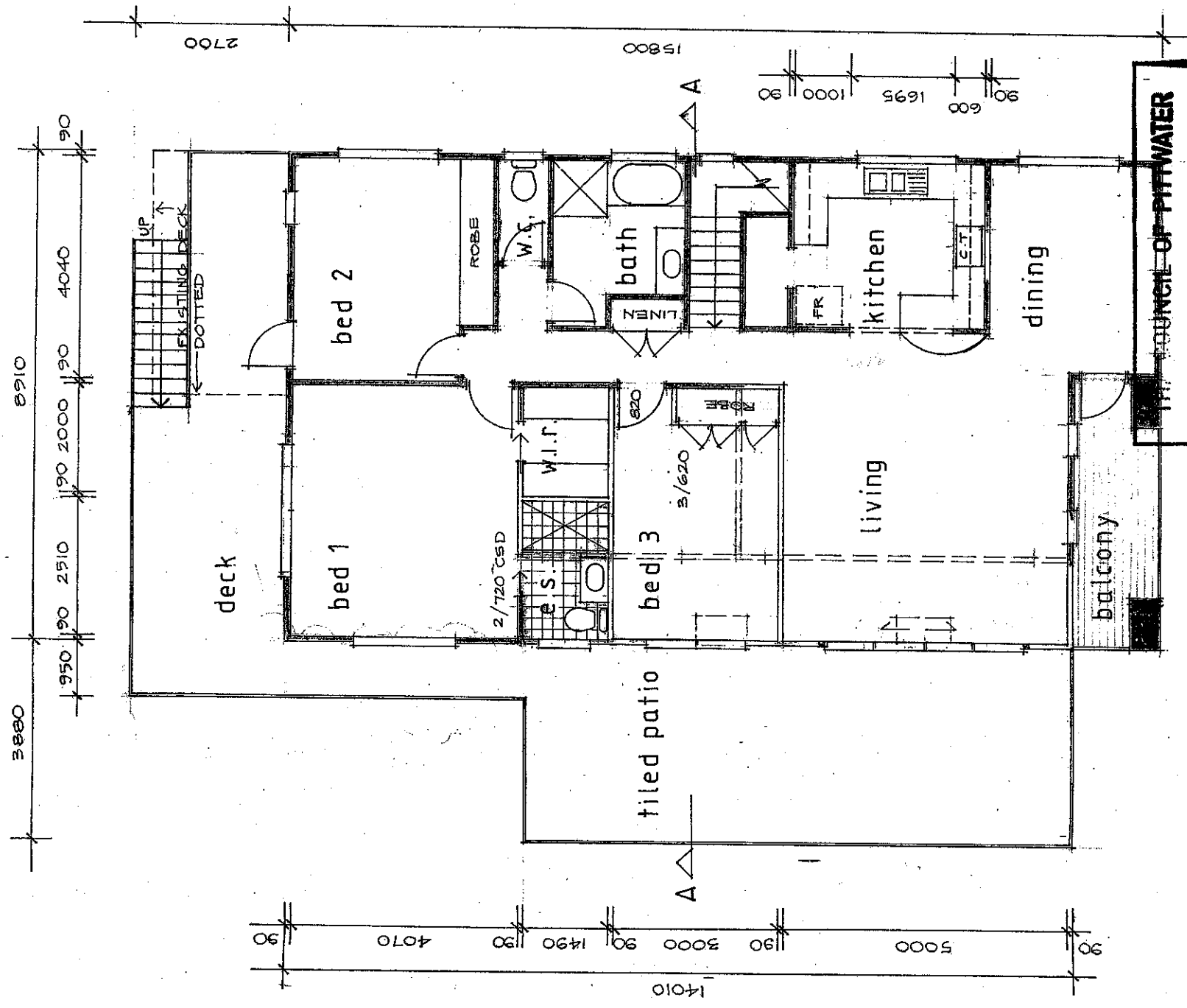
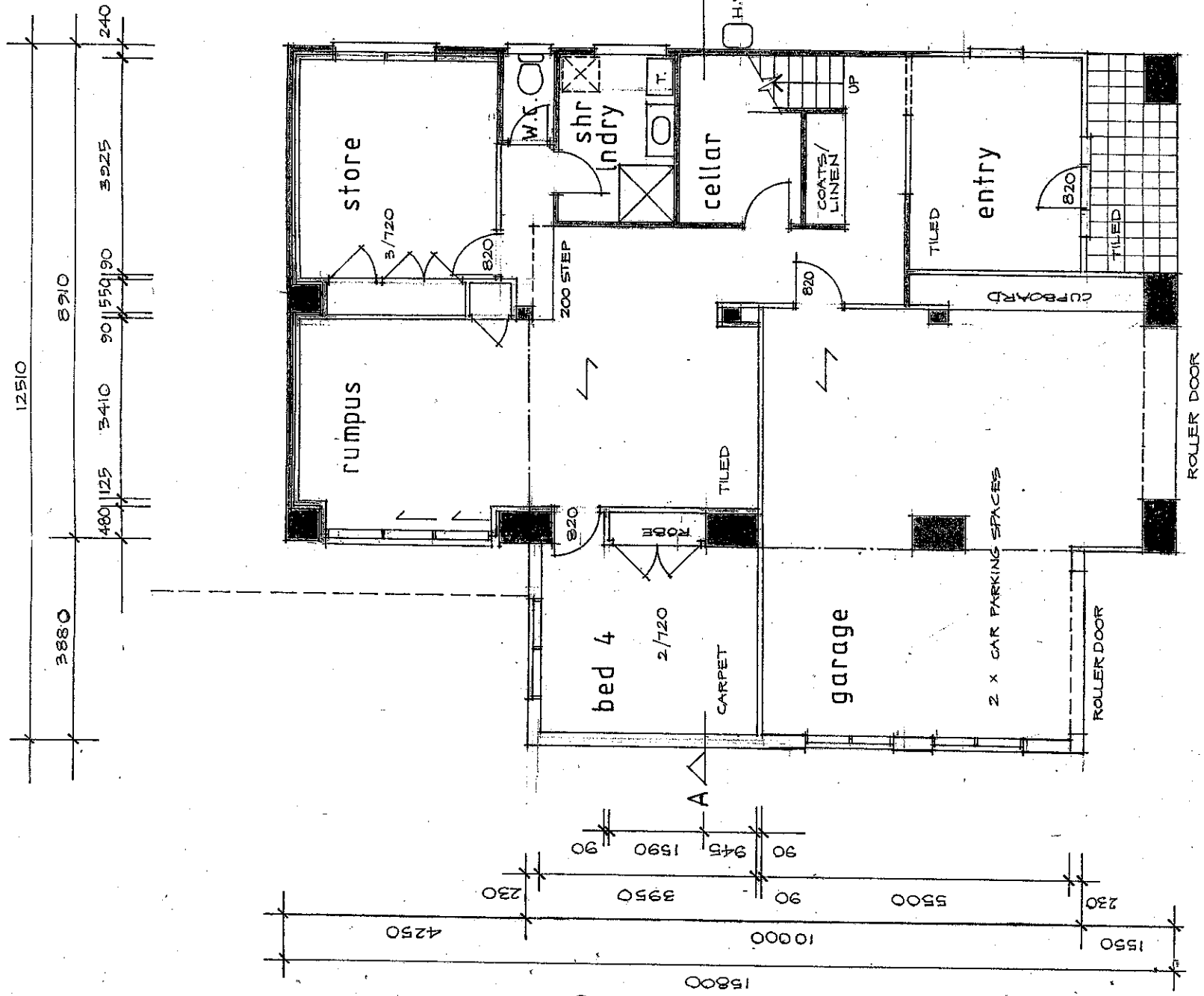
THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

A. TIMBER DECK AMENDED 25-11-02.
RELOCATE STAIR

ALTERATIONS AND ADDITIONS TO RESIDENCE
48 BILWARA AVENUE - BILGOLA PLATEAU
FOR MR & MRS J. AND M. WILMOT DEC 2001



DEC 2001



THE COUNCIL OF PITT WATER

APPROVED

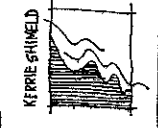
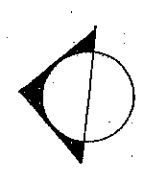
DEVELOPMENT CONSENT PLAN

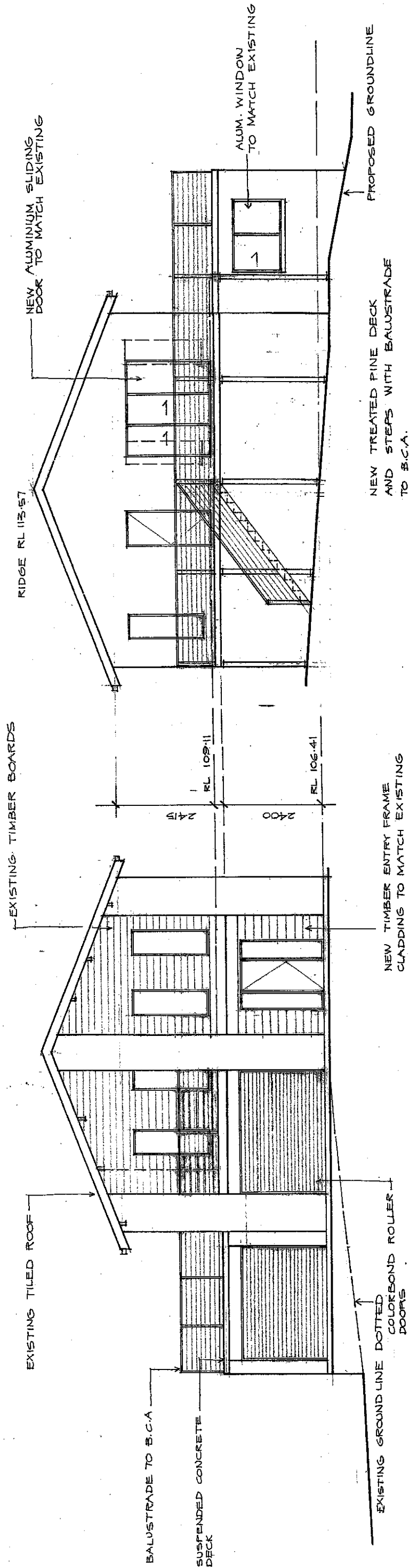
FIRST FLOOR PLAN

A. DECK-AMENDED : 22-11-02

ALTERATIONS AND ADDITIONS TO RESIDENCE
48 BILWARA AVENUE - BILGOLA PLATEAU
FOR MR & MRS J. AND M. WILMOT DEC 2001

GROUND FLOOR PLAN





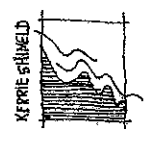
SOUTH ELEVATION

NORTH ELEVATION

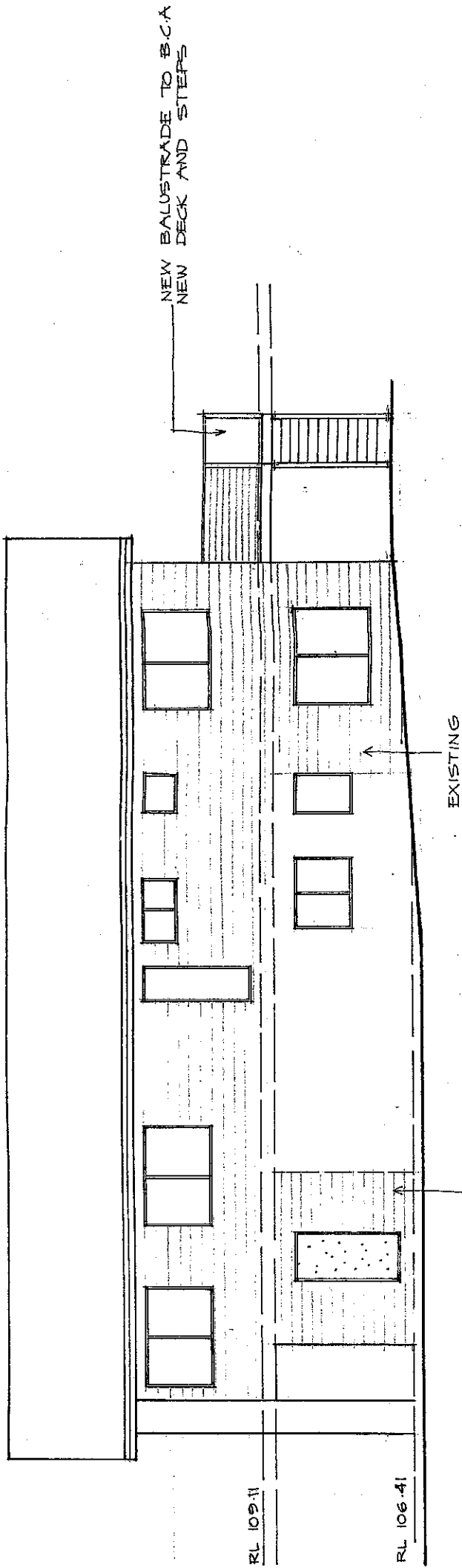
THE COUNCIL OF PITTWATER
APPROVED
 DEVELOPMENT CONSENT PLAN

A. DECK AND STAIRS AMENDED 28.11.02

ALTERATIONS AND ADDITIONS TO RESIDENCE
 48 BILWARA AVENUE - BILGOLA PLATEAU
 FOR MR & MRS J AND M. WILMOT DEC 2001



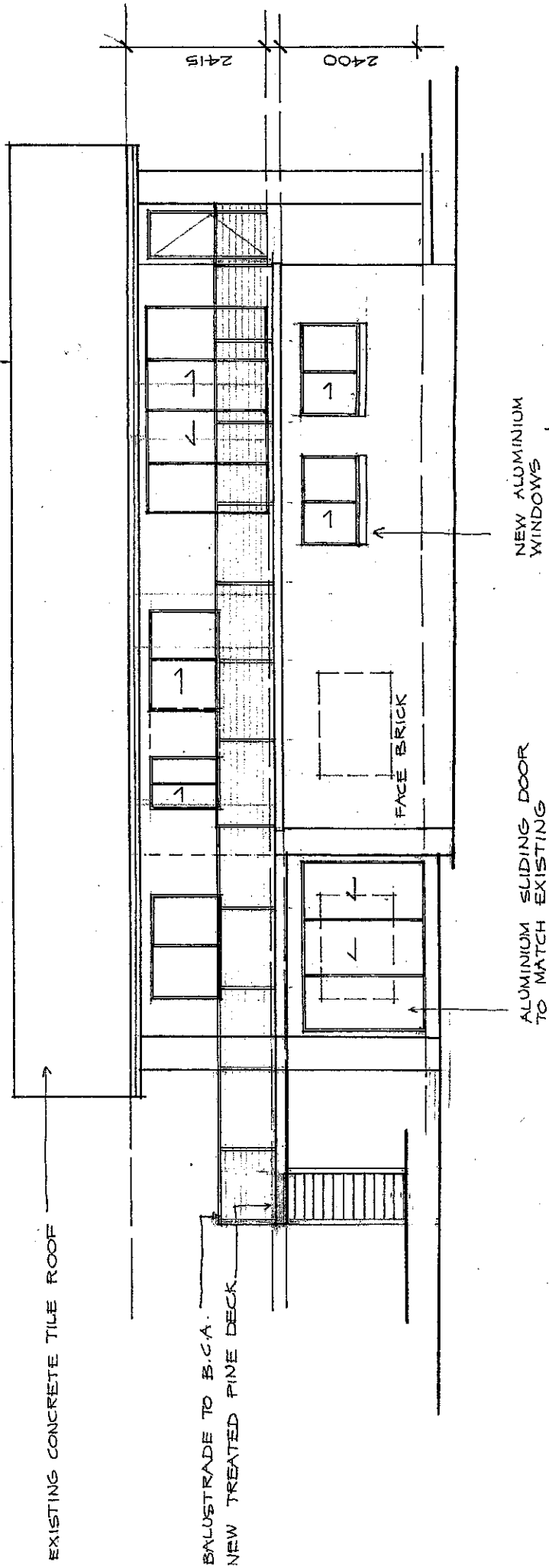
EXISTING RIDGE RL 113.57



NEW TIMBER BOARDS TO
MATCH EXISTING

EAST ELEVATION

EXISTING CONCRETE TILE ROOF



ALUMINIUM SLIDING DOOR
TO MATCH EXISTING

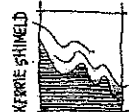
NEW ALUMINIUM
WINDOWS

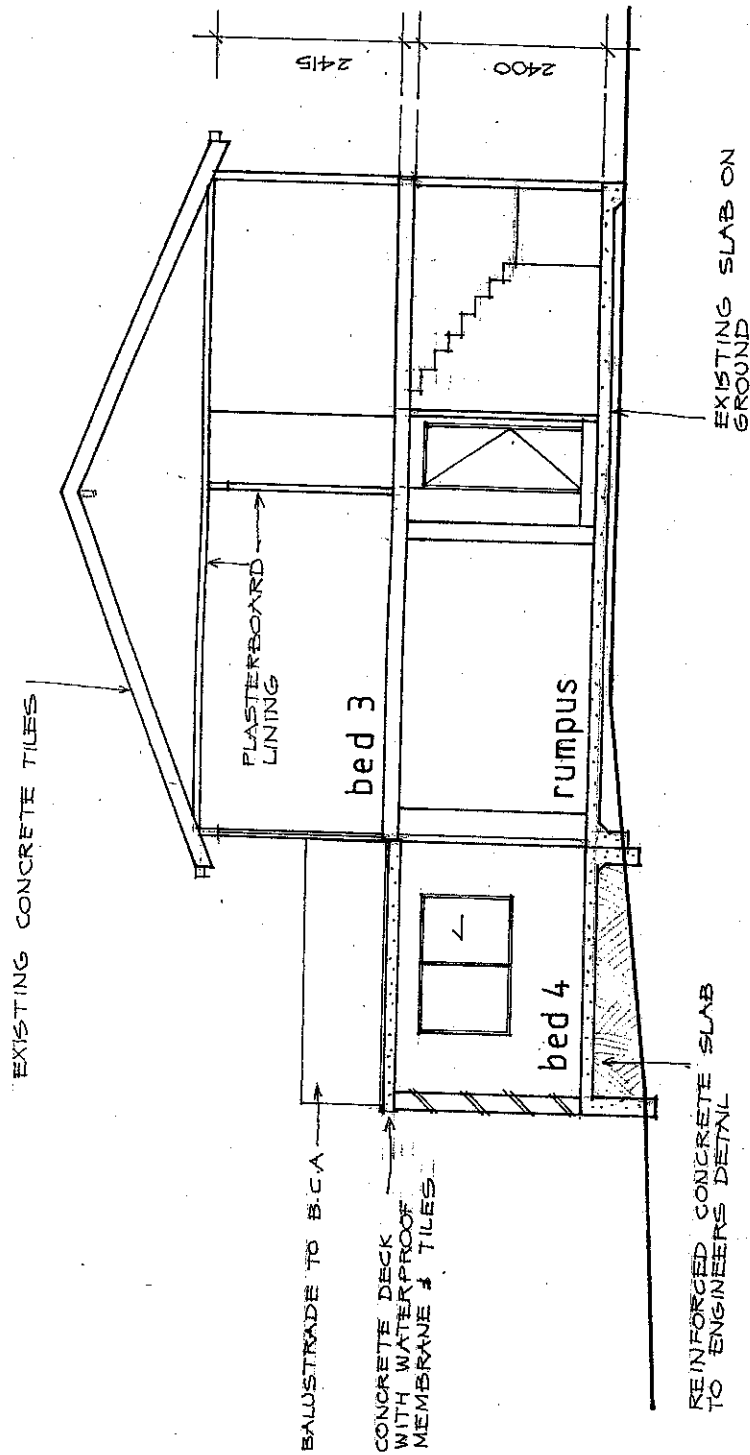
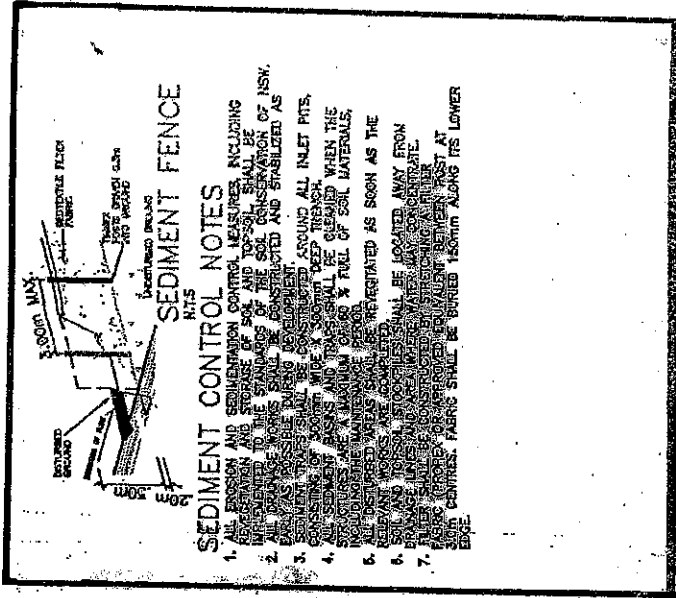
WEST ELEVATION

THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

STAIRS AND
A. TIMBER DECK AMENDED 25.11.02

ALTERATIONS AND ADDITIONS TO RESIDENCE
48 BILWARA AVENUE - BILGOLA PLATEAU
FOR MR & MRS J. AND M. WILMOT DEC 2001





SECTION A-A

SITE AREA	940M ²	
BUILT UPON AREA		
- HOUSE	176.6 M ²	
DRIVEWAY	63 M ²	
POOL/PAVING	58 M ²	
TOTAL	297.6 M ²	
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THE COUNCIL OF PITTSWATER

APPROVED

DEVELOPMENT CONSENT PLAN

ALTERATIONS AND ADDITIONS TO RESIDENCE

48 BILWARA AVENUE - BILGOLA PLATEAU

FOR MR & MRS J. AND M. WILMOT

DEC 2001

