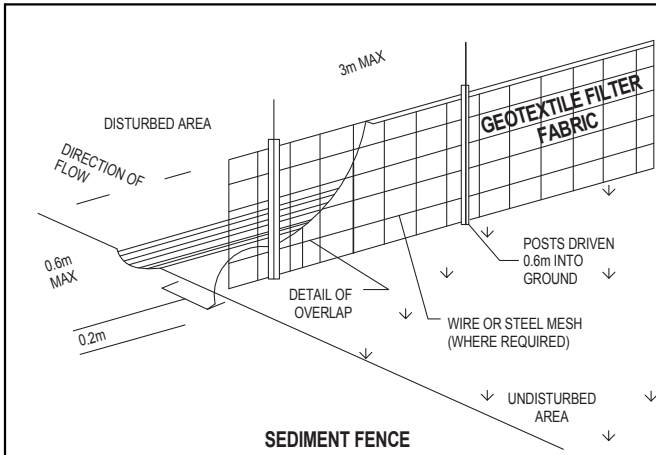


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THE CONDITIONS OF DEVELOPMENT  
CONSENT

DA2021/2562



#### NOTES REGARDING BOUNDARY

THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

#### DUST CONTROL :

TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES.

#### SEDIMENT NOTE :

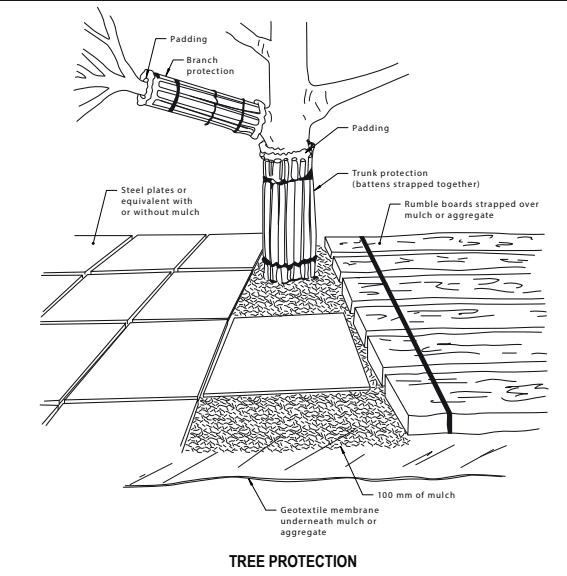
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.  
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.  
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.  
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.  
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

#### STOCKPILES :

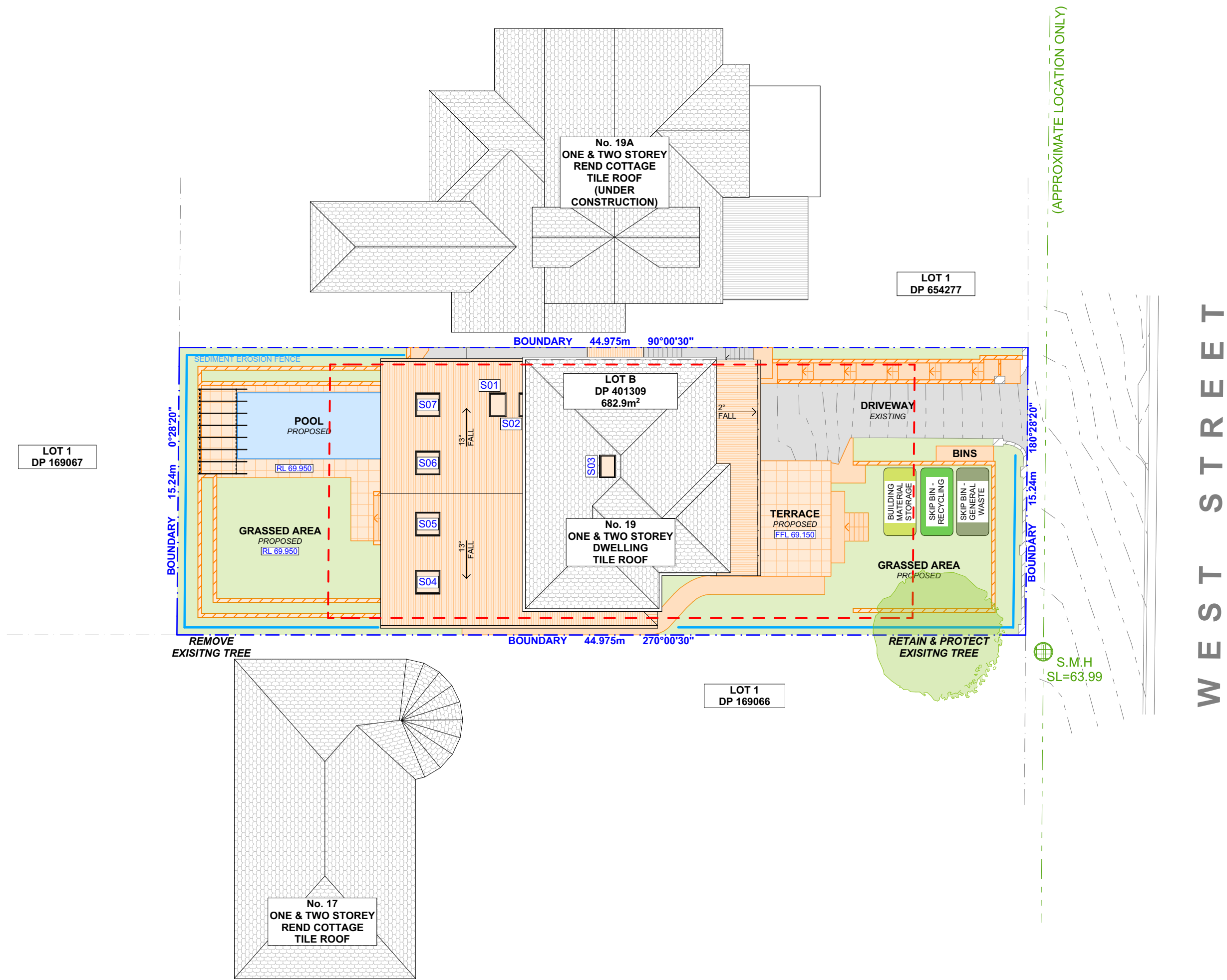
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.  
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.  
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

#### GUTTER PROTECTION :

PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.



NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



1

SITE PLAN

1:200

NOTE: ALL LANDSCAPING TO CONFIRMED BY LANDSCAPE DESIGNER AND LANDSCAPE PLANS SUBMITTED WITH THIS APPLICATION



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REV.	DATE	COMMENTS	DRWN
A	10/11/2021	DA - PRELIMINARY ISSUE	DLR

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All errors and omissions are to be verified by the Builder/Contractor/client and referred to the designer prior to the commencement of works.

#### LEGEND

 EXISTING  
 PROPOSED  
 DEMOLISHED

#### CLIENT

JO & JEAN OLIVER

#### PROJECT ADDRESS

19 WEST STREET,  
BALGOWLAH NSW  
2093

#### DRAWING NO.

DA04

#### DATE

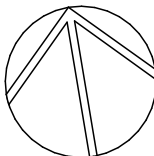
Friday, 10 December  
2021

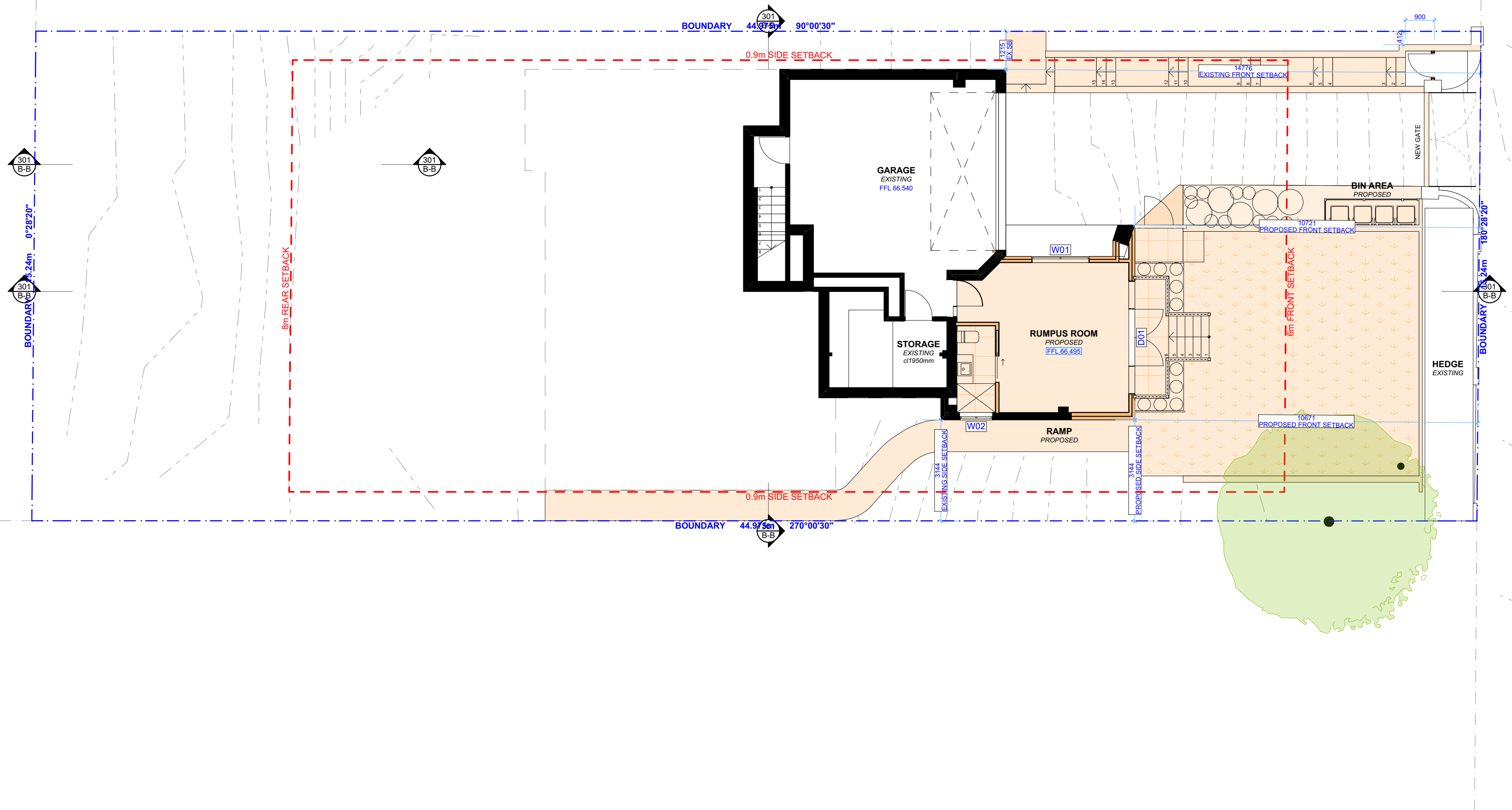
#### DRAWING NAME

SITE / ROOF / SEDIMENT EROSION /  
WASTE MANAGEMENT /  
STORMWATER CONCEPT PLAN

#### SCALE

1:200 @A2





REV.	DATE	COMMENTS	DRWN
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**LEGEND**  
■ EXISTING  
■ PROPOSED  
- - - DEMOLISHED

**CLIENT**  
JO & JEAN OLIVER

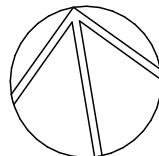
**PROJECT ADDRESS**  
19 WEST STREET,  
BALGOWLAH NSW  
2093

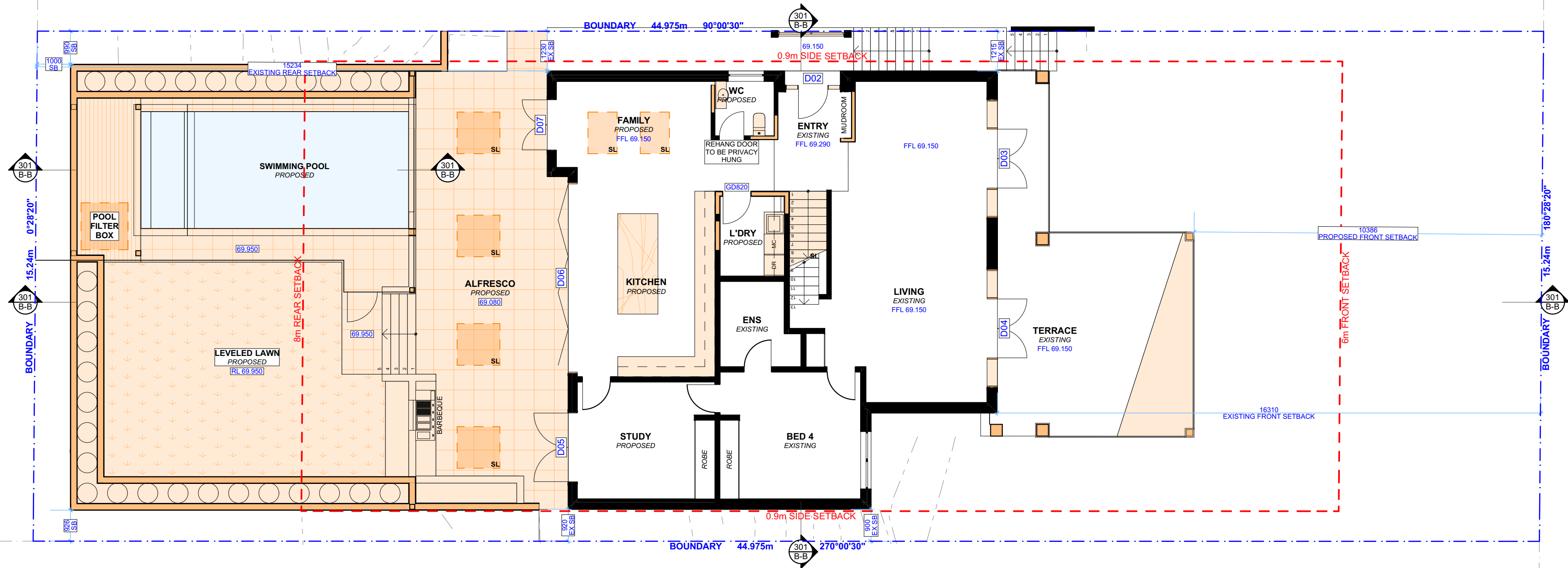
**DRAWING NO.**  
DA08

**DATE**  
Friday, 10 December  
2021

**DRAWING NAME**  
PROPOSED LOWER GROUND  
FLOOR PLAN

**SCALE**  
1:100 @A2





REV.	DATE	COMMENTS	DRWN
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**LEGEND**  
— EXISTING  
— PROPOSED  
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**CLIENT**  
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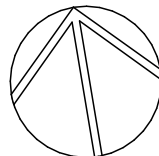
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2093

**DRAWING NO.**  
DA09

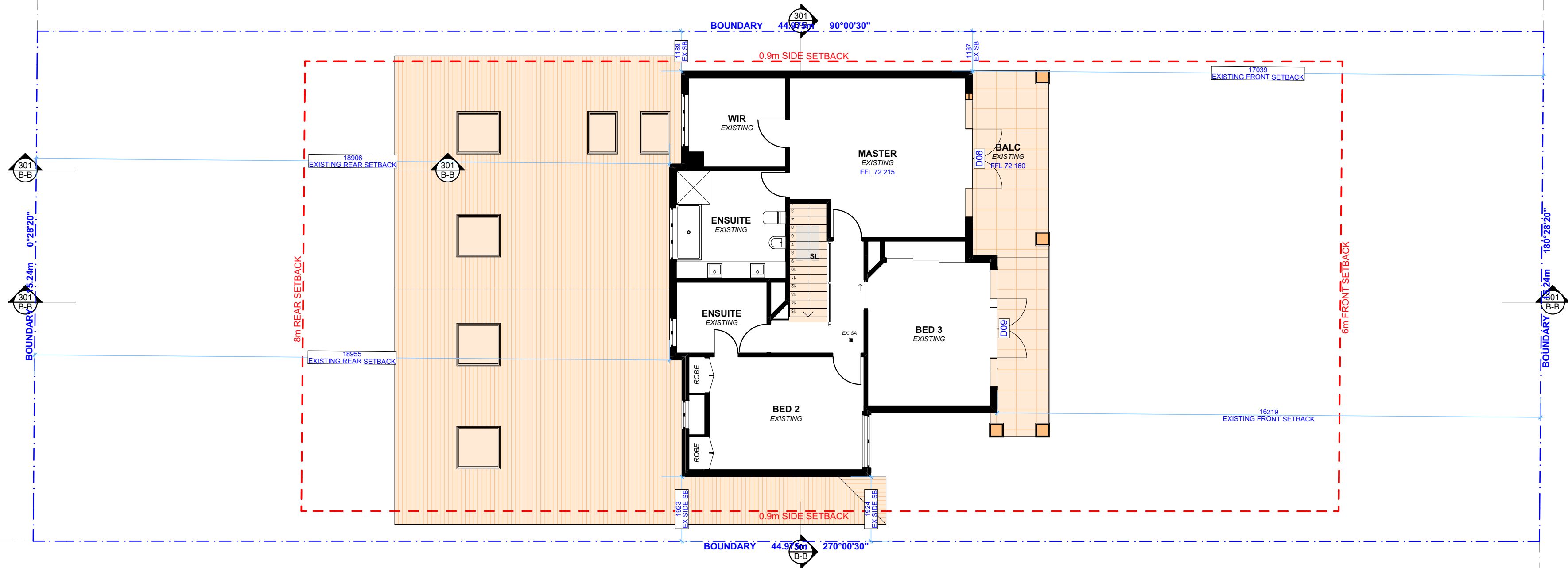
**DATE**  
Friday, 10 December  
2021

**DRAWING NAME**  
PROPOSED GROUND FLOOR PLAN

**SCALE**  
1:100 @A2







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**LEGEND**  
■ EXISTING  
■ PROPOSED  
- - - DEMOLISHED

**CLIENT**  
JO & JEAN OLIVER

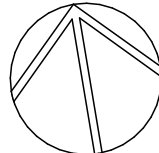
**PROJECT ADDRESS**  
19 WEST STREET,  
BALGOWLAH NSW  
2093

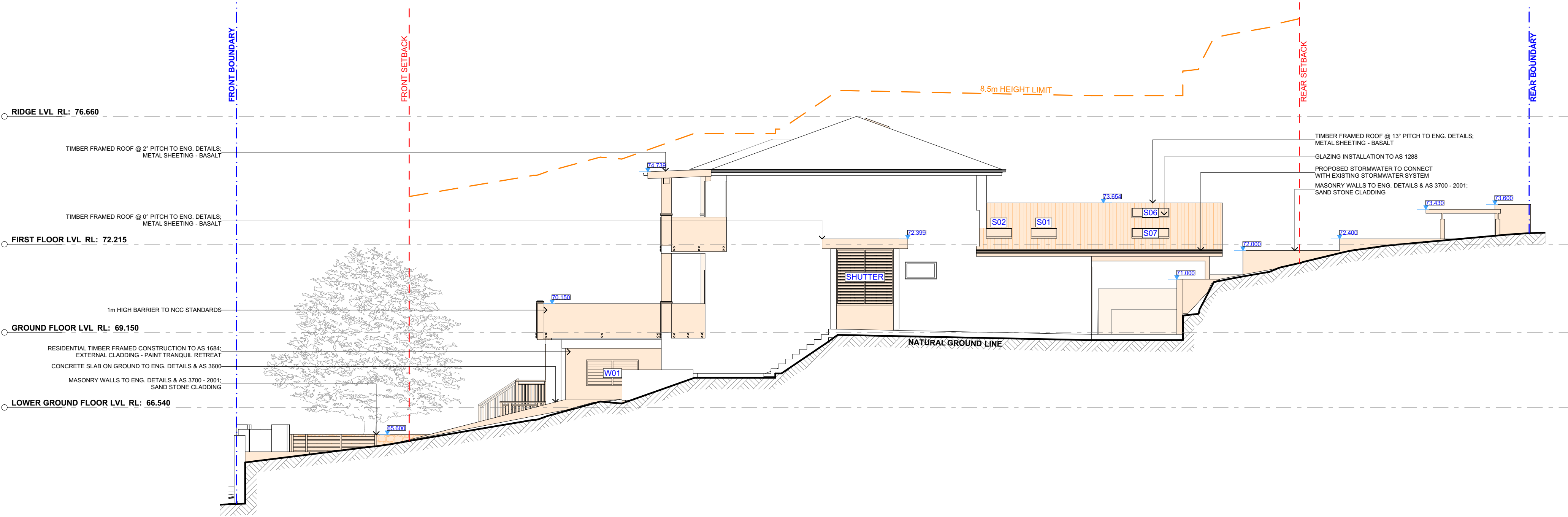
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DA10

**DATE**  
Friday, 10 December  
2021

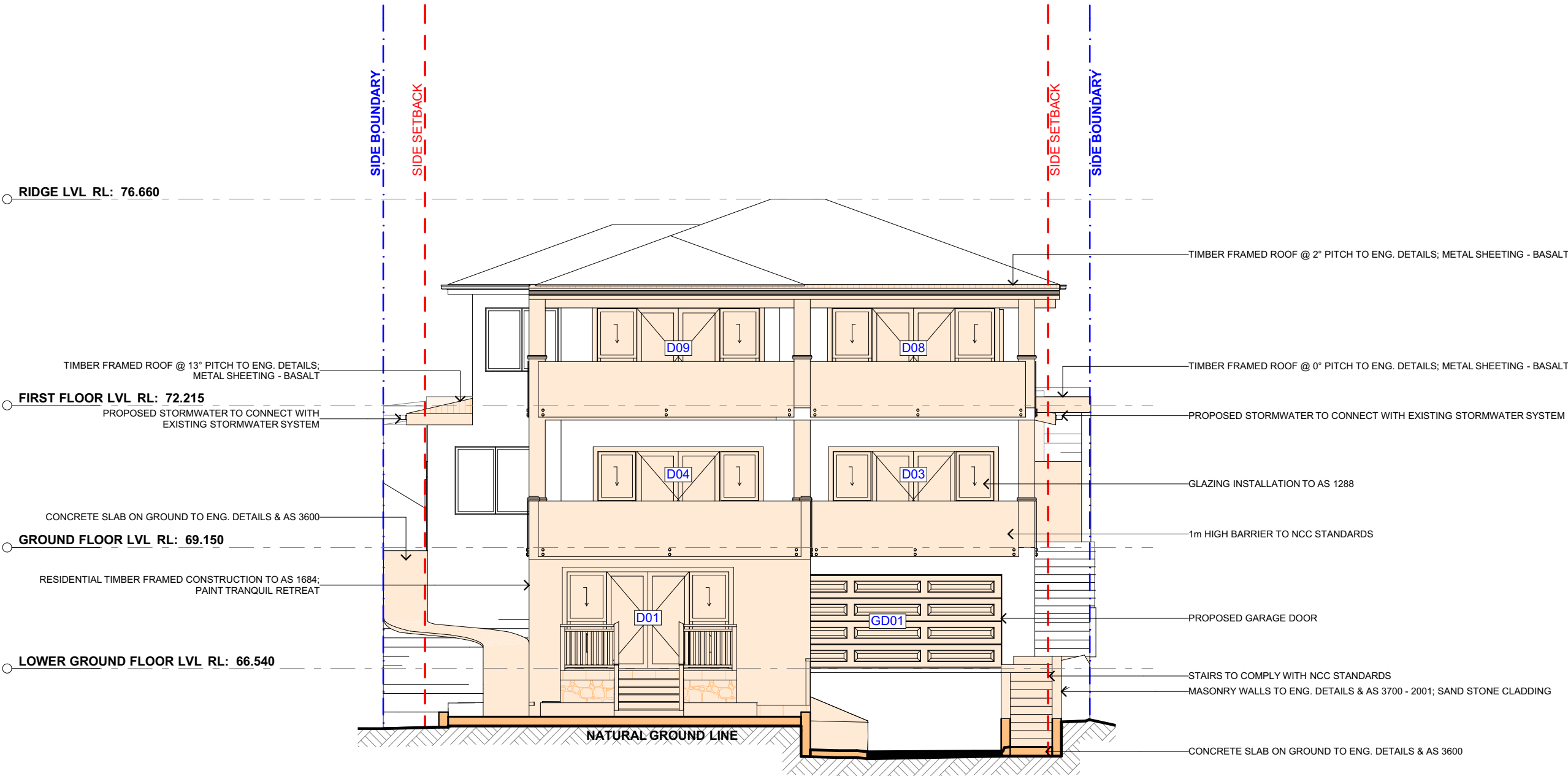
**DRAWING NAME**  
PROPOSED FIRST FLOOR PLAN

**SCALE**  
1:100 @A2





2 NORTH ELEVATION 1:100



1 EAST ELEVATION - PRIMARY ROAD 1:100

NOTE: ALL LANDSCAPING TO CONFIRMED BY LANDSCAPE DESIGNER AND LANDSCAPE PLANS SUBMITTED WITH THIS APPLICATION



northern  
beaches  
council

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CONSENT

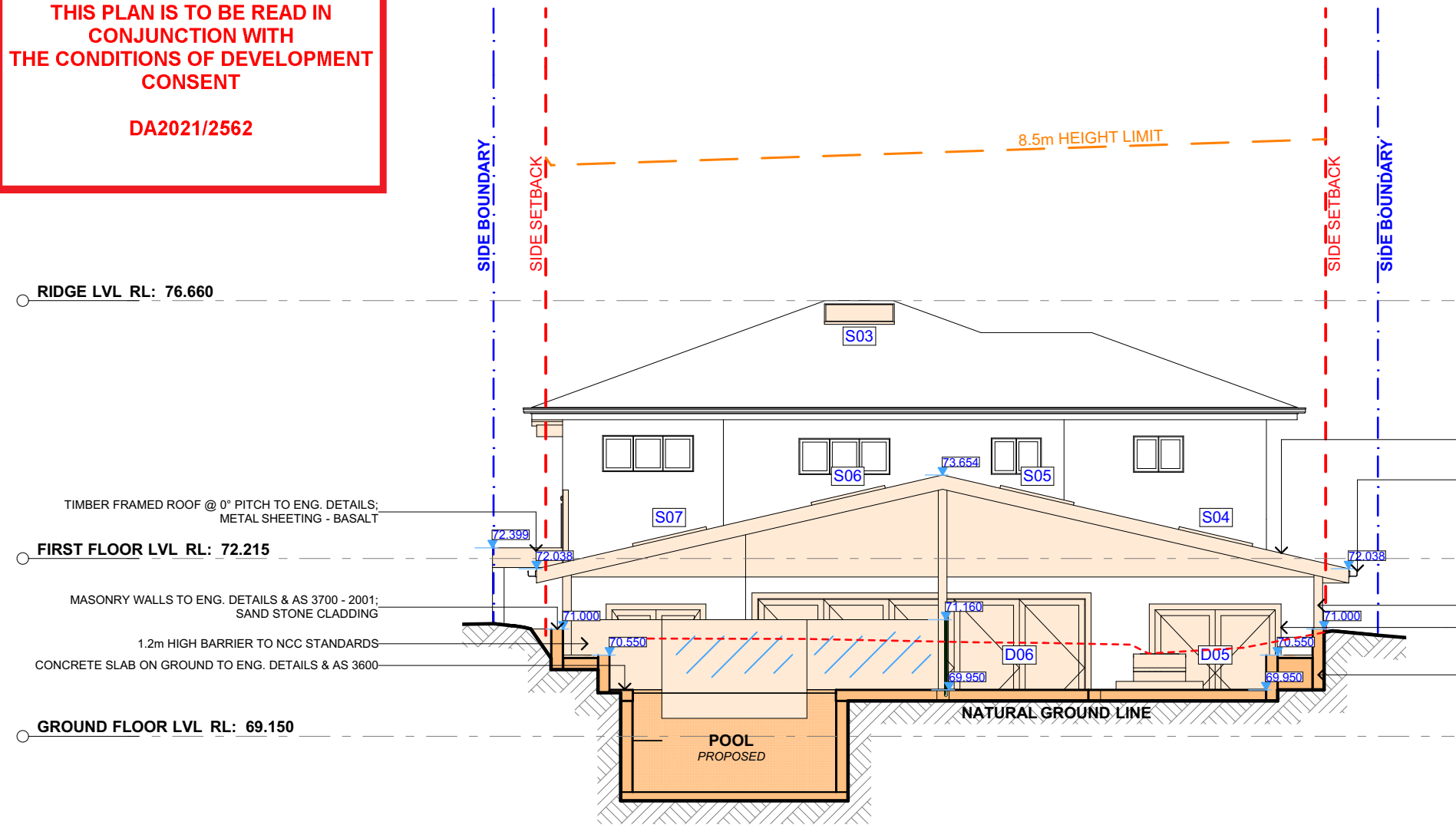
DA2021/2562



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beaches  
council

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THE CONDITIONS OF DEVELOPMENT  
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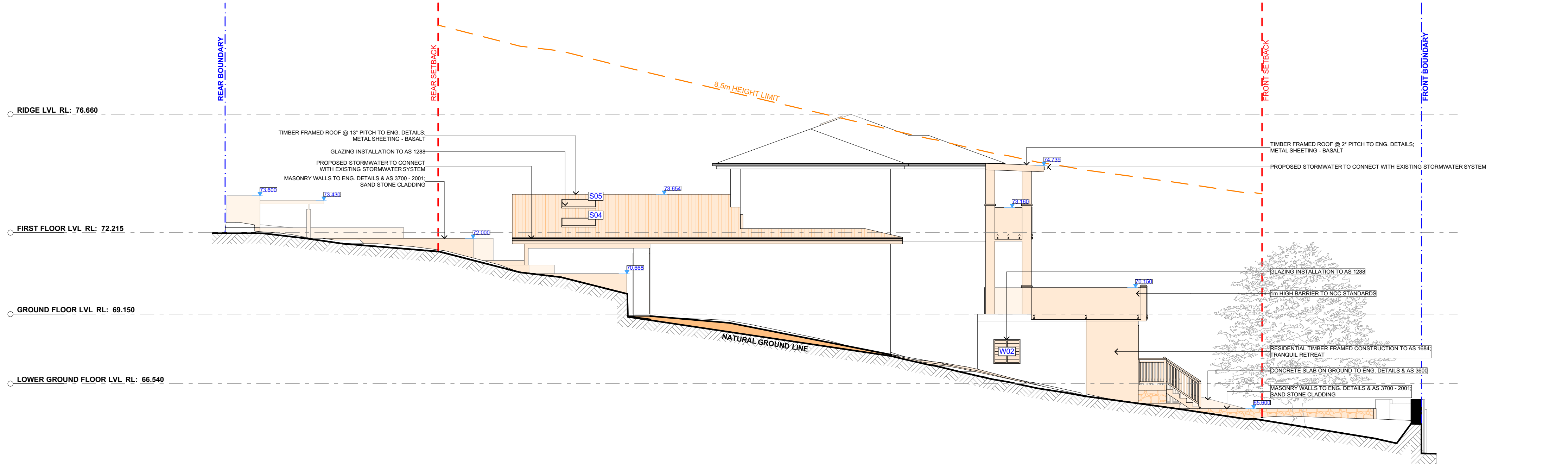
DA2021/2562



1

WEST ELEVATION

1:100




1

SOUTH ELEVATION

1:100

NOTE: ALL LANDSCAPING TO CONFIRMED BY LANDSCAPE DESIGNER AND LANDSCAPE PLANS SUBMITTED WITH THIS APPLICATION





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LEGEND

 EXISTING

 PROPOSED

 DEMOLISHED

CLIENT

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PROJECT ADDRESS

19 WEST STREET,  
BALGOWLAH NSW  
2093

DRAWING NO.

DA12

DATE

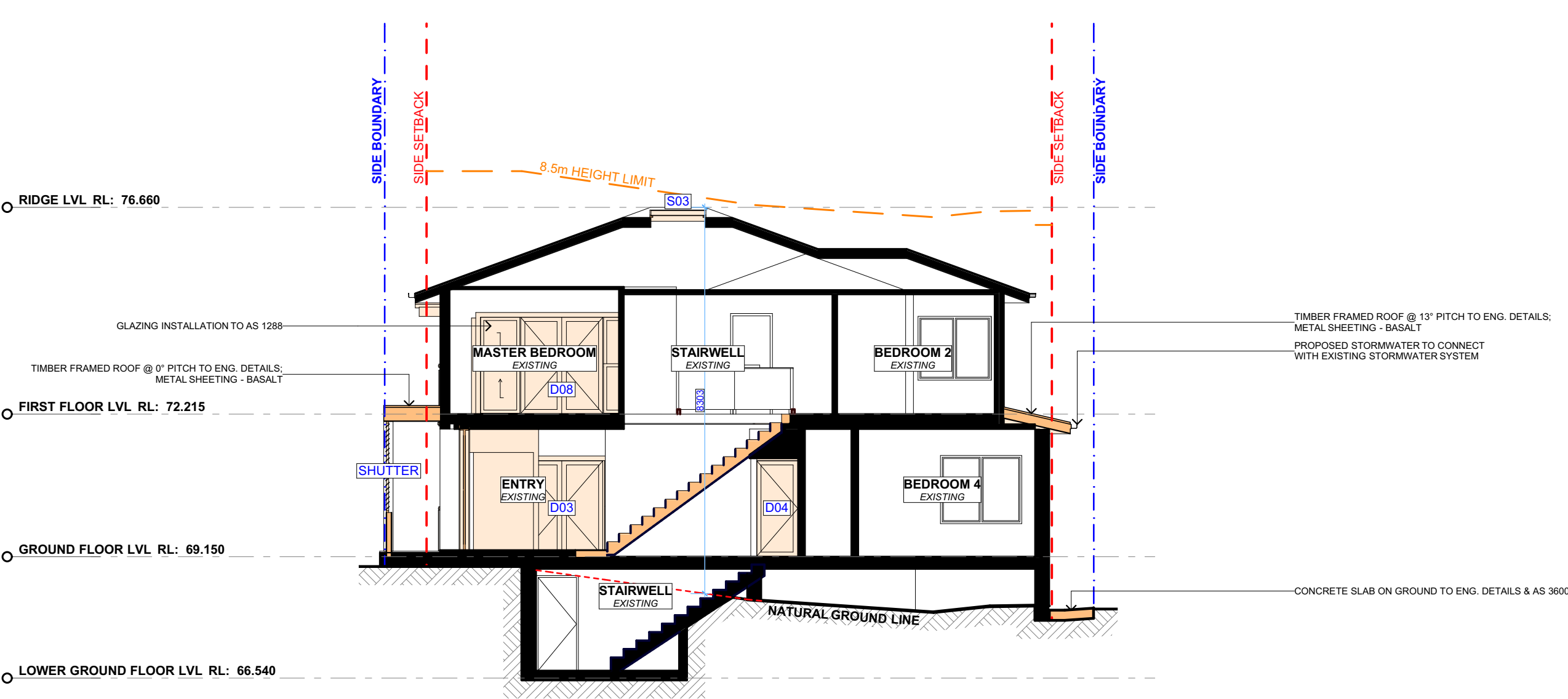
Friday, 10 December  
2021

DRAWING NAME

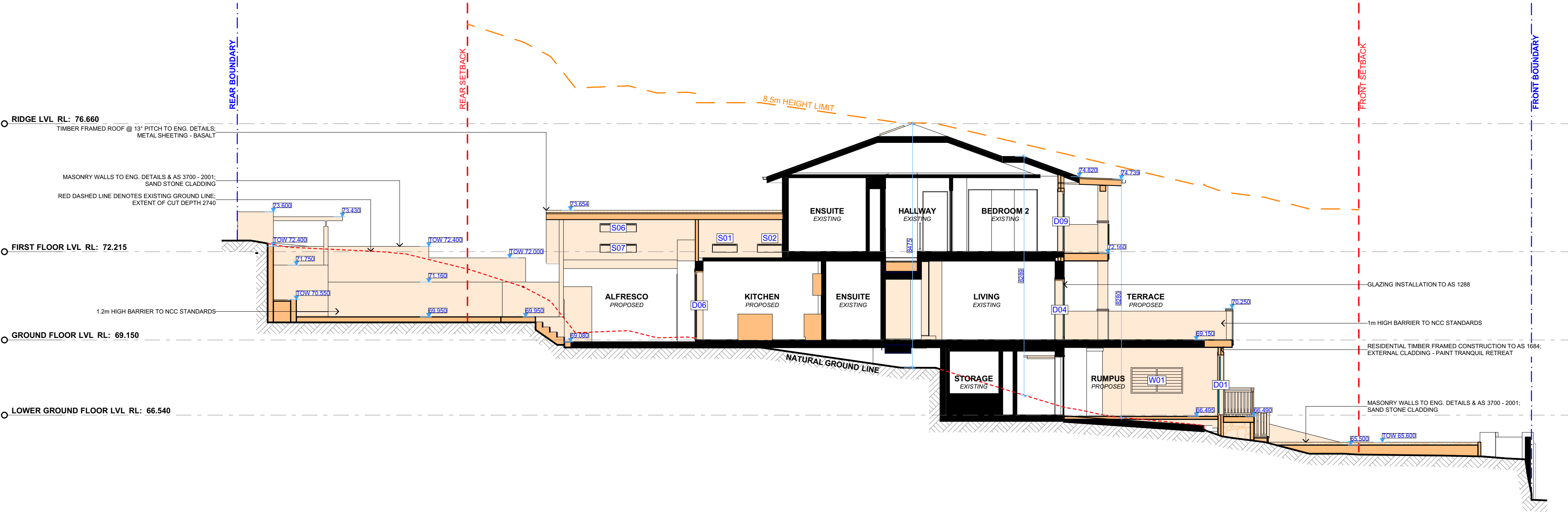
SOUTH / WEST ELEVATION

SCALE

1:100 @A2



2 PROPOSED CROSS SECTION 1:100



1 PROPOSED LONG SECTION 1:100



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REV.	DATE	COMMENTS	DRWN
A	10/11/2021	DA - PRELIMINARY ISSUE	DLR

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LEGEND
<span style="display:inline-block; width:10px; height:10px; background-color:black;"></span> EXISTING
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span> PROPOSED
<span style="display:inline-block; width:10px; border-bottom:2px dashed red;"></span> DEMOLISHED

CLIENT  
JO & JEAN OLIVER

PROJECT ADDRESS  
19 WEST STREET,  
BALGOWLAH NSW  
2093

DRAWING NO.  
DA13

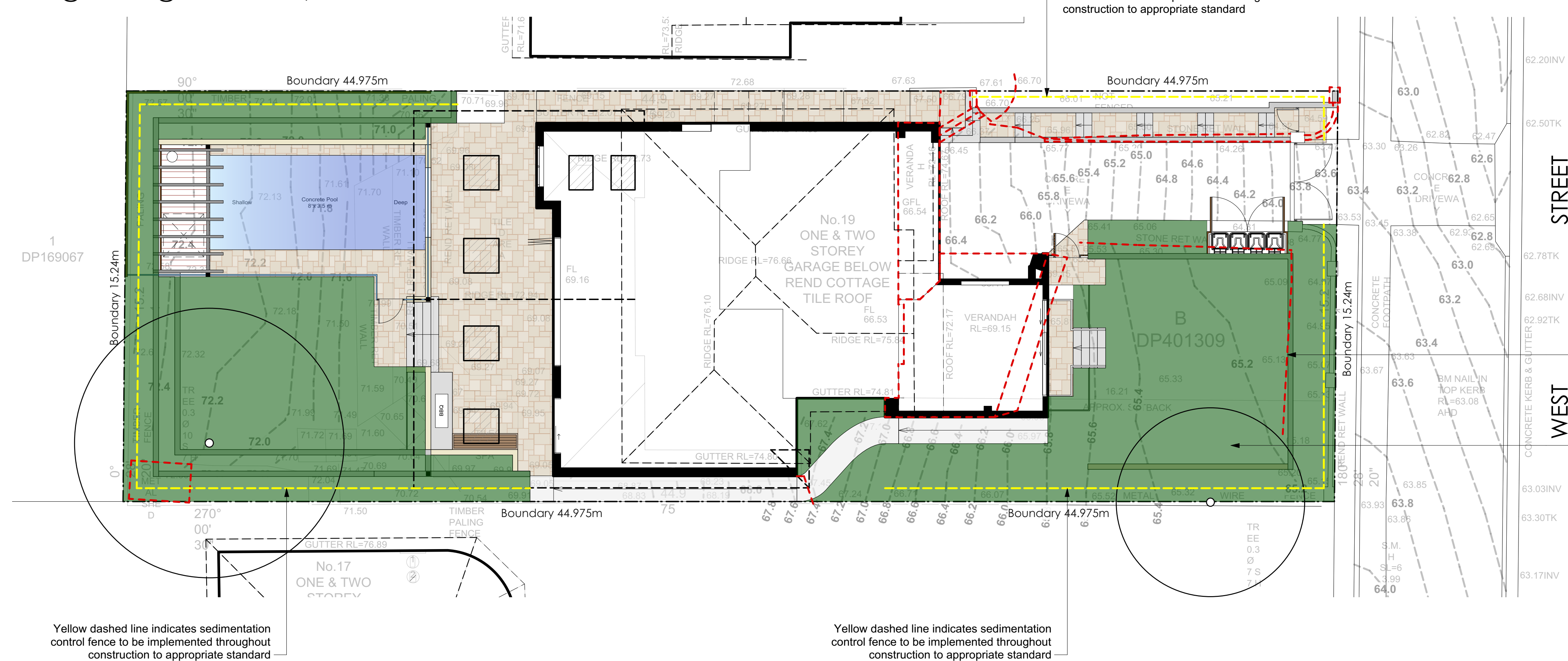
DATE  
Friday, 10 December  
2021

DRAWING NAME  
LONG / CROSS SECTION

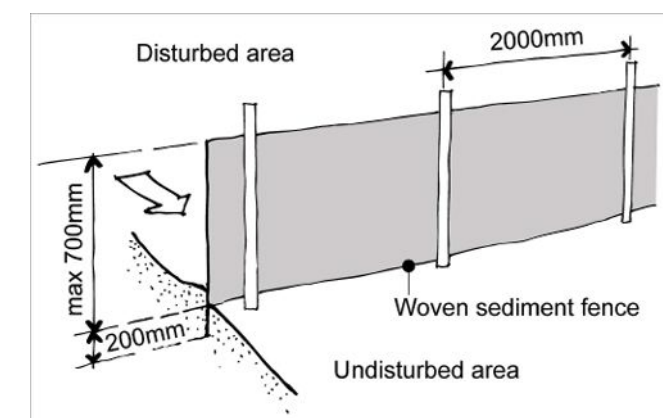
SCALE  
1:100 @A2



1:100@A1 1:200@A3. Do not scale off plan



AREA CALCULATION		
	AREA (m2)	PERCENTAGE
Site	682,9	
Landscape total as per DCP	240,24	35,18%



Sedimentation Control Fence  
Not to scale.

Source: [www.yourhome.gov.au](http://www.yourhome.gov.au)

- |  |                         |
|--|-------------------------|
|  | MULCH AREA              |
|  | TURF AREA               |
|  | TIMBER DECKING          |
|  | CONCRETE PAVING         |
|  | UNIT PAVING             |
|  | STAIRS                  |
|  | PEBBLE                  |
|  | GRAVEL                  |
|  | COBBLESTONE             |
|  | TIMBER                  |
|  | WATER                   |
|  | MASONRY RETAINING WALL  |
|  | STONE RETAINING WALL    |
|  | TIMBER RETAINING WALL   |
|  | BOULDER RETAINING WALL  |
|  | SITE OR WORKS BOUNDARY  |
|  | PROPOSED LEVEL          |
|  | TOP OF WALL LEVEL       |
|  | MATERIAL NAME           |
|  | SURFACE FALL DIRECTION  |
|  | SURFACE DRAINS          |
|  | SURVEY (50% GREY LINES) |
|  | EXISTING TREE TO RETAIN |
|  | EXISTING TREE TO REMOVE |
|  | EXISTING ROCK OUTCROP   |

**Notes:**

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D	25/10/21	Issue D.	<b>=&gt;POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839-2021. POOL LEVEL, SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839-2021</b>		
C	19/10/21	Issue C.			
B	14/10/21	Issue B.			
A	05/10/21	DRAFT issue for review.			
ISSUE		DATE	REVISION		
PROJECT			19 West Street Balgowlah		PROJECT # 22035
CLIENT	Oliver		DATE #	See above	DWG #
			SCALE @ A1	See Plan	Sht-101
DWG	Master Landscape Plan		DRAWN	SA	
			CHKD	JK	REVISION

**Jamie King Landscape Architect** W: [www.jamieking.com.au](http://www.jamieking.com.au)  
84 Palmgrove Rd, Avalon, NSW, 2107 T: 0421 517 991 E: [jamie@jamieking.com.au](mailto:jamie@jamieking.com.au)



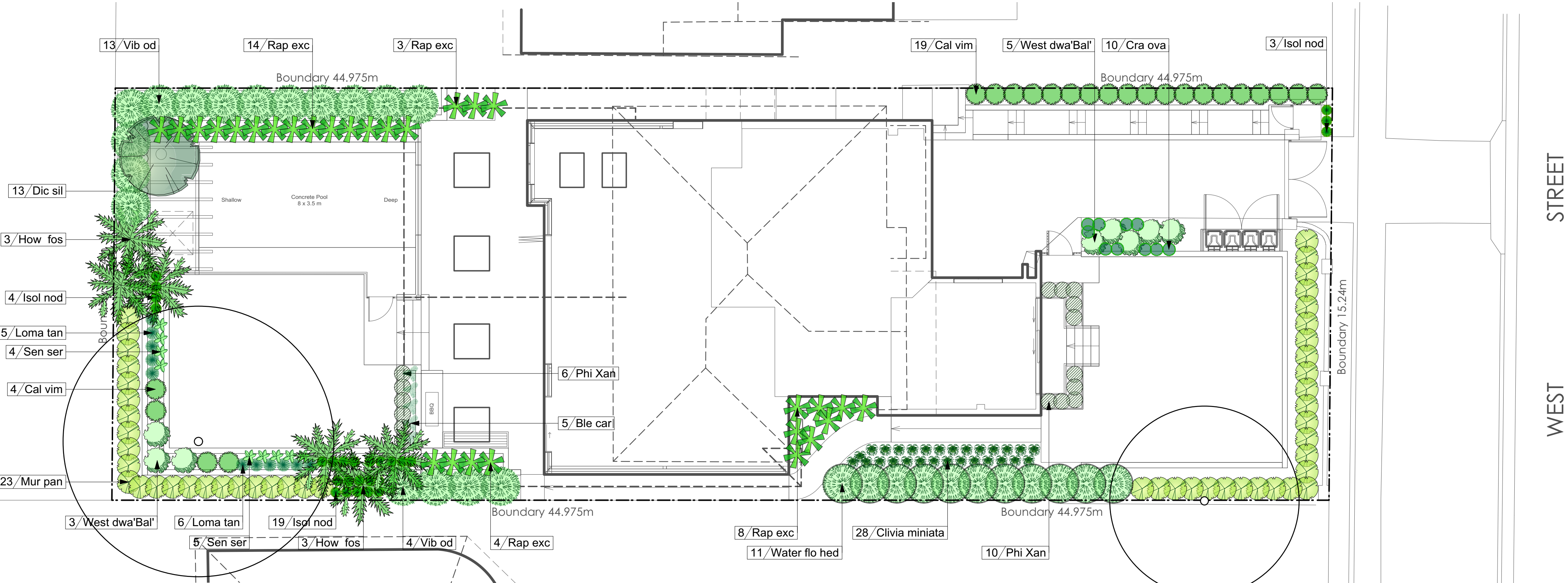
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DA2021/2562

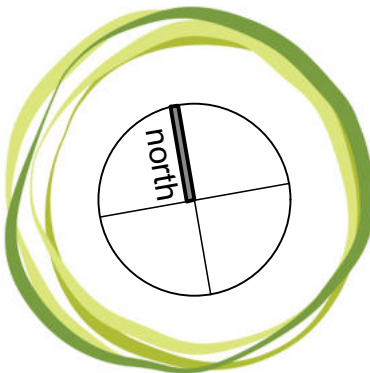


JAMIE KING  
LANDSCAPE ARCHITECT  
DESIGN • APPROVE • MANAGE





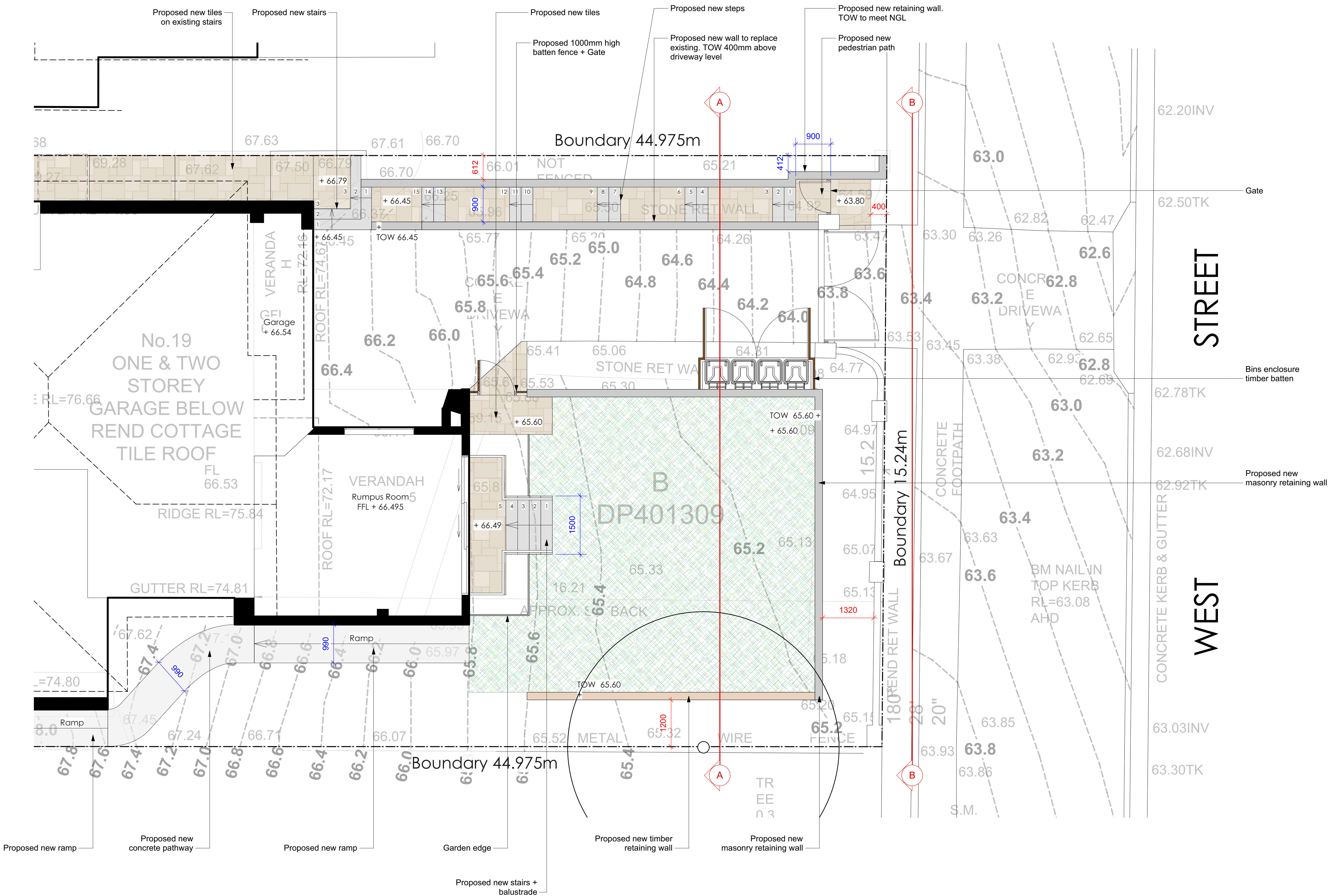
ID	Quantity	Latin Name	Common Name	Scheduled Size	Mature Height	Mature Spread
15	235	15	15	15	15	15
Ble car	5	Blechnum cartilagineum	Gristle Fern	200mm	0.5m	Spread
Cal vim	23	Callistemon viminalis 'slim'	Narrow Bottlebrush	150mm	0.9 - 1.5m	0.9 - 1.2m
Clivia miniata	28	Clivia miniata	Bush Lily	200mm	0.45 - 0.6m	0.3 - 0.6m
Cra ova	10	Crassula ovata	Jade plant	200mm	0.5m	0.5m
Dic sil	13	Dichondra 'Silver falls'	Silver falls	150mm	0.0 - 0.3m	0.9 - 1.2m
How fos	6	Howea fosteriana	Kentia Palm	45lt	5 - 10m	3.5 - 6m
Isol nod	26	Isolepis nodosa	Knobby Club-rush	150mm	0.6 - 0.75m	0.3 - 0.6m
Loma tan	11	Lomandra longifolia 'Tanika'	Spiny-headed mat rush	150mm	0.45 - 0.6m	0.6 - 0.9m
Mur pan	23	Murraya paniculata	Orange Jessamine	200mm	1.5 - 3m	3.5 - 6m
Phi Xan	16	Philodendron 'Xanadu'	Xanadu	200mm	0.8m	1 - 1.2m
Rap exc	29	Raphis excelsa	Lady Palm	25lt	3 - 5m	2.0 - 3.5m
Sen ser	9	Senecio serpens	Blue Chalksticks	200mm	0.3m	0.3m
Vib od	17	Viburnum odoratissimum	Viburnum	25lt	3 - 5m	3.5 - 6m
Water flo hed	11	Waterhouseia floribunda hedge	Weeping Lilly Pilly 'hedge'	45lt	5 - 10m	3.5 - 6m
West dwa'Bal'	8	Westringia dwarf 'Balled'	Westringia dwarf 'Balled'	150mm	0.9 - 1.5m	0.9 - 1.2m



JAMIE KING  
LANDSCAPE ARCHITECT  
DESIGN ● APPROVE ● MANAGE

D	25/10/21	Issue D.	PROJECT	19 West Street Balgowlah	PROJECT #	22035
C	19/10/21	Issue C.	CLIENT	Oliver	DATE #	See above
B	14/10/21	Issue B.	DWG	Planting Plan	SCALE @ A1	See Plan
A	05/10/21	DRAFT issue for review.	CHKD	JK	REVISION	
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Jamie King Landscape Architect						
84 Palmgrove Rd, Avalon, NSW, 2107						
T: 0421 517 991						
W: www.jamieking.com.au						
E: jamie@jamieking.com.au						





Legend

- MULCH AREA
- TURF AREA
- TIMBER DECKING
- CONCRETE PAVING
- UNIT PAVING
- STAIRS
- PEBBLE
- GRAVEL
- COBBLESTONE
- TIMBER
- WATER
- MASONRY RETAINING WALL
- STONE RETAINING WALL
- TIMBER RETAINING WALL
- BOULDER RETAINING WALL
- SITE OR WORKS BOUNDARY
- PROPOSED LEVEL
- TOP OF WALL LEVEL
- MATERIAL NAME
- SURFACE FALL DIRECTION
- SURFACE DRAINS
- SURVEY (50% GREY LINES)
- EXISTING TREE TO RETAIN
- EXISTING TREE TO REMOVE
- EXISTING ROCK OUTCROP

**Notes:**  
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D	25/10/21	Issue D.
C	19/10/21	Issue C.
B	14/10/21	Issue B.
A	05/10/21	DRAFT issue for review.

PROJECT	19 West Street Balgowlah	PROJECT #	22035
CLIENT	Oliver	DATE #	See above
DWG	Front Yard Detail Plan	SCALE @ A1	See Plan
CHKD	JK	DRAWN	SA
		REVISION	

Jamie King Landscape Architect  
84 Palmgrove Rd, Avalon, NSW, 2107  
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W: www.jamieking.com.au  
E: jamie@jamieking.com.au



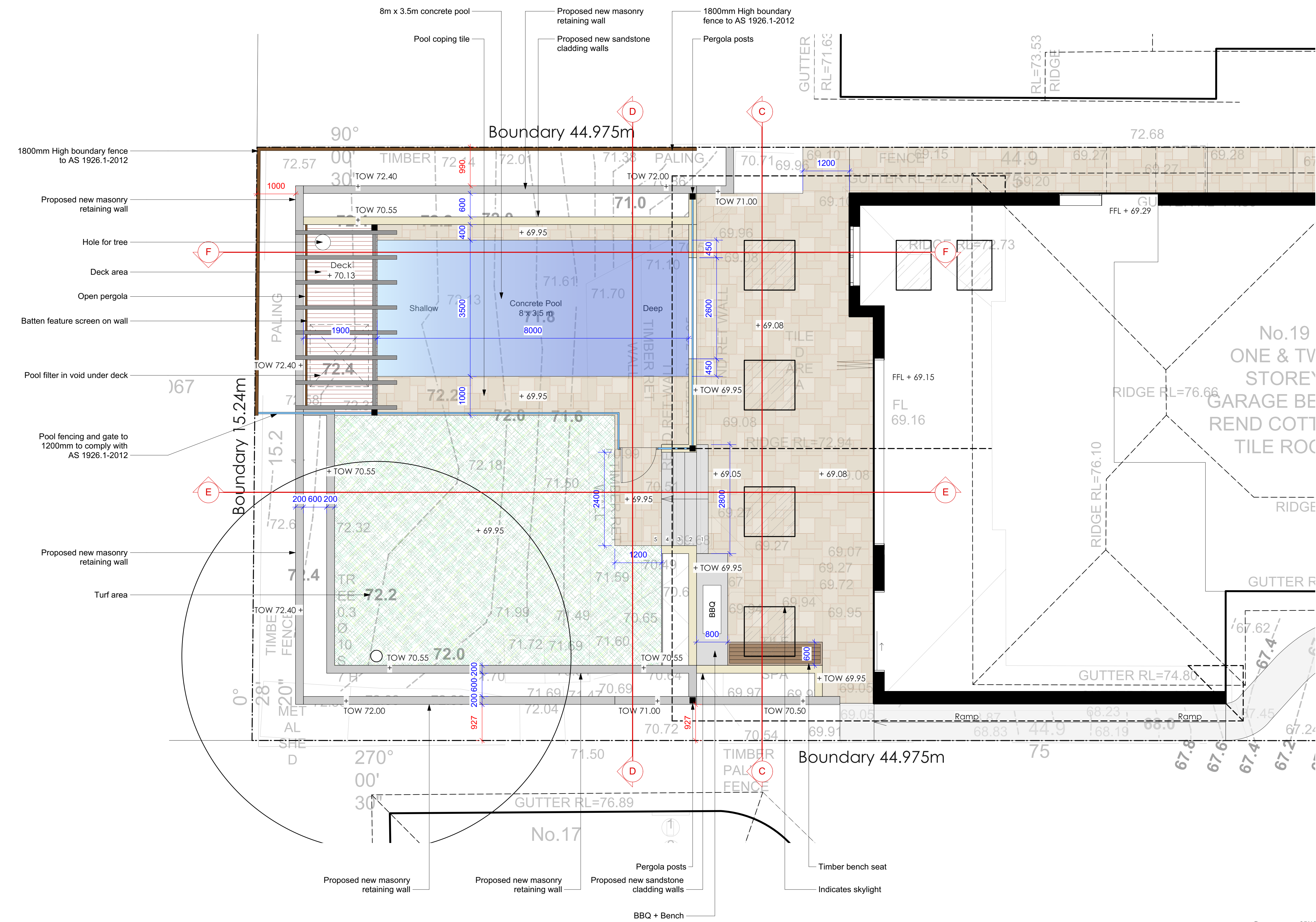
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LANDSCAPE ARCHITECT  
DESIGN ● APPROVE ● MANAGE

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DA2021/2562



1:50@A1 1:100@A3. Do not scale off plan

	MULCH AREA
	TURF AREA
	TIMBER DECKING
	CONCRETE PAVING
	UNIT PAVING
	STAIRS
	PEBBLE
	GRAVEL
	COBBLESTONE
	TIMBER
	WATER
	MASONRY RETAINING WALL
	STONE RETAINING WALL
	TIMBER RETAINING WALL
	BOULDER RETAINING WALL
	SITE OR WORKS BOUNDARY
	PROPOSED LEVEL
	TOP OF WALL LEVEL
	MATERIAL NAME
	SURFACE FALL DIRECTION
	SURFACE DRAINS
	SURVEY (50% GREY LINES)
	EXISTING TREE TO RETAIN
	EXISTING TREE TO REMOVE
	EXISTING ROCK OUTCROP



**Notes:**  
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**>POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ONSITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021**

D	25/10/21	Issue D.	<p>-POOL TO BE INSTALLED TO MEET THE REQUIREMENTS OF AS1839:2021. POOL LEVEL SHOWN IS INDICATIVE ONLY AND TO BE CONFIRMED ON SITE BY BUILDER TO ENSURE COMPLIANCE WITH AS1839:2021</p>		
C	19/10/21				
B	14/10/21	Issue B.			
A	05/10/21	DRAFT issue for review.			
ISSUE		DATE	REVISION		
PROJECT			19 West Street Balgowlah		PROJECT # 2203
CLIENT	Oliver		DATE #	See above	DWG#
			SCALE @ A1	See Plan	
DWG	Backyard Detail Plan		DRAWN	SA	Sht-10
			CHKD	JK	REVISION

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**THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT**

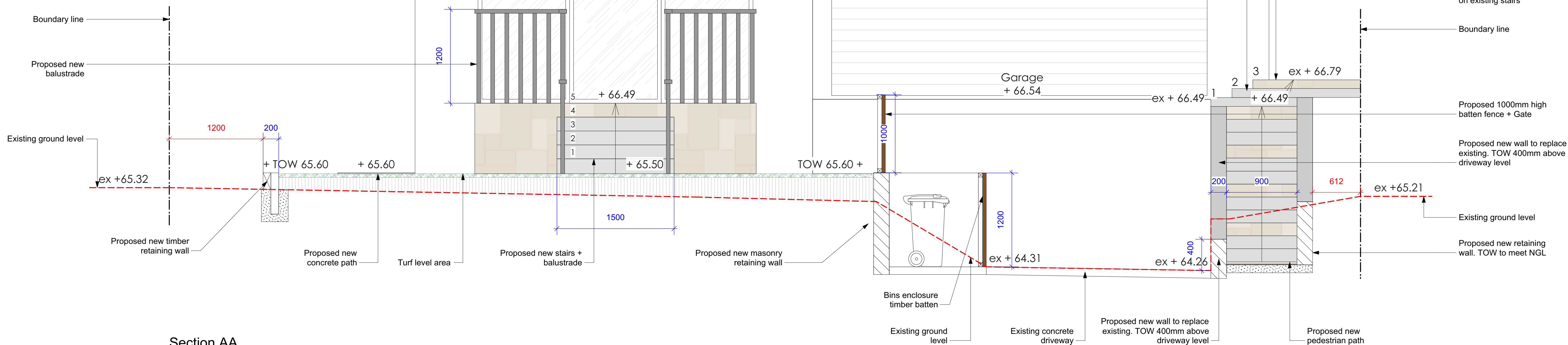
**DA2021/2562**



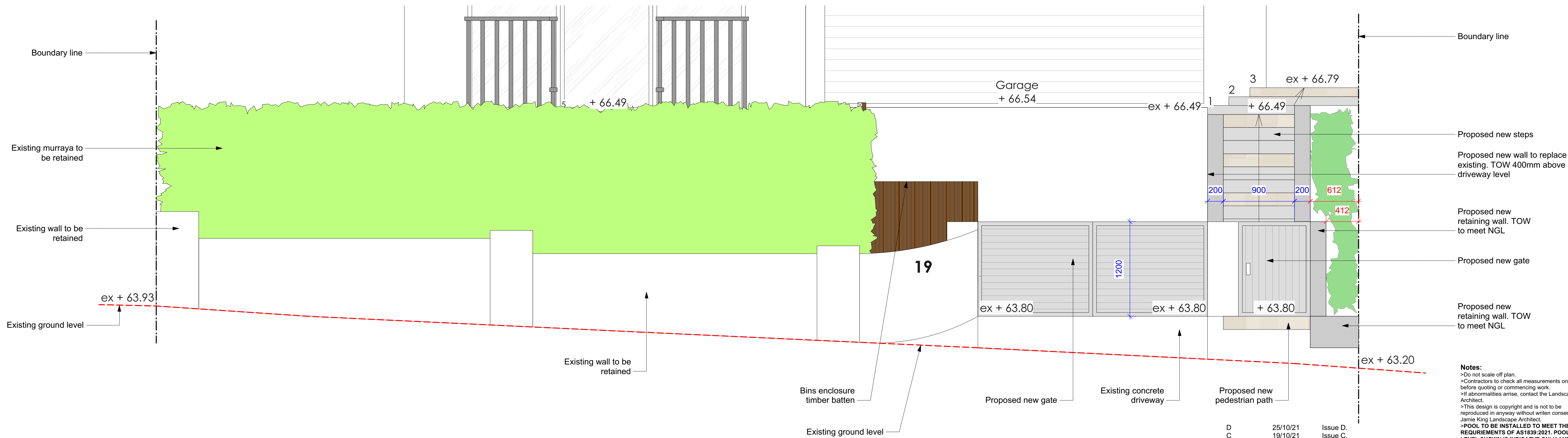
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LANDSCAPE ARCHITECT  
DESIGN • APPROVE • MANAGE



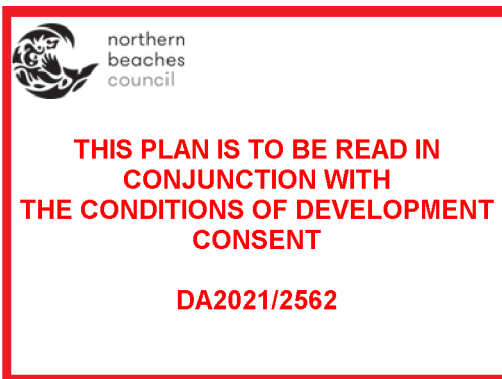
ex RL + 69.15



Section AA  
1:25@A1 1:50@A3. Do not scale off plan



Section BB  
1:25@A1 1:50@A3. Do not scale off plan

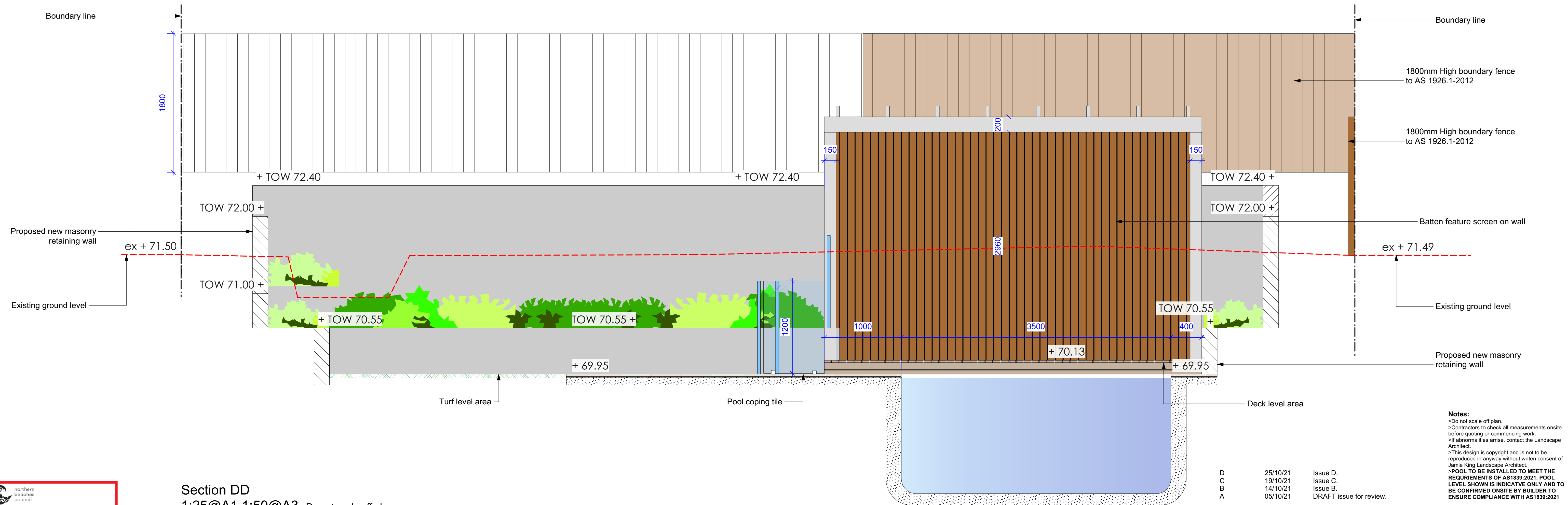


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D	25/10/21	Issue D.	PROJECT	19 West Street Balgowlah	PROJECT #	22035
C	19/10/21	Issue C.	CLIENT	Oliver	DATE #	See above
B	14/10/21	Issue B.	SCALE @ A1	See Plan	DWG #	Sht-105
A	05/10/21	DRAFT issue for review.	DWG	Sections Elevations	DRAWN	SA
				CHKD	JK	REVISION
				Jamie King Landscape Architect		
				84 Palmgrove Rd, Avalon, NSW, 2107		
				W: www.jamieking.com.au		
				T: 0421 517 991		
				E: jamie@jamieking.com.au		

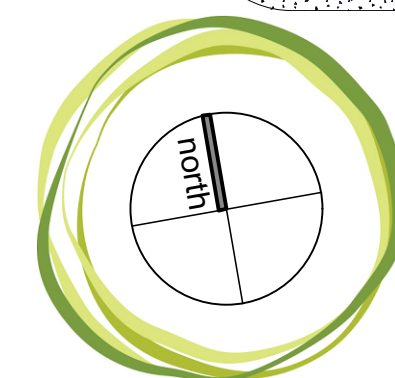
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Section DD  
1:25@A1 1:50@A3. Do not scale off plan



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D	25/10/21	Issue D.	PROJECT #	22035
C	19/10/21	Issue C.	CLIENT	Oliver
B	14/10/21	Issue B.	SCALE @ A1	See above
A	05/10/21	DRAFT issue for review.	DWG	Sections Elevations
PROJECT				DWG #
19 West Street Balgowlah				Sht-106
CLIENT				CHKD
Oliver				JK
DWG				REVISION
Sections Elevations				



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House line

House level

FFL + 69.16

Proposed new masonry retaining wall

Proposed new sandstone cladding walls

TOW + 70.50

TOW + 69.95

+ 69.08

600

800

900

1

BBQ + Bench

Proposed new masonry retaining wall

Pool fencing and gate to 1200mm to comply with AS 1926.1-2012

TOW + 72.00

+ 69.95

+ 69.95

8000

1200

1900

TOW 70.55 +

+ 70.13

Deck level area

Proposed new sandstone cladding walls

Open pergola

RL + 73.43

500

2100

1000

1800

+ ex 72.57

Existing ground level

Proposed new masonry retaining wall

Batten feature screen on wall

Boundary line

1800mm High boundary fence to AS 1926.1-2012

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- Architect
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- >POOL TO BE INSTALLE
- REQUIREMENTS OF AS
- LEVEL SHOWN IS INDIC
- BE CONFIRMED ONSITE
- ENSURE COMPLIANCE

D 25/10/21 Issue D.

C 19/10/21 Issue C.

B 14/10/21 Issue B.

A 05/10/21 DRAFT issue for review.

ISSUE DATE REVISION

PROJECT

JAMIE KING

19 West Street Balgowlah



# JAMIE KING

## LANDSCAPE ARCHITECT

DESIGN   ●   APPROVE   ●   MANAGE

ISSUE	DATE	REVISION		PROJECT #	22035
PROJECT	19 West Street Balgowlah				
CLIENT	Oliver		DATE #	See above	DWG #
DWG	Sections Elevations		SCALE @ A1	See Plan	Sht-107
			DRAWN	SA	
			CHKD	JK	REVISION

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