

Bushfire Assessment Report

Proposed:
Alterations & additions

At:
**4 Aperta Place,
Beacon Hill**

Reference Number: 260335

4th November 2025



Prepared By:
**Building Code & Bushfire
Hazard Solutions Pty Limited**

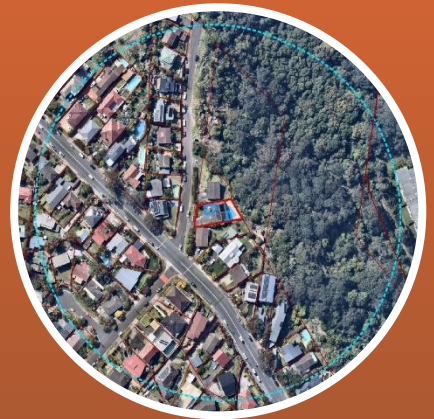
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**SILVER
MEMBER**
Fire Protection
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Version Control				
Version	Date	Author	Reviewed by	Details
1	4/11/2025	Duncan Armour	Andrew Muirhead	Final Report

List of Abbreviations:

APZ	Asset Protection Zone
AS3959	Australian Standard 3959 – 2018
BAL	Bushfire Attack Level
BPMs	Bushfire Protection Measures
BPLM	Bushfire Prone Land Map
Council	Northern Beaches Council
DA	Development Application
ELVIS	Elevation and Depth Foundation Spatial Data
EP&A Act	<i>Environmental Planning and Assessment Act - 1979</i>
ESD	Ecologically Sustainable Development
FRNSW	Fire and Rescue NSW
IPA	Inner Protection Area
NASH	National Association of Steel-framed Housing
NCC	National Construction Code
NP	National Park
NSP	Neighbourhood Safer Place
OPA	Outer Protection Area
PBP	<i>Planning for Bush Fire Protection - 2019</i>
ROW	Right of Way
RF Act	<i>Rural Fires Act - 1997</i>
RFS	NSW Rural Fire Service
SEPP	State Environmental Planning Policy
SFPP	Special Fire Protection Purpose
SWS	Static Water Supply

1.0 Introduction

The development proposal relates to the alterations and additions of a sole occupancy dwelling within an existing residential allotment located at 4 Aperta Place, Beacon Hill (Lot 5 DP 236335). The subject property has a street frontage to Aperta Place to the west, abuts similar residential allotments to the north and south and Brick Pit Bushland Reserve to the east.

The vegetation identified as being the hazard is located within Brick Pit Bushland Reserve to the east of the subject property.

Properties considered to be affected by possible bushfire impact are determined from the local Bushfire Prone Land Map as prepared by Council and or the Rural Fire Service. All property development within affected areas is subject to the conditions detailed in the document 'Planning for Bush Fire Protection - 2019' (PBP).

PBP formally adopted on the 1st March 2020 provides for the protection of property and life (including fire-fighters and emergency service personnel) from bushfire impact.

Northern Beaches Council's Bushfire Prone Land Map identifies the subject property as containing the Vegetation Buffer.

As the application relates to the alterations and additions of a sole occupancy dwelling within an existing residential allotment the relevant specifications and requirements under PBP are the aim and objectives detailed in Chapter 1 'Introduction' and specific objectives and bushfire protection measures detailed in Chapter 7 'Residential Infill Development'.

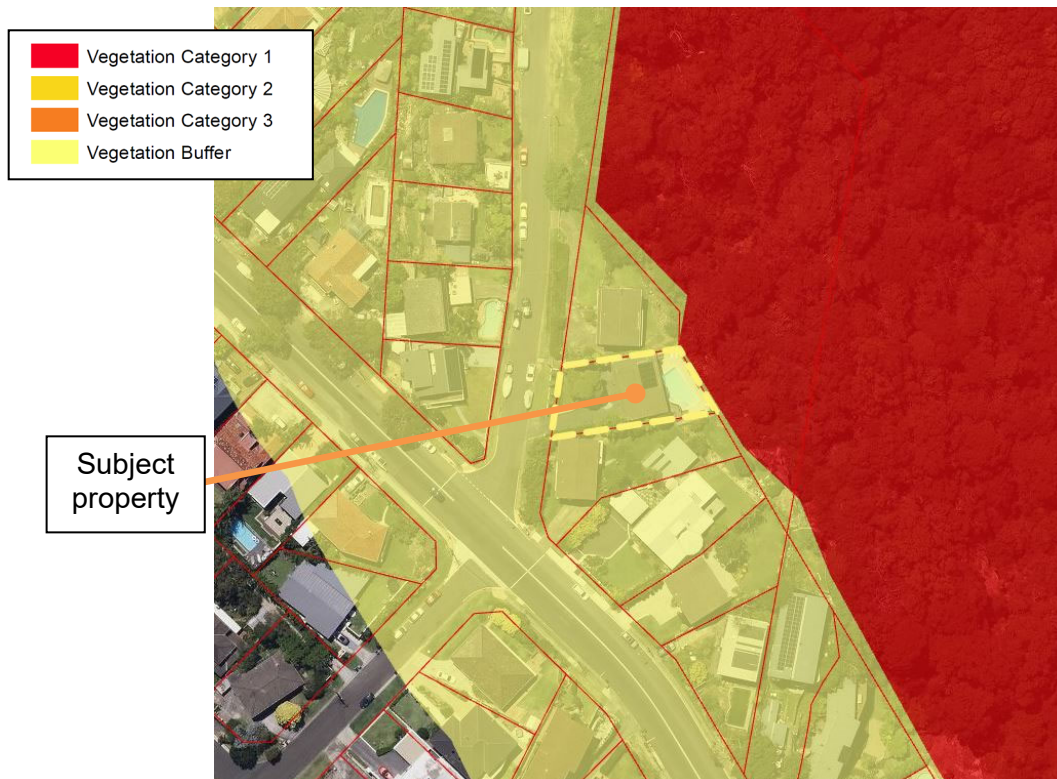


Figure 01: Extract from Northern Beaches Council's Bushfire Prone Land Map

2.0 Legislative Requirements

The subject site is designated as Bushfire Prone Land (Figure 01).

In accordance with section 4.14 of the *Environmental Planning and Assessment Act 1979* development consent cannot be granted for the carrying out of development for any purpose (other than a subdivision of land that could lawfully be used for residential or rural residential purposes or development for a special fire protection purpose) on bush fire prone land unless the consent authority:

- (a) *is satisfied that the development conforms to the specifications and requirements of the version (as prescribed by the regulations) of the document entitled Planning for Bush Fire Protection, or*
 - (b) *has been provided with a certificate by a person who is recognised by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment stating that the development conforms to the relevant specifications and requirements.*
- (1A) *If the consent authority is satisfied that the development does not conform to the relevant specifications and requirements, the consent authority may, despite subsection (1), grant consent to the carrying out of the development but only if it has consulted with the Commissioner of the NSW Rural Fire Service concerning measures to be taken with respect to the development to protect persons, property and the environment from danger that may arise from a bush fire.*

This Bushfire Assessment Report and accompanying certificate has been prepared by a person who are recognised by the NSW Rural Fire Service (RFS) as qualified in bushfire risk assessment and has been accredited by the Fire Protection Association of Australia as a Level 3 BPAD qualified practitioner.

In addition, the National Construction Code 2022 includes the following provisions:

NSW H7D4 Construction in bushfire prone areas
[2019: NSW 3.10.5.0]

- (1) *The requirements of (2) only apply in a designated bushfire prone area.*
- (2) *Performance Requirement H7P5 is satisfied for a Class 1 building, or a Class 10a building or deck associated with a Class 1 building, if it is constructed in accordance with—*
 - (a) *AS 3959 except— (i) as amended by Planning for Bush Fire Protection; and*
 - (ii) *for Section 9 Construction requirements for Bushfire Attack Level FZ (BAL-FZ); or*
 - (b) *NASH Standard – Steel Framed Construction in Bushfire Areas except— (i) as amended by Planning for Bush Fire Protection; and*
 - (ii) *for buildings subject to Bushfire Attack Level FZ (BAL-FZ); or*
 - (c) *(a) or (b) as modified by development consent following consultation with the NSW Rural Fire Service under section 4.14 of the Environmental Planning and Assessment Act 1979 if required; or*
 - (d) *(a) or (b) as modified by development consent with a bushfire safety authority issued under section 100B of the Rural Fires Act 1997 for the purposes of integrated development.*

3.0 Purpose of Report

The purpose of this Bushfire Assessment Report is to provide the owners and Council with an independent bushfire assessment together with appropriate recommendations for both new building construction and bushfire mitigation measures considered necessary having regard to construction within a designated 'bushfire prone' area.

The recommendations contained within this report may assist in forming the basis of any specific construction conditions and/or bushfire mitigation measures that Council and/or the NSW Rural Fire Service may elect to place within any consent conditions issued for the subject Development Application.

4.0 Scope of this Report

The scope of this report is limited to providing a bushfire assessment and recommendations for the subject property. Where reference has been made to the surrounding lands, this report does not purport to directly assess those lands; rather it may discuss bushfire impact and/or progression through those lands and possible bushfire impact to the subject property.

5.0 Compliance Tables & Notes

The following table sets out the project's compliance with *Planning for Bush Fire Protection – 2019*.

	North	South	East	West
Vegetation Structure	Managed Land	Managed Land	Forest	Managed Land
Slope	N/A	N/A	>20 degrees down	N/A
Available Asset Protection Zone	N/A	N/A	>10 metres	N/A
Significant Landscape Features	Neighbouring residential allotment	Neighbouring residential allotment	Brick Pit Bushland Reserve	Aperta Place
Bushfire Attack Level	N/A	N/A	BAL FZ	N/A
Required Construction Level	BAL FZ	BAL FZ	BAL FZ	BAL FZ

Compliance Summary of Bushfire Protection Measures			
Bushfire Protection Measure (s7 PBP)	Acceptable Solution	Performance Solution	Report Section
Asset Protection Zones	☐	☒	8.02
Construction Standards	☐	☒	8.03
Access	☒	☐	8.04
Water Supplies	☒	☐	8.05
Electricity and Gas Services	☒	☐	8.05
Landscaping	☒	☐	8.07

6.0 Aerial view of the subject allotment



7.0 Site Assessment

A representative of Building Code & Bushfire Hazard Solutions completed a site inspection of the subject site and surrounding area on 28th October 2025.

In addition, the following external data sources have been relied upon for this assessment:

- Aerial imagery of the subject area (NSW Spatial Services & Nearmap);
- 1 metre contour mapping of the subject area (Elevation and Depth Foundation Spatial Data – Geoscience Australia)
- NSW Planning Portal Spatial Viewer
- Vegetation mapping (NSW State Vegetation Type Map)
- NSW Bush Fire Prone Land (NSW Rural Fire Service)

7.01 Location

The subject property is known as 4 Aperta Place, Beacon Hill (Lot 5 DP 236335) and is a residential allotment (zoned R2: Low Density Residential) located within Northern Beaches Council's Local Government Area.

The subject property has a street frontage to Aperta Place to the west, abuts similar residential allotments to the north and south and Brick Pit Bushland Reserve to the east.

The vegetation identified as being the hazard is located within Brick Pit Bushland Reserve to the east of the subject property.

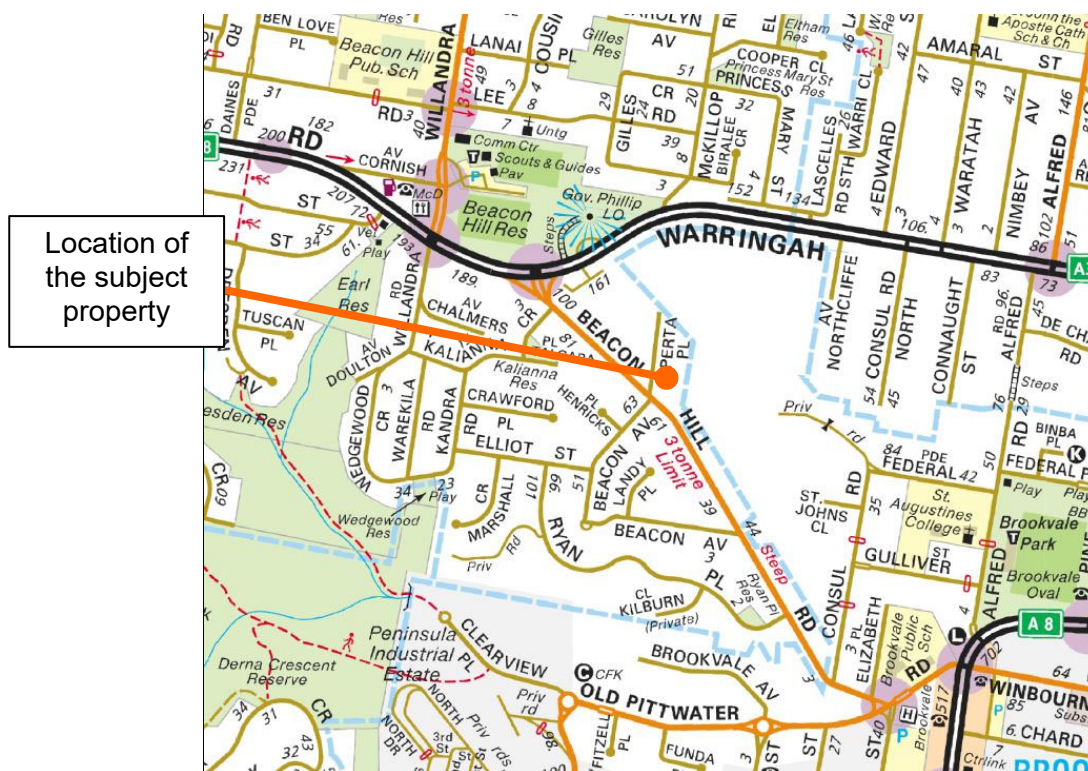


Figure 03: Extract from street-directory.com.au



Figure 04: Land zoning of subject area (source NSW Planning Portal).

7.02 Vegetation

In accordance with Appendix 1 'Site Assessment Methodology' of PBP an assessment of all vegetation formations within 140 metres of the subject site for each aspect as per Keith (2004) has been undertaken.

The vegetation identified as being the hazard is located within Brick Pit Bushland Reserve to the east of the subject property.

The vegetation posing a hazard was found to consist of trees 10 - 20 metres in height with 50 - 70% foliage cover, the understorey consisted of low trees, shrubs and exotics. The NSW Vegetation mapping identifies the vegetation as Sydney Coastal Sandstone Gully Forest (PCT: 3595).

For the purpose of assessment under 'Planning for Bush Fire Protection' the vegetation posing a hazard to the east has been determined to be Forest.



Photograph 01: View of the vegetation to the east of the subject dwelling.



Photograph 02: View toward the vegetation to the east of the subject dwelling.



Figure 05: Extract from Vegetation Mapping NSW, showing the vegetation type to the east of the subject property.

7.03 Slope and Topography

The slope of the land under the classified vegetation has a direct influence on the forward rate of spread, fire intensity and radiant heat exposure. The effective slope is considered to be the slope under the classified vegetation which will most significantly influence bushfire behaviour toward the development site.

In accordance with A1.4 'Determine slope' of PBP the slope assessment is to be derived from the most detailed contour data available.

The slope that would most significantly influence bushfire behaviour was determined from topographic imagery in conjunction with site observations to be:

- >20 degrees down slope within the hazard to the east



Figure 06: Extract from ELVIS – Geoscience Australia

7.04 Fire Weather

All development which attracts an Asset Protection Zone under PBP requires the identification of the relevant Forest Fire Danger Index (FFDI). The FFDI required to be used for development assessment purposes is based on the local government boundaries, being Northern Beaches Council in this instance.

In accordance with the NSW Rural Fire Service publication 'NSW Local Government Areas FDI' (2017) Northern Beaches Council forms part of the Greater Sydney Region Fire Weather District and attracts an FFDI of 100.

8.0 Bushfire Protection Measures

8.01 Planning for Bush Fire Protection - 2019

Planning for Bush Fire Protection – 2019 (PBP) is applicable to development located on land determined as being 'bushfire prone' in accordance with the local Bushfire Prone Land Map.

Bushfire prone land are defined as those areas;

- *containing or within 100m of Category 1 Vegetation; or*
- *containing or within 30m of Category 2 or 3 Vegetation.*

Northern Beaches Council's Bushfire Prone Land Map identifies the subject property as containing the Vegetation Buffer therefore PBP must apply in this instance.

The application of Planning for Bush Fire Protection requires satisfactory demonstration of the aim and objectives and the following bushfire protection measures (BPMs):

- Asset Protection Zones
- Building construction, siting & design
- Access arrangements
- Water supply & utilities
- Landscaping

As the proposal relates to the alterations and additions of a sole occupancy dwelling the proposal must comply with the bushfire protection measures detailed within Chapter 7 'Residential Infill Development' of PBP.

8.02 Asset Protection Zones

An Asset Protection Zone (APZ) is an area between the development (in this instance the building footprint) and the identified bushfire hazards where the fuels are maintained to a minimum to prevent the spread of fire between a hazard and an asset.

The width of the APZ is determined by the vegetation structure of the identified hazard, Forest Fire Danger Index, effective slope and the type of development (residential development or Special Fire Protection Purpose).

The Acceptable Solution under Table 7.4a of PBP requires APZs be provided in accordance with Table A1.12.2, consistent with that for residential subdivisions.

The existing building footprint and allotment configuration precludes the ability to provide APZs achieving compliance with the minimum required APZs, with an available APZ of >10 metres to the bushfire hazard to the east. Compliance with the Performance Criteria is therefore necessary. The corresponding Performance Criteria being;

- *APZs are provided commensurate with the construction of the building; and*
- *A defensible space is provided.*

Section 7.1 of PBP recognises the expectation of building in pre-existing subdivisions even though the ability to provide for APZs or access requirements now required for residential development may not be possible.

It is proposed that all grounds not built upon within the subject property be maintained in accordance with an APZ (Inner Protection Area). This will result in the provision of a defensible space for attending fire services and in conjunction with the application of the recommended construction provisions will provide APZs commensurate with the construction.

In this instance the subject works will comply with a Bushfire Attack Level of Flame Zone being the relevant BAL. The proposed deck extension is located within the APZ and will be constructed from non-combustible materials.

In consideration of the attributes of the hazard and surrounding landscape the available APZs are considered to provide an adequate defensible space.

It is therefore my opinion that the application satisfies the Performance Criteria as detailed above.

8.03 Building construction, siting & design

Australian Standard 3959 – 2018 'Construction of buildings in bushfire-prone areas' (AS3959) specifies construction standards for buildings within various Bushfire Attack Levels as determined by Planning for Bush Fire Protection – 2019.

AS3959 provides for six (6) levels of building construction these being BAL - Low, BAL - 12.5, BAL - 19, BAL - 29, BAL - 40 and BAL - FZ.

Bushfire Attack Level	Maximum radiant heat impact (kW/m ²)	Level of construction under AS3959-2018
Low		No special construction requirements
12.5	≤12.5	BAL - 12.5
19	12.6 to 19.0	BAL - 19
29	19.1 to 29.0	BAL - 29
40	29.1 to 40.0	BAL - 40
Flame Zone	>40.0	BAL FZ No deemed to satisfy provisions

Table 01: Correlation between bushfire impact and AS3959

The highest Bushfire Attack Level to the proposed works was determined from Table A1.12.5 of PBP to be 'Flame Zone'.

While the NSW variation to the National Construction Code (NCC) excludes both AS3959 and the NASH Standard as a Deemed to Satisfy solution for buildings in the Flame Zone, they should still be used as a basis for a performance-based solution.

The proposed works will be constructed to sections 3 (excluding section 3.5) & 9 (BAL FZ) under AS 3959 – 2018 and the additional construction requirements detailed in section 7.5 of PBP or the relevant BAL-FZ requirements of the NASH Standard - *Steel Framed Construction in Bushfire Areas 2021*.

The proposed deck extension is located within the APZ and will be constructed from non-combustible materials.

8.04 Property Access

The subject property has street access to Aperta Place to the west. Persons seeking to egress from the subject dwelling are able to do so via the existing access drive and along existing public roads.

The most distant external point of the proposed footprint is less than 70 metres from a public road supporting the operational use of fire fighting vehicles and therefore the Access requirements detailed in Table 7.4a of PBP are not applicable.

Access to the hazard is available via Aperta Place or surrounding roads for hazard reduction or for fire suppression activities.

The existing access is considered adequate for the proposed works.

8.05 Water Supply & Utilities

Hydrants are available throughout Aperta Place and surrounding streets for the replenishment of fire service vehicles. The most distant external point of the subject dwelling is <70 metres from a hydrant and therefore Static Water Supply is not required in consideration of AS2419.1 and section 7.4 of PBP. The existing swimming pool provides an additional supply.

The existing water supply is considered adequate for the replenishment of attending fire services.

The existing dwelling is connected to the existing electrical network.

Any new gas connections must comply with Table 7.4a of PBP.

8.06 Emergency management arrangements

Evacuation is possible by utilising existing road infrastructure.

It is encouraged that the occupants complete a Bush Fire Survival Plan. The template for this plan is available at <https://www.rfs.nsw.gov.au/resources/bush-fire-survival-plan>.

8.07 Landscaping

Any new landscaping must comply with Table 7.4a of *Planning for Bush Fire Protection* 2019.

8.08 Aim & Objectives of PBP

The following table details the aim and objectives of *Planning for Bush Fire Protection* 2019 and the proposal's ability to comply.

Aim / Objective	Comment
The aim of PBP is to provide for the protection of human life and minimise impacts on property from the threat of bush fire, while having due regard to development potential, site characteristics and protection of the environment.	With the inclusion of the recommendations made herein it is of our opinion that the aim of PBP has been satisfied.
(i) afford buildings and their occupants protection from exposure to a bush fire;	The works will be constructed to the applicable BAL providing occupants protection from the exposures of a bushfire.

Objective	Comment
(ii) provide for a defensible space to be located around buildings;	The Asset Protection Zones within the subject property will be maintained in accordance with an Inner Protection Area, providing a defensible space.
(iii) provide appropriate separation between a hazard and buildings which, in combination with other measures, prevent the likely fire spread to buildings;	The proposed works being constructed to the applicable BAL will minimise potential material ignition.
(iv) ensure that appropriate operational access and egress for emergency service personnel and occupants is available;	The access drive and road network provide appropriate access and egress for emergency services and occupants.
(v) provide for ongoing management and maintenance of bush fire protection measures, (BPMs); and	The existing APZ shall be maintained in accordance with an Asset Protection Zone / Inner Protection Area as detailed in Appendix 4 of Planning for Bush Fire Protection 2019 and the NSW Rural Fire Service publication 'Standards for Asset Protection Zones'. Any new landscaping is to comply with the provisions of Table 7.4a and Appendix 4 of PBP.
(vi) ensure that utility services are adequate to meet the needs of firefighters.	Hydrants are available throughout Aperta Place and surrounding streets for the replenishment of fire service vehicles. The existing water supply is considered adequate for the replenishment of attending fire services.

It is therefore of our opinion that the proposal can satisfactorily comply with the aim and objectives of *Planning for Bush Fire Protection* 2019.

9.0 Recommendations

The following recommendations are provided as the minimum necessary for compliance with *Planning for Bush Fire Protection* – 2019 and Australian Standard 3959 'Construction of buildings in bushfire-prone areas - 2018. Additional recommendations are provided to supplement these minimum requirements where considered necessary.

Asset Protection Zones

1. At the commencement of construction and in perpetuity all grounds within the subject property shall be maintained as an Asset Protection Zone (Inner Protection Area) as detailed in the NSW Rural Fire Service's document 'Standards for Asset Protection Zones' and Appendix 4 of *Planning for Bush Fire Protection* 2019.

Construction

2. That any new construction shall comply with Section 3 (excluding section 3.5) and Section 9 (BAL FZ) of the Australian Standard AS3959-2018 *Construction of buildings in bushfire-prone areas* or the relevant BAL-FZ requirements of the NASH Standard - *Steel Framed Construction in Bushfire Areas 2021*.
3. The all new works shall comply with the construction requirements in Section 7.5 of *Planning for Bush Fire Protection 2019*.
4. The proposed deck extension be constructed entirely from non-combustible materials.

Emergency management

5. That the occupants of the subject dwelling complete a Bush Fire Survival Plan.

Gas (where applicable)

6. That any new gas services are to comply with Table 7.4a of *Planning for Bush Fire Protection* 2019 as follows:
 - reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used;
 - all fixed gas cylinders are kept clear of all flammable materials to a distance of 10m and shielded on the hazard side;
 - connections to and from gas cylinders are metal;
 - polymer-sheathed flexible gas supply lines are not used; and
 - above-ground gas service pipes are metal, including and up to any outlets.

Landscaping

7. Landscaping within the subject property shall comply with Appendix 4 of Planning for Bush Fire Protection 2019. In this regard, the following principles are to be incorporated:
- A minimum 1 metre wide area (or to the property boundary where the setbacks are less than 1 metre), suitable for pedestrian traffic, must be provided around the immediate curtilage of the building;
 - Planting is limited in the immediate vicinity of the building;
 - Planting does not provide a continuous canopy to the building (i.e. trees or shrubs are isolated or located in small clusters);
 - Landscape species are chosen to ensure tree canopy cover is less than 15% (IPA), and less than 30% (OPA) at maturity and trees do not touch or overhang buildings;
 - Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
 - Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
 - Avoid planting of deciduous species that may increase fuel at surface/ground level (i.e. leaf litter);
 - Avoid climbing species to walls and pergolas;
 - Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
 - Locate combustible structures such as garden sheds, pergolas and materials such as timber garden furniture away from the building; and
 - Low flammability vegetation species are used.

10.0 Conclusion

Northern Beaches Council's Bushfire Prone Land Map identifies the subject property as containing the Vegetation Buffer therefore the site is considered 'bushfire prone'.

As the subject site is bushfire prone in accordance with section 4.14 of the *Environmental Planning and Assessment Act* 1979 development consent cannot be granted unless the proposal satisfies the relevant specifications and requirements of *Planning for Bush Fire Protection* 2019 (PBP) or the consent authority has consulted with NSW RFS.

As the proposal relates to the alterations and additions of a sole occupancy dwelling the proposal must comply with the bushfire protection measures detailed within Chapter 7 'Residential Infill Development' of PBP.

The proposed works will be constructed to sections 3 & 9 (BAL FZ) under AS 3959 – 2018 and the additional construction requirements detailed in section 7.5 of PBP or the relevant BAL-FZ requirements of the NASH Standard - *Steel Framed Construction in Bushfire Areas 2021*.

In accordance with the bushfire safety measures contained in this report, and consideration of the site-specific bushfire risk assessment it is our opinion that when combined, they will provide a reasonable and satisfactory level of bushfire protection to the subject development.

We are therefore in support of the development application.

Should you have any enquiries regarding this project please contact me at our office.

Prepared by
Building Code & Bushfire Hazard Solutions



Duncan Armour
Bushfire Consultant

Reviewed and endorsed by
Building Code & Bushfire Hazard Solutions



Andrew Muirhead
Senior Bushfire Consultant
Graduate Diploma in Bushfire Protection WSU
Bachelor of Engineering Technology Major in Civil UniSQ
FPA Australia BPAD Level 3 Accredited Practitioner
BPAD Accreditation No. BPAD46966



11.0 Annexure 01

List of Referenced Documents

Australian Building Codes Board (2022). *National Construction Code Volume Two - Building Code of Australia*. ABCB

ELVIS -Elevation -Foundation Spatial Data. Elevation.fsdf.org.au. Available at:
<http://elevation.fsdf.org.au/>

Keith, D. (2004). "Ocean Shores to Desert Dunes" Department of Environment and Conservation, Sydney

NSW Department of Planning and Environment (2019). *Planning Portal*. Accessed at:
<https://www.planningportal.nsw.gov.au/>

NSW Rural Fire Service (2019). *Planning for Bush Fire Protection. A Guide for Councils, Planners, Fire Authorities and Developers*.

Rural Fire Service NSW (2005). *Standards for Asset Protection Zones*

Plans prepared by Gerald Gilchrist And Associates Pty Ltd, Project No. 1625, Dated 13th October 2025

Standards Australia (2018). *AS3959 Construction of buildings in bushfire-prone areas*.

Standards Australia (2014). *AS/NZS 1596 The storage and handling of LP Gas*

Acknowledgements to:

Geoscience Australia
Nearmap
Street-directory.com.au

Attachments

Attachment 01: s4.14 Compliance Certificate

Bush Fire Certificate

Certificate issued unders4.14(1)(b) of the *Environmental Planning & Assessment Act, 1979* and *Planning for Bush Fire Protection 2019*

This Certificate has been issued by a person accredited by Fire Protection Association Australia (FPA Australia) under the Bush Fire Planning and Design (BPAD) Accreditation Scheme and who is recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment within the meaning of section 4.14(1)(b) of the *Environmental Planning and Assessment Act 1979* (NSW).

Property Details and Description of Works

Address Details	Unit no	Street no	Street name	Lot/Sec/DP
	Suburb			State
Local Government Area				
BCA class of the building				
Description of the proposal				
Development Application Reference				

Bush Fire Assessment Report

A detailed Bush Fire Assessment Report is attached, which includes the relevant submission requirements set out in <i>Appendix 2 of Planning for Bush Fire Protection 2019</i> together with recommendations as to how the relevant specifications and requirements are to be achieved.	☐ YES ☐ NO
Report Reference and date	

BPAD Certification

Name	I hereby certify, in accordance with Section 4.14(1)(b) of the <i>Environmental Planning and Assessment Act 1979</i> that:	
Company Details & ABN	- I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bush fire risk assessment; and - the development conforms to the relevant specifications and requirements of Planning for Bush Fire Protection 2019 in accordance with section 4.14(1)(b) of the <i>Environmental Planning and Assessment Act 1979</i> (NSW).	
BPAD Accreditation Number	Signature	Date
		