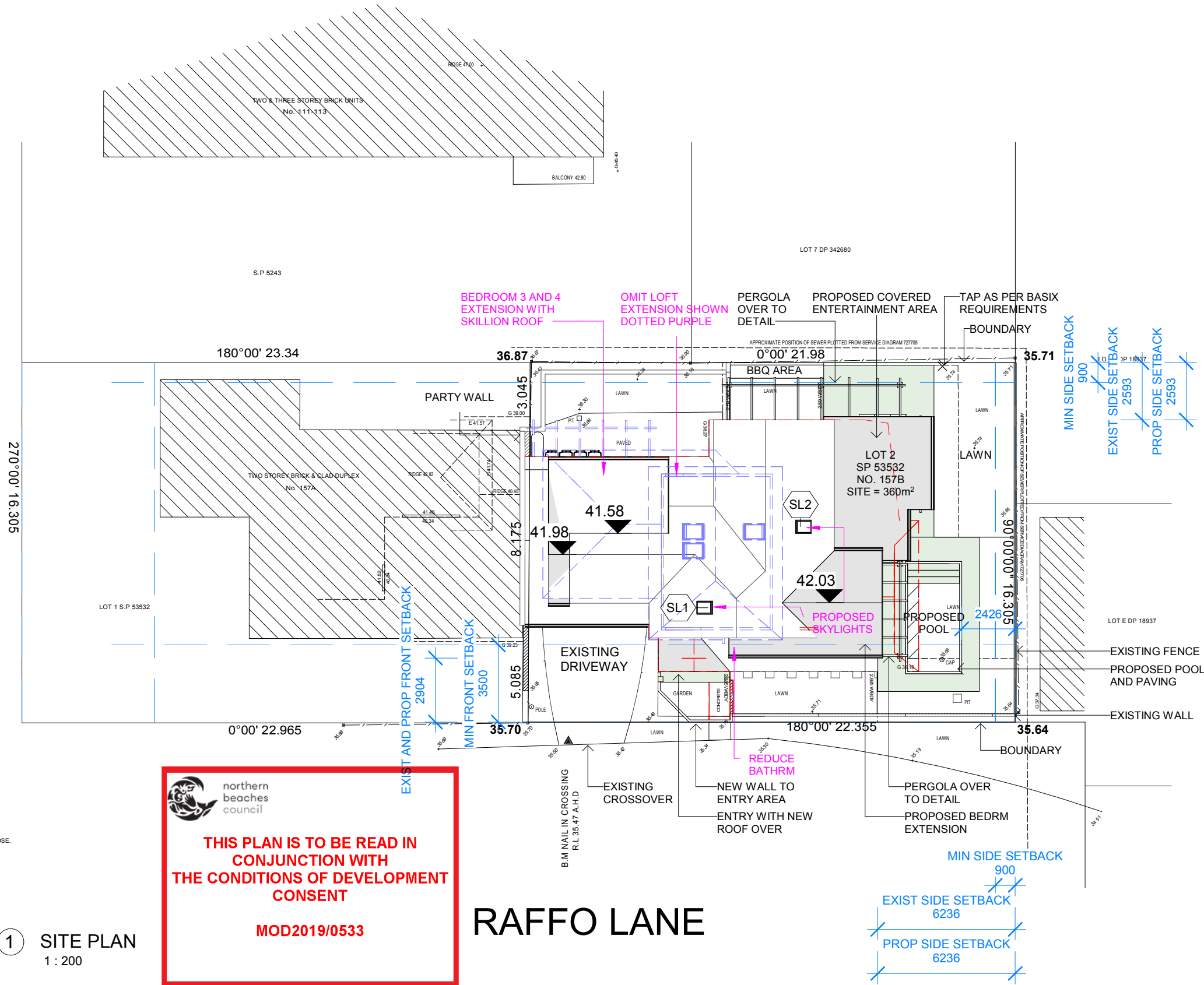




NOTES:

ALL BASIX COMMITMENTS NOTED ON THIS DRAWING, TO BE INCLUDED IN THE DEVELOPMENT

ALL BUILDING WORK TO BE CARRIED OUT ACCORDING TO NATSPEC 2016 SPECIFICATIONS AND RELEVANT AUSTRALIAN BUILDING STANDARDS INCLUDING BUSHFIRE REQUIREMENTS AS INCLUDED IN AS3959-2009

ALL DIMENSIONS AND LEVELS TO BE CHECKED AND CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

ALL EXISTING STORMWATER TO DRAIN TO EXISTING SUBSURFACE SYSTEM

DEVELOPMENT COMPLIANCE
i) Warringah LEP 2011:
Part 4: Principal development standards

4.3 Height of buildings (compliant)
Existing building height = 7.2 m
Max permissible building height = 8.5 m
Proposed building height = 7.2 m

ii) Warringah DCP 2011:
Part B Built Form Controls

B1 Wall Heights
Existing wall height = 6.1 m
Max permissible wall height = 7.2 m
Proposed wall height = 6.1 m

B5 Side Boundary Setbacks (compliant)
Existing side setbacks = 2.593 m (west side) and 6.236 m (north side)
Min permissible side setbacks = 0.9 m
Proposed side setbacks = 0.9 m (west side) and 5.106 m (north side)

B7 Front Boundary Setbacks (compliant)
Existing front setback = 2.904 m
Min permissible front setback = 3.5 m
Proposed front setback = 2.904 m

Although the front setback is noncompliant, the proposed works will have no effect on the existing setback.

Part D Design

D1 Landscaped Open Space and Bushland Setting (noncompliance approved with DA)
Existing landscaped open space = 36.3 % (267.143 m²)
Min permissible landscaped open space = 40 % (294 m²)
Proposed landscaped open space = 37.3 % (274.446 m²)

Council approval is sought for the noncompliance in light of the increase in landscaped open space from the proposed works.

D2 Private Open Space (compliant)
Existing private open space = 76.48 m² with minimum dimension of 8.63 m
Min permissible private open space = 60 m² with minimum dimension of 5 m
Proposed private open space = 76.48 m² with minimum dimension of 8.63 m

NOTE: SECTION 4.55 CHANGES ARE SHOWN IN PINK

ALISON LUDWIG
BAS BArch

m 0404 105 864
e alison.ludwig@optusnet.com.au
a 11 station street . pymble . nsw . 2073

ABN 50 187 740 403

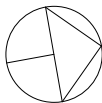
HOUSE THOMSON
157B WYNDORA AVE, FRESHWATER

Rev No.	Revision description	Date
1	REVISED FIRST FLOOR LAYOUT INCL BEDRM 3 & 4, NEW SKYLIGHT POSITIONS AND OMIT LOFT	JULY 19

SITE & ROOF

Project number T1803.022
Date JULY 19
Scale 1 : 200

A001
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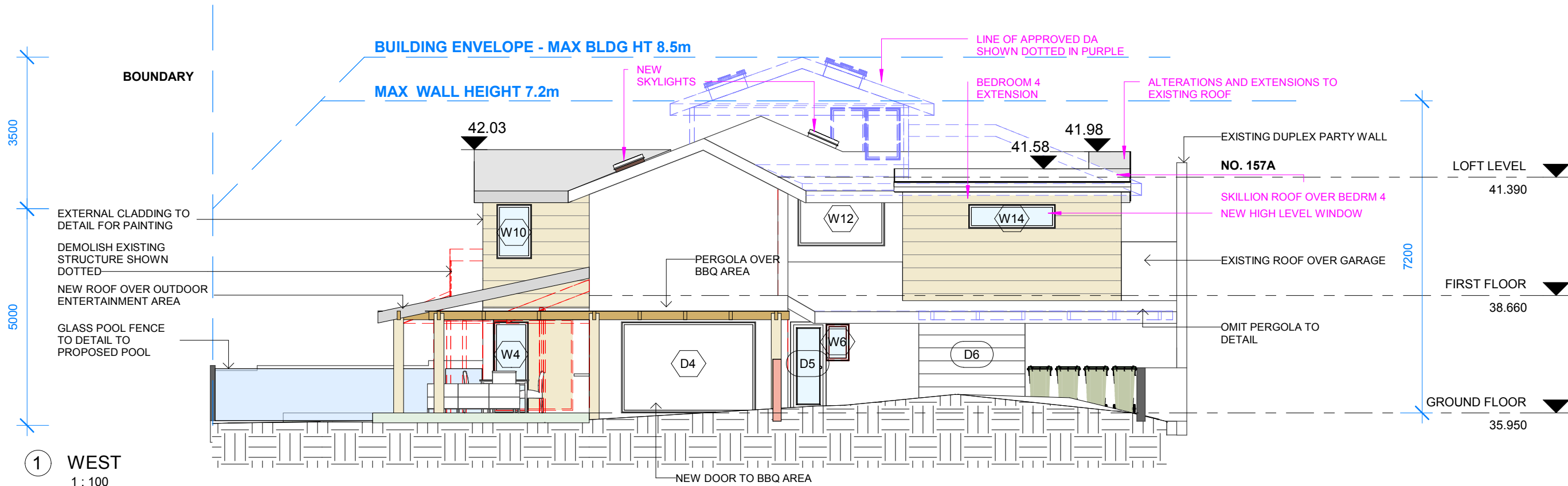
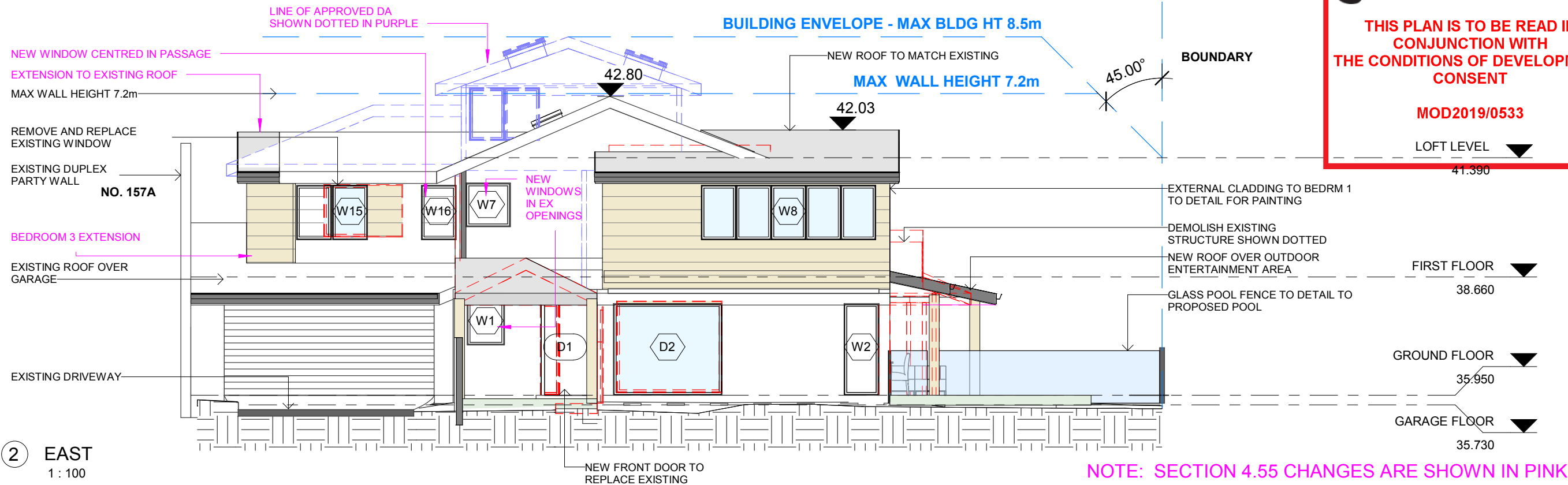


THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2019/0533

LOFT LEVEL

41.390



ALL DIMENSIONS & LEVELS TO BE CHECKED & CONFIRMED ON SITE PRIOR TO CONSTRUCTION - DO NOT SCALE OFF THIS DRAWING
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NOTE: SECTION 4.55 CHANGES ARE SHOWN IN PINK

ALL WINDOWS AND DOORS: STANDARD ALUMINIUM, SINGLE CLEAR, (OR U-VALUE: 7.64, SHGC: 0.75)

ALL SKYLIGHTS: TIMBER, LOW-E INTERNAL/ARGON FILL/CLEAR EXTERNAL, (OR U-VALUE: 2.5, SHGC: 0.456)

ALISON LUDWIG
BAS BArch

m 0404 105 864
e alison.ludwig@optusnet.com.au
a 11 station street . pymble . nsw . 2073

ABN 50 187 740 403

HOUSE THOMSON
157B WYNDORA AVE, FRESHWATER

Rev No.

Revision description

Date

Rev No.	Revision description	Date
1	REVISED FIRST FLOOR LAYOUT INCL BEDRM 3 & 4, NEW SKYLIGHT POSITIONS AND OMIT LOFT	JULY 19

WEST & EAST ELEVATIONS

Project number

T1803.022

Date

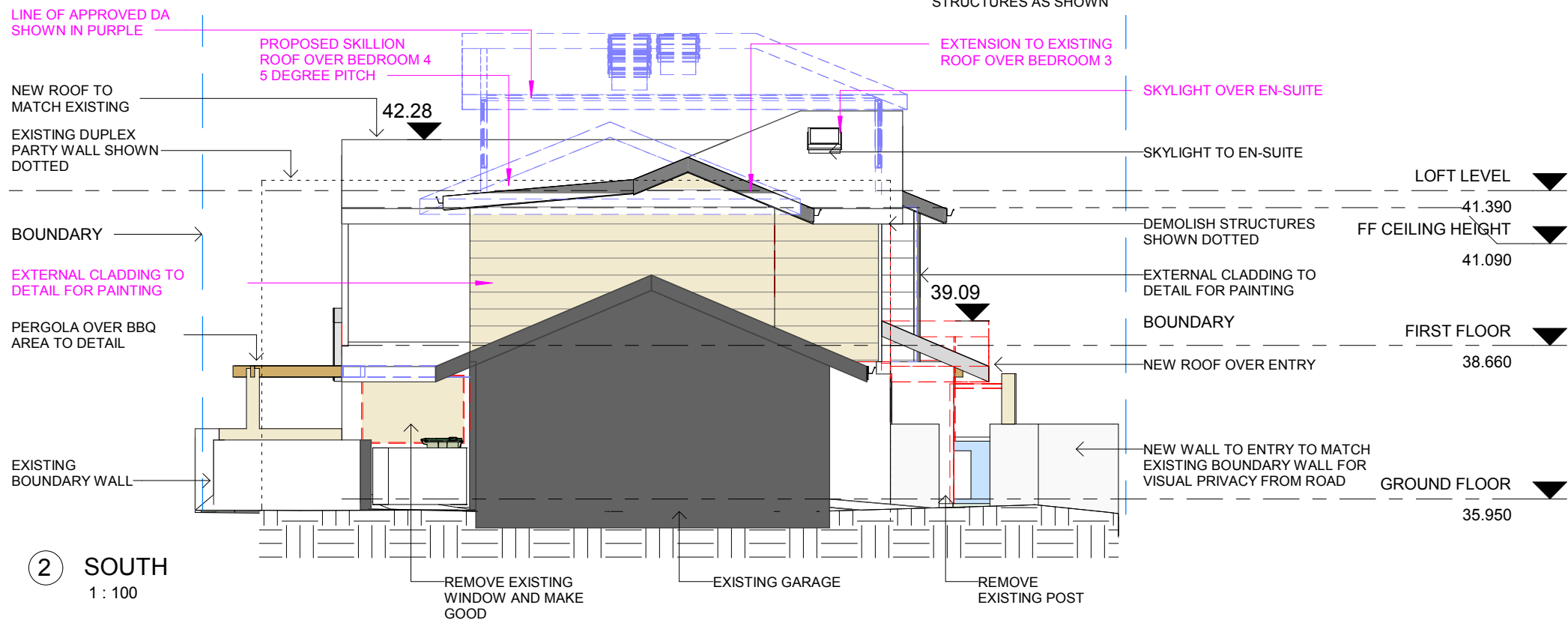
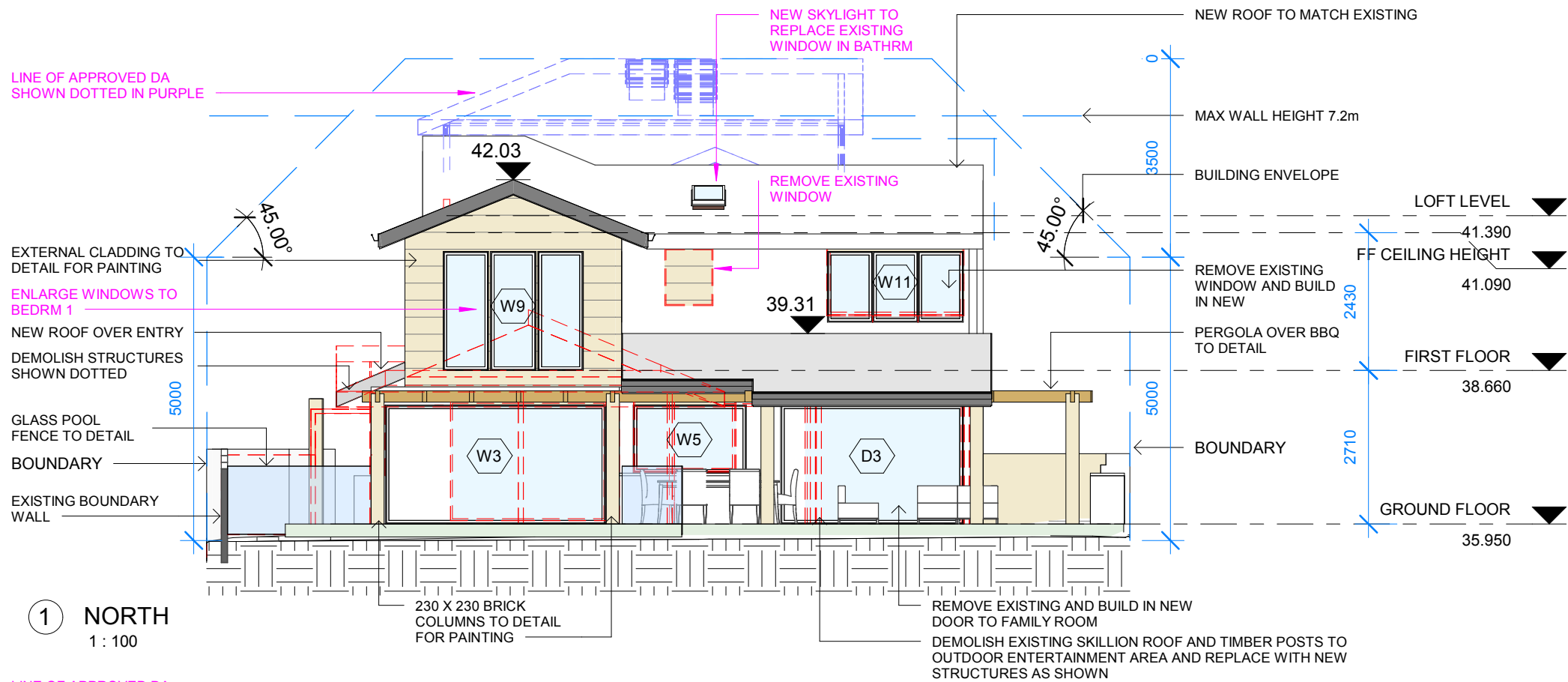
JULY 19

Scale

1 : 100

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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2019/0533

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ALISON LUDWIG
BAS BArch

m 0404 105 864
e alison.ludwig@optusnet.com.au
a 11 station street . pymble . nsw . 2073

ABN 50 187 740 403

HOUSE THOMSON
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Rev No.	Revision description	Date
1	REVISED FIRST FLOOR LAYOUT INCL BEDRM 3 & 4, NEW SKYLIGHT POSITIONS AND OMIT LOFT	JULY 19

NORTH & SOUTH ELEVATIONS

Project number	T1803.022	A302
Date	JULY 19	31/10/2019 15:33:54
Scale	1 : 100	