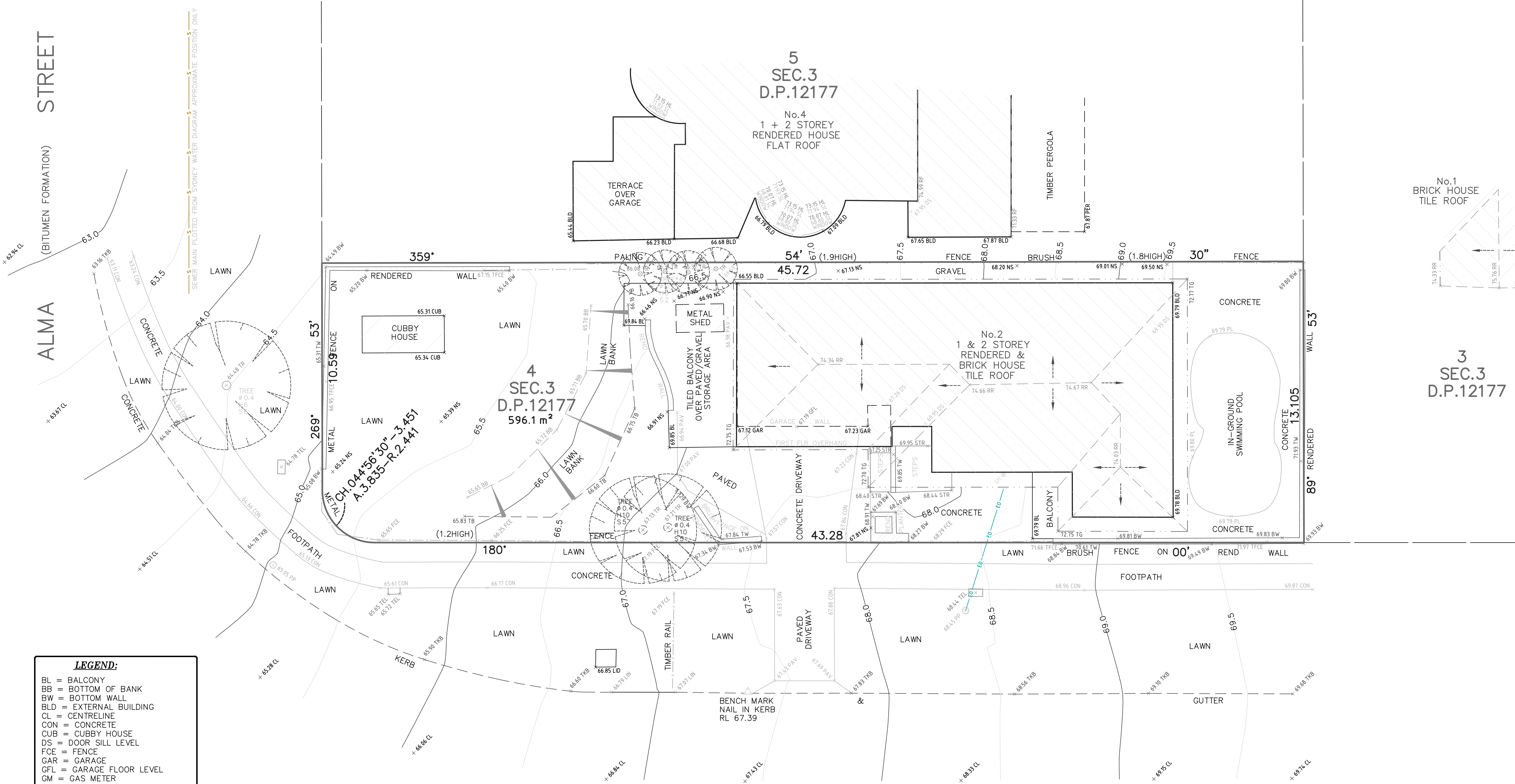


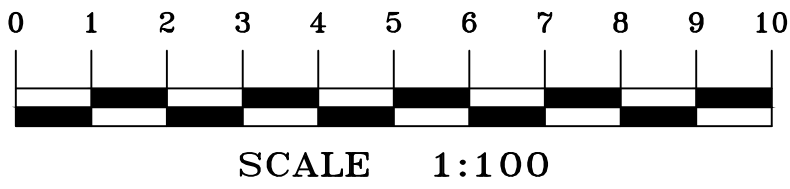


LEGEND:

BL = BALCONY
BB = BOTTOM OF BANK
BW = BOTTOM WALL
BLD = EXTERNAL BUILDING
CL = CENTRELINE
CON = CONCRETE
CUB = CUBBY HOUSE
DS = DOOR SILL LEVEL
FCE = FENCE
GAR = GARAGE
GFL = GARAGE FLOOR LEVEL
GM = GAS METER
HL = HOOD LEVEL
LIN = LINTEL
LID = MISCELLANEOUS PIT LID
NS = NATURAL SURFACE
PAV = PAVING
PER = PERGOLA
PL = POOL
PP = POWER POLE
RF = TOP OF ROOF
RR = ROOF RIDGE
SL = SILL LEVEL
STR = STAIRS
TEL = TELSTRA
TER = TERRACE
TB = TOP OF BANK
TFCE = TOP OF FENCE
TG = TOP OF GUTTER
TKB = TOP OF KERB
TW = TOP WALL
TR = TREE

EO = ELECTRICITY OVERHEAD
S = SEWER UNDERGROUND

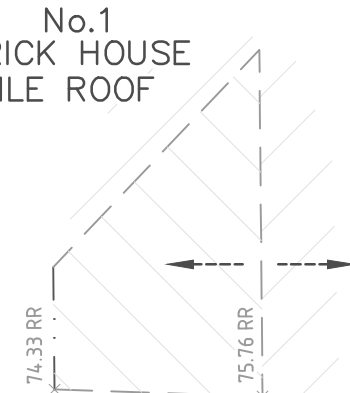
TREE
Ø = TRUNK DIAMETER
H = HEIGHT
S = SPREAD DIAMETER



TITLE INDICATES THAT LOT 4 SEC.3 IN D.P.12177 IS SUBJECT TO:
- LAND EXCLUDES MINERALS AND IS SUBJECT TO RESERVATIONS AND CONDITIONS IN FAVOUR OF THE CROWN - SEE CROWN GRANT(S).

NOTES

- A BASIC BOUNDARY SURVEY HAS BEEN UNDERTAKEN SUITABLE FOR COUNCIL DA SUBMISSION (TITLE DIMENSIONS ONLY) - BOUNDARY DEFINITION IS SUBJECT TO FURTHER SURVEY.
- IF CONSTRUCTION ON OR NEAR BOUNDARIES IS REQUIRED IT IS RECOMMENDED THAT THE BOUNDARIES OF THE LAND BE MARKED.
- THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYING AND SPATIAL INFORMATION ACT, 2002.
- TREE SIZES ARE ESTIMATES ONLY.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF BRAD SPENCE.
- RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
- EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
- ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. DIAL BEFORE YOU DIG SERVICES (ph 1100) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
- CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
- THIS PLAN IS ONLY TO BE USED FOR THE PURPOSE OF DESIGNING NEW CONSTRUCTIONS.
- CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
- CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
- POSITION OF RIDGE LINES ARE DIAGMMATIC ONLY (NOT TO SCALE).
- THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
- DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
- COPYRIGHT © CMS SURVEYORS 2016.
- NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
- ANY PERMITTED DOWNLOADING, ELECTRONIC STORAGE, DISPLAY, PRINT, COPY OR REPRODUCTION OF THIS SURVEY SHOULD CONTAIN NO ALTERATION OR ADDITION TO THE ORIGINAL SURVEY.
- THIS NOTICE MUST NOT BE ERASED.



3
SEC.3
D.P.12177

HORIZONTAL DATUM:
CO—ORDINATE SYSTEM:ASSUMED

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED:S.M 38372
R.L. 62.144 (ORDER L2)
SOURCE: S.C.I.M.S. (16/09/16)

1	FIRST ISSUE	17/10/16
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CLIENT:

BRAD SPENCE
2 ALMA STREET,
CLONTARF NSW 2093

SURVEY PLAN
SHOWING DETAIL & LEVELS
OVER LOT 4 SEC.3 IN D.P.12177
2 ALMA STREET,
CLONTARF NSW 2093

**C.M.S. Surveyors
Pty Limited**

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Facsimile: (02) 9971 4822
E-mail: info@cmsurveyors.com.au

LGA: NORTHERN BEACHES SHEET 1 OF 1

SURVEYED ME	DRAWN GP	CHECKED ME	APPROVED DR
SURVEY INSTRUCTION 15744	SCALE 1:100 @ A1	DATE OF SURVEY 4/10/16	
DRAWING NAME 15744detail	CAD FILE 15744detail.1.dwg	ISSUE 1	