

Pittwater Council

AEN: 61340837671

TAX INVOICE OFFICIAL RECEIPT

24/02/2004 Receipt No 136191

To INSPEC

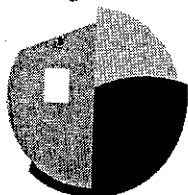
103 KENNY ST
WOLLONGONG 2500

Qty/ Applic	Reference	Amount
12	RMIC-Rcrd	\$27.27
GL Rec	N1016/02 12 ACACIA CRT.	
	WARRIEWOOD	
	GST	\$2.73
GL Rec		
To GL Receipt:		

Total Amount: \$30.00
Includes GST of: \$2.73

Amounts Tendered	
Cheque	\$30.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 24/02/2004 11:12:41 AM
Cashier JTreble



inspec

103 kenny street
wollongong nsw 2500
p: 4226 6305
f: 4226 6306
e: info@inspec.com.au
abn: 49 080 593 371

Pittwater Form 12

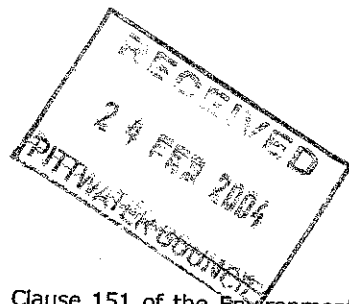
COUNCIL COPY

Final Occupation Certificate

and Determination

issued under the Environmental Planning and Assessment
Act, 1979 Sections 109C(1)(c) and 109H

Certificate Number: P2173
Development: TWO STOREY DWELLING &
BCA Classification: 1a
Applicant: COSMOPOLITAN CONSTRUCTIONS
P.O. BOX 477
BANKSTOWN NSW 2200
PHONES: W:8713 5000 M: H:
Subject Land: LOT 115 DP1043971
12 ACACIA CIRCUIT
WARRIEWOOD



In accordance with the procedures outlined in Clause 151 of the Environmental Planning and Assessment Regulation 2000 this Occupation Certificate has been determined as for the of the building including all work for the purpose of **RESIDENTIAL** use as referred to in the Development Consent. Schedule A provides a list of documents that were included with the subject application and they are attached to this certificate. In making this determination I hereby certify that;

I have been appointed as the Principal Certifying Authority under Section 109E of the Environmental Planning and Assessment Act, 1979 (as amended),

Development Consent No. N1016/02 dated 4 March, 2003 issued by Pittwater Council is in force in respect to the building,

Construction Certificate No. P2173 dated 4 June, 2003 was issued by paul gearin Accredited Certifier 1104 BSAP/Planning NSW on 4 June, 2003 with respect to the plans and specifications for the building,

The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia.

Where required, a final safety certificate has been issued for the building.

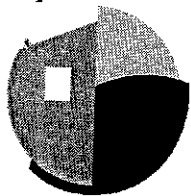
Where required, a report from the Commissioner of Fire Brigades has been considered.

Paul Gearin
Accredited Certifier
BSAP/Planning NSW
1104

4 June, 2003

Date of Receipt

23/2/04
Date of Determination



inspec

103 kenny street
wollongong nsw 2500
p: 4226 6305
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e: info@inspec.com.au
abn: 49 080 593 371

SCHEDULE A

This schedule refers to the documents that were lodged with the application for Occupation Certificate No. P2173 and to which that Certificate relates. This application was by paul gearin Accredited Certifier 1104 BSAP/Planning NSW on

Document/s attached to Application for Occupation Certificate
Clause 151 Environmental Planning and Assessment Regulation, 2002

Survey (Floor level)

Engineering Certification - Structural Adequacy

Pest Control

Glazing (Safety Glass)

Smoke Detectors

Wet Area Waterproofing



MEMBER OF THE INSTITUTION
OF SURVEYORS AUSTRALIA

41 Lemongrove Road
Penrith 2750

P.O. Box 259, Penrith 2751
DX8024 Penrith

CAD Consulting

Proprietor: C.A.D. Surveying Services Pty Ltd
ABN 22 092 136 117

Land & Engineering Surveyors Development Consultants

Directors: - Colin Foulds (Bsurv. Reg. Surv. M.I.S.)
- Daniel Galluzzi (Dip. Struct. Eng.)

Telephone: (02) 4732 2040
Fax: (02) 4732 1846
Email: admin@cadconsulting.com.au

Our Ref: 33614 - 115

5th December 2003

Cosmopolitan Constructions P/L
Unit 1/4 Iraking Avenue
MOOREBANK NSW 2170

Dear Sir

Upon your instructions we have made a survey at Lot 115 as shown on Deposited Plan 1043971 having a frontage of 14.74 metres to the southern side of Acacia Circuit at Warriewood in the Local Government Area of Pittwater Parish of Narrabeen County of Cumberland and found erected thereon and wholly within the prescribed boundaries a cement rendered cottage roofed with tile and I have to make the following report.

The cottage stands in relation to the boundaries as shown in the accompanying sketch.

Marks have been placed as shown on the sketch.

Restriction(s) on the Use of Land created by DP1043971 affect subject land.

Subject land is situated 32.865 metres easterly from Banksia Parade. One and two storey brick and cement rendered town houses adjoin to the east and a one and two storey brick dwelling adjoins to the west.

This report is of an identification survey of the dwelling and the marking of boundaries only and as such is not registered at Land and Property Information. Subsequent registered or other surveys in this area may affect boundary definition shown on the plan. Any differences so caused to the boundary definition shown on this plan are beyond the control of CAD Consulting who can accept no responsibility for such differences. This report cannot be used for any purpose other than for identification.

Yours faithfully
Registered Surveyor

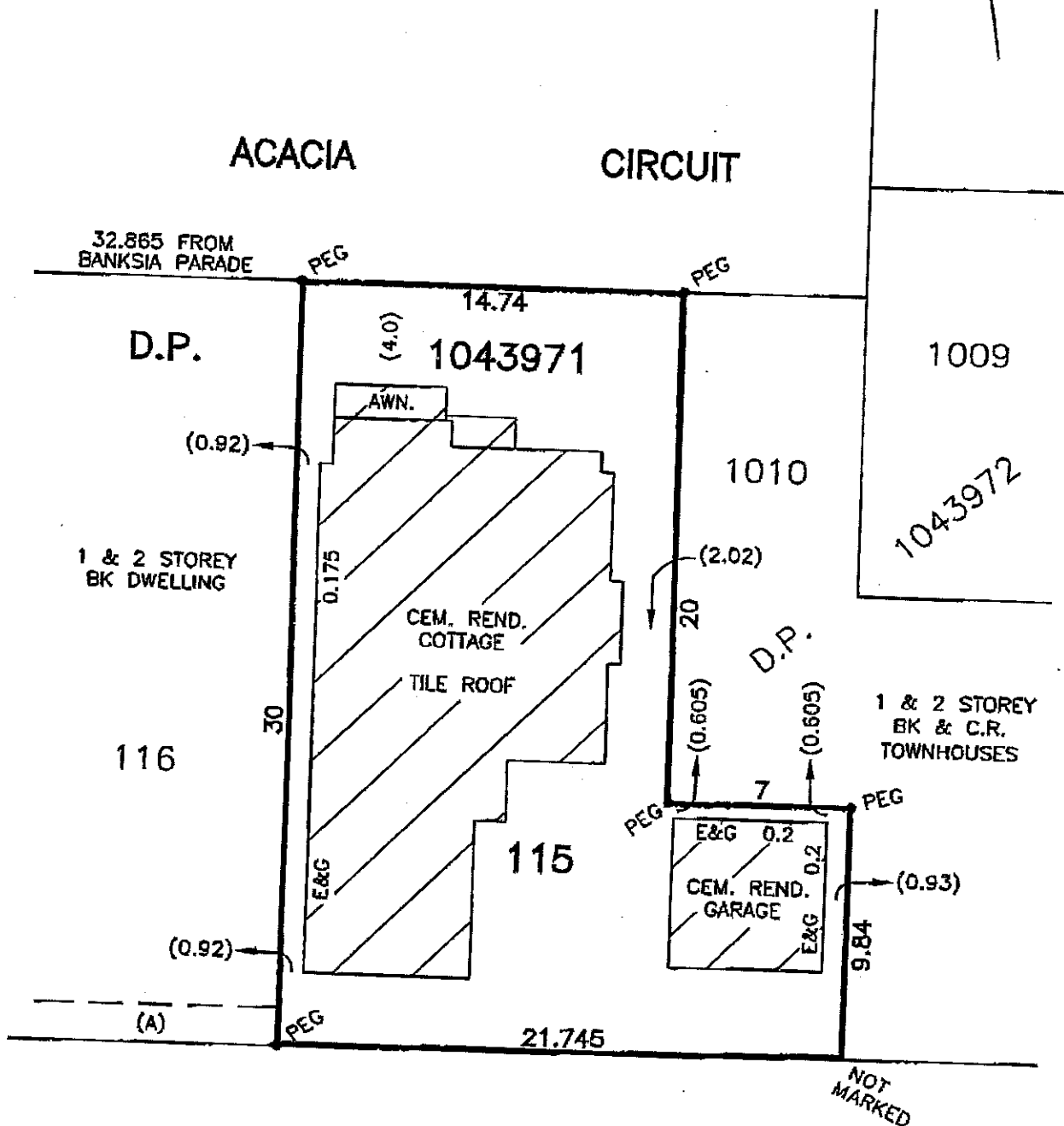
Our Ref: 33614 - 115

Cosmopolitan Constructions P/L
Unit 1/4 Iraking Avenue
MOOREBANK NSW 2170

This diagram is to accompany my report dated 5th December 2003.



Registered Surveyor



(A) EASEMENT TO DRAIN WATER 1.5 WIDE

**Appleyard
Forrest**
Consulting Engineers

Appleyard Forrest
Consulting Engineers Pty Ltd
ACN 007 610 522

PO Box 140
Gordon NSW 2072 Australia

Gosford
58-60 Hills Street
Gosford NSW 2250 Australia
Telephone: 02 4324 3499
Facsimile: 02 4324 2951

Castle Hill
Unit 35, 7 Anella Avenue
Castle Hill NSW 2154 Australia
Telephone: 02 9634 6311
Facsimile: 02 9634 6544

Bowral
Suite 1, 407-409 Bong Bong Street
Bowral NSW 2576 Australia
Telephone: 02 48621507
Facsimile: 02 48621568

International
Telephone: + (612) 4324 3499
Facsimile: + (612) 4324 2951

Email
postmaster@appleyardforrest.com.au

Website
www.appleyardforrest.com.au

Inspection Certificate

Project No: 333268 Date: 8.07.03 14.07.03
Client/Owner: Stockland Residential Development Time: 2.30 pm 3.30 pm
Contractor: Cosmopolitan Living Inspector: B Dobson B Dobson

Project Description: Proposed Residence

This is to certify that an inspector from the above office has attended your site at Lot 115 Acacia Circuit, Warriewood and has inspected the following:

Section: Bucket Piered Waffle Raft Floor Slab

Items/Areas Inspected

a) Subgrade	☒	- Satisfactory
b) Sub Base	☒	
c) Vapour Barrier Membrane	☒	
d) Pier Spacing and Depth	☒	
e) Pier Size	☒	
f) Pier Reinforcement	☒	- Satisfactory
g) Edge Beam Size	☒	
h) Edge Beam Reinforcement	☒	
i) Ground Floor Slab Thickness	☒	
j) Ground Floor Slab Reinforcement	☒	
k) Suspended Slab (level) Thickness	☒	
l) Suspended Slab (level) Reinforcement	☒	
m) Strip Footing Size	☒	
n) Strip Footing Reinforcement	☒	
o) Retaining Wall Footings	☒	
p) Retaining Wall Reinforcement	☒	
q) Pool Shell Reinforcement	☒	
r) Pole Holes	☒	
s) Curtain Wall	☒	
t) Pad Footings	☒	
u) Detention Tank Base Reinforcement	☒	
v) Detention Tank Lid	☒	

General Comments:

This certificate is issued on the assumption that good construction practice will be observed prior to placement of concrete; eg. piers to be cleaned, dewatered and any deleterious material removed from pier bases and slab area.

As a consequence of this inspection, we certify that items "a, b, c, d, e, g, h, i, j" have been checked and found to comply with the design requirements set out on the drawings identified hereunder.

These design requirements have been established in order to ensure that the completed building or structure will meet the appropriate Objective, Functional Statement, and Performance Requirement required by clauses B1.1, B1.2 and B1.3 of BCA96.

Appleyard Forrest Consulting Engineers Pty Ltd Drawing No(s):
Appleyard Forrest Consulting Engineers Pty Ltd

333268/S11/A, S2/0 → S7/0

per

[Signature]
LD Appleyard MIEAust NPER-3 (Civil and Structural)

Date 15 July, 2003

FRONT LINE PEST CONTROL PTY LTD

AS 3360 Suppl - 1993



- Licenced Granitgard Installer • Domestic Pest Control
- Commercial & Industrial • Obligation Free Quotes

P.O. Box 154 Hoxton Park 2171
 Phone: 9607 5294 Fax: 9607 5296
 ABN 29 096 491 173



No:

PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES - PREVENTION, DETECTION AND TREATMENT OF INFESTATION -

CERTIFICATE OF TERMITICIDE APPLICATION AND COMPLETION AND PENETRATION AUSTRALIAN STANDARDS AS 3660.1

This certificate refers to Clauses 3.7 and 5.6 of AS 3660.1 and that Standard should be read in conjunction with this certificate

NAME OF OWNER:

NAME OF BUILDER: Cosmopolitan LivingSITE ADDRESS: Lot 115 Acacia Rd Warriewood.

..... POST CODE

TYPE OF TREATMENT

PRECONSTRUCTION ☒EXISTING BUILDING ☐

PLAN OF BUILDING SITE SHOWING TREATED AREAS

(Use of Legend codes
to indicate plumbing,
piers, steps, treated
areas)

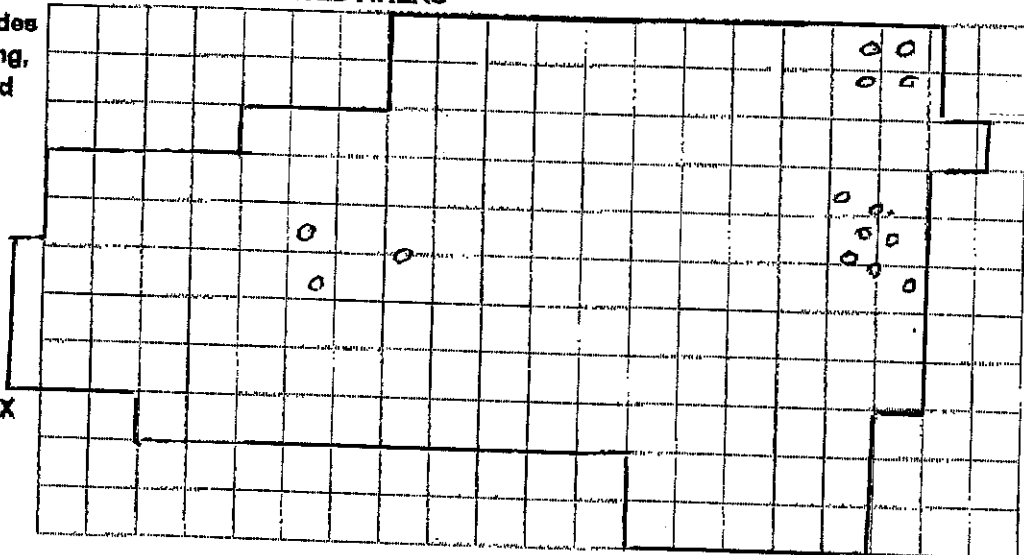
LEGEND:

Plumbing line O

Pier

Steps

Treated areas X-X-X



FRONT LINE PEST CONTROL PTY LTD
 ABN 29 096 491 173

P.O. Box 134 Hoxton Park 2171
 MOBILE: 0411 532 047

Penetration No: 14Authorised signatory: phermDate: 9/7/03

TERMITICIDE APPLICATION CERTIFICATION BY PEST CONTROL FIRM

I certify that termicide application has been carried out in accordance with the requirements of AS 3660.1
 Limitation (please specify)

TERMITICIDE USED: CHLORPYROPHOS

VOLUME OF EMULSION USED L

TOTAL GROUND AREA OF BUILDING m²

COMPLETION DATE

CONCENTRATION OF EMULSION g/L

AREA PROTECTED m²

TOTAL LINEAL METERS L

AUTHORISED SIGNATORY:

GRANITIGARDISSUED BY: COSMOPOLITAN CNSTR
ISSUED BY: LICENCED GRANITIGARD INSTALLER.

Front Line Pest Control Pty Ltd

PO Box 134

Hoxton Park NSW 2171

Ph: 02 9607 5294 **N 40500**Fax: 02 9607 5296
Mob: 0411 337044**TREATMENT CERTIFICATE**

This is to certify that the building described below has had components of the Granitigard Physical Termite Barrier System, applied to the areas listed here in compliance with the relevant Approval as issued. Note however that termite barriers other than Granitigard products may also have been used in this building. This treatment certificate makes no representation as to the installation or adequacy of termite barriers not supplied by Granitigard Pty Ltd.

Building Address: Lot 115 Acacia St Warriewood.

Postcode: _____

Owner: _____

Builder: Cosmopolitan Living

Reg. No.: _____

Treatment

Area/Length/No.

Approval

Clause

Installation Date

Legend

Underfloor

_____ m²

Perimeter

72 _____ l/mASB660.17-4-27-8-03

//////////

Penetrations

_____ No.

X- - - X-

Joints

_____ l/m

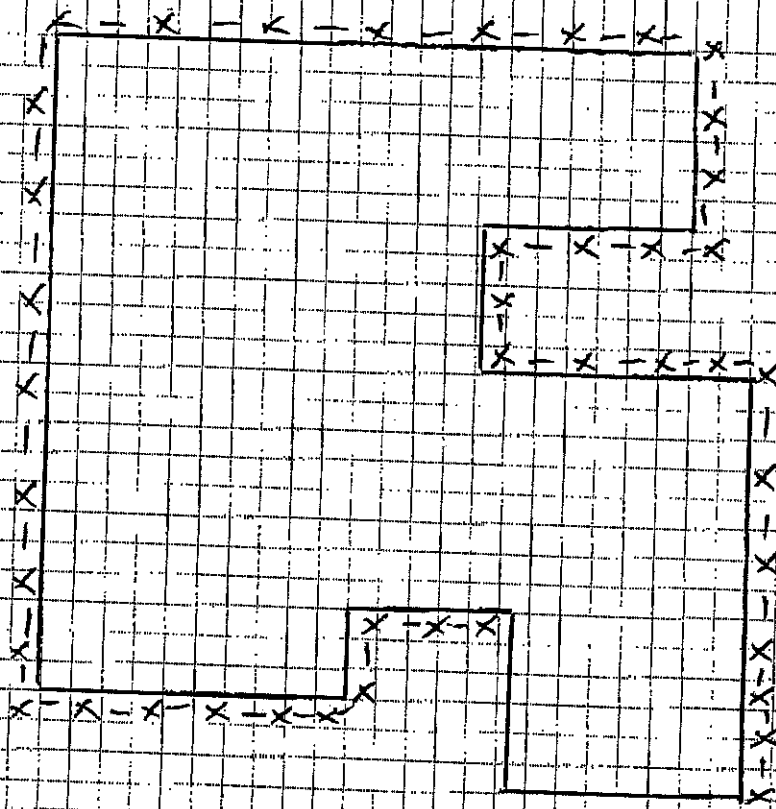
O_mm (dia)

Other

= AA =

Gr. gard Batch Codes: A 3103061641Installers Name (Print): R. MiliambroInstallers Signature: per mp

Lic No.: _____

Date: 7-8-03SUGGESTED SCALE APPROX.: 1 block = 500 mm **NTS**

Installer Warranty: Subject to the Qualifications and Conditions on the reverse of this certificate the Installer warrants that for a period of 10 years (the Term) from the date of this certificate any subterranean termite damage to the building that is the result of the Installer's workmanship in Granitigard physical termite barrier system installation will be made good by the Installer at its own cost.

Granitigard Warranty: Subject to the Qualifications and Conditions on the reverse of this certificate Granitigard Pty. Ltd. warrants that for the term of 10 (ten) years whichever



GUIDELINES TO HELP PREVENT TERMITE INFESTATION OF YOUR BUILDING.

These maintenance guidelines should be read in conjunction with the most recent Granitgard Treatment Certificate issued for this building and Australian Standard AS3660.

Termites are ingenious creatures. It is strongly recommended that you thoroughly check around the perimeter of your building on a regular basis (at least six monthly) to ensure that termites are not attempting to make their way around the Granitgard barrier at the base of your external walls. A full inspection by an appropriately qualified inspector is recommended at least every 12 months and more often in high risk areas.

Keeping your building free from termites involves a few simple precautions:

Always be on the lookout for termites particularly at ground level. Termites cannot survive prolonged exposure to sun-light or dry air. They therefore build mud passages through which they travel to find food, ie. timber, paper etc.. If you see such a mud tube running from the ground up onto your building it probably means that termites are trying to by-pass the Granitgard system barrier and find food. In this case it is best not to disturb the termite tube but to immediately seek the advice of a licensed Granitgard pest controller

Do not allow the "termite activity inspection zone" at the base of your external walls, below the strip shielding to become hidden. It is this zone that the Granitgard system barrier will force termites into. The inspection zone must therefore be visible and not hidden (by garden beds or paving for example) so that any signs of termite activity can be easily detected and treated.

Do not plant trees that will grow taller than 3 metres within 3 metres of the building.

Ensure that any fences, verandahs, ferneries etc. that join onto your home are designed so as to prevent termite entry and do not provide a "bridge" for termites to by-pass the inspection zone and Granitgard barrier which are close to ground level.

Avoid excessive moisture around the building foundations; leaking pipes, poor drainage and trickle irrigation systems provide water which encourages termites.

Ensure that any alterations or extensions to your building are properly protected from termites, especially the joints between new and old structures.

If you have a suspended floor ensure that the sub-floor area is accessible, properly drained and well ventilated to allow for easy inspections and prevent moisture gathering. Do not store any materials in the sub-floor area that will attract termites; timber or books for example. If you have a full underfloor Granitgard barrier keep the sub-floor area enclosed to prevent refuse accumulating and to protect the Granitgard from contamination. Where the Granitgard has been disturbed care must be taken to remove any potential contaminants and restore the barrier to its proper specifications, usually 100 mm uniform coverage.

If you have any questions contact your local Granitgard installer or ring the Granitgard Information Line on 1800 032 549.

Please note that works effecting the Granitgard System termite barrier will v Granitgard Warranties unless an updated Granitgard Treatment Certificate is is

FRONT LINE PEST CONTROL PTY LTD

AS 3360 Suppl - 1993



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 ABN 29 096 491 173



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This certificate refers to Clauses 3.7 and 5.5 of AS 3660.1 and that Standard should be read in conjunction with this certificate

NAME OF OWNER:

NAME OF BUILDER: *Cosmopolitan Living*SITE ADDRESS: *Lot 115 Accacia Rd Narrawood.*

..... POST CODE

TYPE OF TREATMENT

PRECONSTRUCTION ☒EXISTING BUILDING ☐

PLAN OF BUILDING SITE SHOWING TREATED AREAS

(Use of Legend codes
 to indicate plumbing,
 piers, steps, treated
 areas)

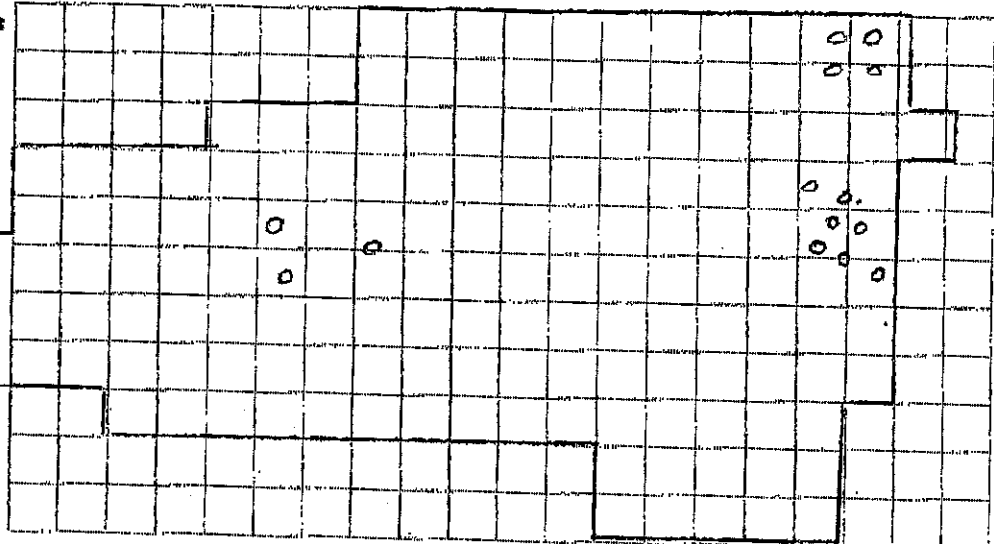
LEGEND:

Plumbing line O

Pier

Steps

Treated areas X-X-X



FRONT LINE PEST CONTROL PTY LTD

ABN 29 096 491 173

P.O. Box 134 Hoxton Park 2171

MOBILE: 0411 532 047

Penetration No: *14*Authorised signatory: *ph. m.*Date: *9/7/03*

TERMITICIDE APPLICATION CERTIFICATION BY PEST CONTROL FIRM

I certify that termicide application has been carried out in accordance with the requirements of AS 3660.1
 Limitation (please specify)

TERMITICIDE USED: CHLORPYROPHOS

VOLUME OF EMULSION USED L

TOTAL GROUND AREA OF BUILDING m²

COMPLETION DATE

CONCENTRATION OF EMULSION g/L

AREA PROTECTED m²

TOTAL LINEAL METERS L

AUTHORISED SIGNATORY:

MULTISKILL PTY. LTD.

26 FISHER STREET, PORTARLINGTON.VIC. 3223.
PHONE/FAX 03 5259 1033
ABN 98 071 224 283

WATERPROOFING INSTALLATION CERTIFICATE

CERTIFICATE NO. 2863

DATE: 26.9.03

THIS CERTIFICATE IS EVIDENCE THAT THE METHOD OF WATERPROOFING WET AREAS HAS BEEN PROVIDED IN ACCORDANCE WITH PART 3.8.1 OF THE BUILDING CODE OF AUSTRALIA AND THE REQUIREMENTS OF AUSTRALIAN STANDARD 3740 PRIOR TO TILING OR OTHER FORMS OF PROTECTIVE COVERING.

MATERIALS USED AS PER CSIRO BUILDING PRODUCTS AND SYSTEMS ASSESSMENT NO. 257 AND 126

SITE ADDRESS **LOT 115**

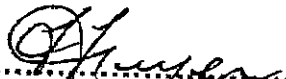
 ACACIA CIRC.

 WARRIEWOOD

BUILDER **COSMOPOLITAN LIVING**

THIS CERTIFICATE MAY BE INVALIDATED IF THE MEMBRANE IS SUBJECTED TO DETRIMENTAL TREATMENT AND IF THE SHOWER BASES ARE NOT LAID PRIOR TO WALL TILING (FOR PROTECTION OF THE BASE MEMBRANE).

Authorised signatory


.....

Regency

**Regency (Showerscreens
& Wardrobes) Pty Limited**
ABN 48 085 807 780

113 Bonds Road
Punchbowl NSW 2196

Tel: (02) 9584 4900
Fax: (02) 9584 4931

P.O. Box 524
Punchbowl NSW 2196

10 February 2004

Cosmopolitan Living Pty Ltd
PO Box 477
Bankstown NSW 1885

Att: Zoe
Fax: 8713 5099

RE: GLAZING CERTIFICATE

Lot 115 Acacia Cct Warriewood

Dear Customer,

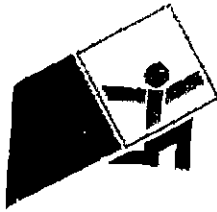
All glazing installed by Regency at the above project for shower screens and mirrors have been glazed to Australian Safety Standard Codes A.S. 1288 - 1994 and A.S / NZ 2208: 1996.

It is not always possible to show the markings to this effect as glass may be cut away during manufacture.

Kind Regards,

Page 1

Charles Sciberras
State Sales Manager



Bradnam's windows & doors

28 July 2003

Comopolitan Living
1/4 Iraking Avenue
MOOREBANK NSW 2170

Attention: Emily Boudville

Dear Emily

GLAZING CERTIFICATE

**Re: LOT 115 ACACIA CIRCUIT
WARRIEWOOD**

This letter confirms that the Bradnams aluminum windows and doors supplied to the above project have been manufactured to AS2047 and glazed to AS1288.

Yours faithfully,
BRADNAM'S WINDOWS & DOORS

772 Burnell

Michael Burnell
COMMERICAL ESTIMATOR

File sales representative in MASTER WINDOWS & DOORS SUPPLY ONLY. NORMAL CERTIFICATE does

4 Harvey Road, Kings Park. NSW 2148. Postal: PO Box 6725 Blacktown 2148
Tel: (02) 88223000 Fax: 88223099

19.FEB'2004 11:19 61 2 4722 8507

JUST POWER

#0547 P.001/001

JUST POWER

UNIT 6/50 PEACHTREE RD
PENRITH 2750
Ph:(02) 47228501 Fax:(02) 47228507



"Licensed Electrical
Contractors"
Lic No
136139C

Date: 19 FEB 2004

CITY COUNCIL

ATTENTION: HEALTH AND BUILDING DEPARTMENT

Dear Sir / Madam,

Re: LOT 115 ACACIA CIRCUIT
WARRIEWOOD

As required by council on final inspection:

This is to confirm that our company has installed "PDL" smoke detector/s (Model NO. SD100) 240V/9V that have been tested and passed by S.S. Laboratories to AS3786/1993 and are listed on the register of approved products with Australian Electrical Authority certificate of suitability CS00253V.

This smoke detector has been installed to the requirements of the building code of Australia Section E1.7 Part 3.7.2.3 and AS3000.

Yours faithfully,

A handwritten signature in black ink, appearing to read "Garry Tomkins".

.....
Garry Tomkins
Just Power