

28 November 2012

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir/Madam,

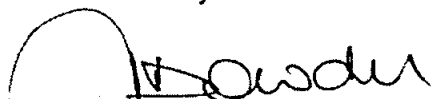
**Development Application No. N0395/11
852 Barrenjoey Road, Palm Beach**

For Council's information, please find enclosed Construction Certificate No. 2012/4913 issued for construction of a new swimming pool at the above address, accompanied by:

- Copy of Construction Certificate application form
- Notice of Commencement of Work and Appointment of Principal Certifying Authority
- Home Warranty Insurance Certificate
- Cheque for \$36.00 being the prescribed fee to receive the above certificate.

NB: Please forward receipt for the above fee to **Insight Building Certifiers Pty Ltd, PO Box 326, Mona Vale 1660.**

Yours faithfully



**Tom Bowden
Insight Building Certifiers Pty Ltd**



336 REC: 333204 29/11/12.

NOTE: SWIMMING POOL TO BE SURROUNDED BY A CHILD-RESISTANT BARRIER DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT 1992 AS AMENDED AND SWIMMING POOL REGULATIONS 2008 AS AMENDED

insight building certifiers pty ltd
CONSTRUCTION CERT. NO. 2012 / 4913
CONSTRUCTION CERTIFICATE PLANS

I certify that the work completed in accordance with these plans & specifications will comply with the regulations referred to in Section 81A(5) of the Environmental Planning & Assessment Act 1979

27 NOV 2012
Bowden Accreditation NO. BFB0042

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY WORKS ON THE ADJACENT ROAD RESERVE OR ANY COUNCIL RESERVE

SITE PLAN

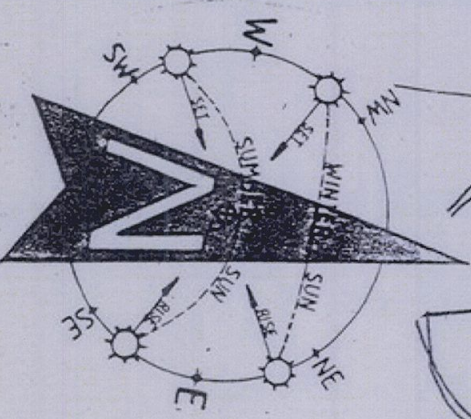
LOT 10 IN D.P. 13610

WARNING

The stamping of this plan by Insight Building Certifiers Pty Ltd does not relieve:

- The applicant's responsibility to obtain approval from Sydney Water or other utilities.
- The Structural Engineer of their responsibility to ensure the structural adequacy of this project.
- The Applicant, Structural Engineer or other persons, these stamped details are consistent with the issued Construction Certificate Architectural Details.

DEVELOPMENT CALCULATIONS			
SITE AREA	1097.40 SQUARE METRES		
DESCRIPTION	EXISTING SQM	PROPOSED SQM	
ROOF	139.32	139.32	
CARPORT	12.32	12.32	
CUBY	7.50	7.50	
SWIMMING POOL & DECKING	—	96.00	
TOTAL HARD SURFACE	159.14 (14.50%)	255.14 (23.25%)	



- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING.
 2. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.

1. To check and confirm all necessary dimensions and levels on site prior to ordering materials and commencing construction. Do not scale off the drawing.

2. Should any development or construction occur on or near boundaries, the boundaries should be clearly marked on site by the registered land surveyors.

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J.D. EVANS AND COMPANY PTY. LTD.
110, SYDNEY ROAD, SYDNEY, NSW 2000



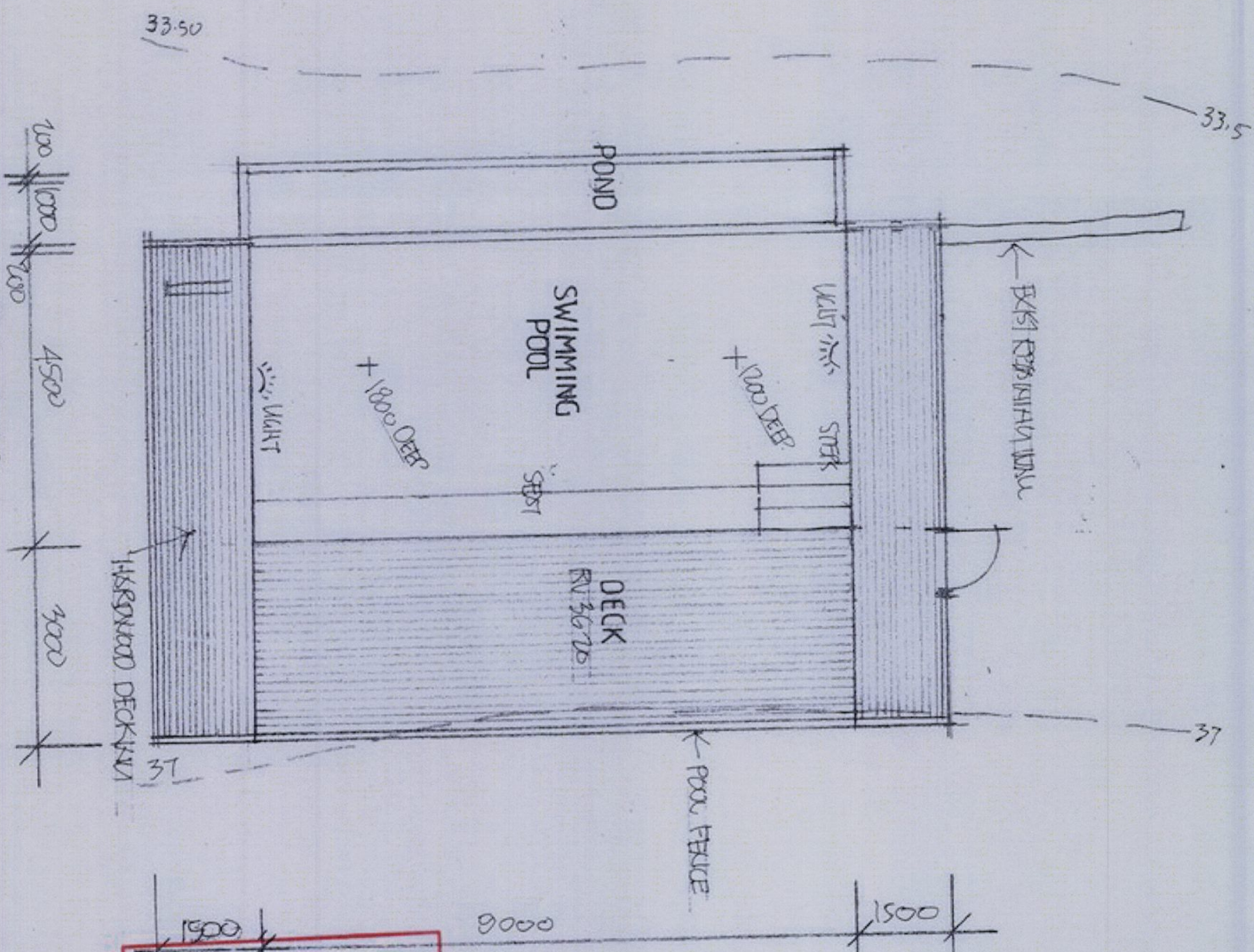
J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERA AVE, AVALON BEACH, 2107
Phone (02) 9918 9200 Fax (02) 9973 1454
Mobile 098 976 596 WWW.JDEC.COM.AU

PROJECT
PROPOSED SWIMMING POOL AT
No. 822 BARRENUJOEY ROAD
PALM BEACH N.S.W. 2108
CLIENT
ANDREW & AMANDA CROCKER

DATE 20/9/2011 SCALE 1:200
DRAWN JDE CHECKED
1438-1

1. POOL FENCING IS TO BE DESIGNED, LOCATED AND MAINTAINED IN ACCORDANCE WITH THE SWIMMING POOL ACT 1992 AS AMENDED.
2. AS 1926.1 - 2007 LOCATION OF SAFETY BARRIER FENCING FOR PRIVATE SWIMMING POOLS.
3. A RESUSCITATION AND EXTERNAL CARDIAC COMPRESSION CHART IS TO BE AFFIXED AND MAINTAINED IN A PROMINENT LOCATION ADJACENT TO POOL AREA.
4. ALL POOL OVERFLOW WATER AND WASTE WATER FROM THE FILTRATION PROCESS IS TO BE DIRECTED TO THE SEWER. HARDWOOD DECKING, BEARERS AND JOISTS TO BE IN ACCORDANCE WITH AS1684.2:2006, PART 4 RESIDENTIAL TIMBER FRAMED CONSTRUCTION.

NOTE: SWIMMING POOL TO BE SURROUNDED BY A CHILD-RESISTANT BARRIER DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT 1992 AS AMENDED AND SWIMMING POOL REGULATIONS 2008 AS AMENDED



 **PITTWATER COUNCIL**

**APPROVED DEVELOPMENT
CONSENT PLANS**

NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT.

**THIS APPROVAL DOES NOT AUTHORISE ANY
WORKS ON THE ADJACENT ROAD RESERVE
OR ANY COUCL RESERVE.**

NOTES:

1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY

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J.D. EVANS AND COMPANY PTT. LTD.
BUILDING DEPARTMENT
14 BARRIA AVE. AVALON BEACH, ONT.

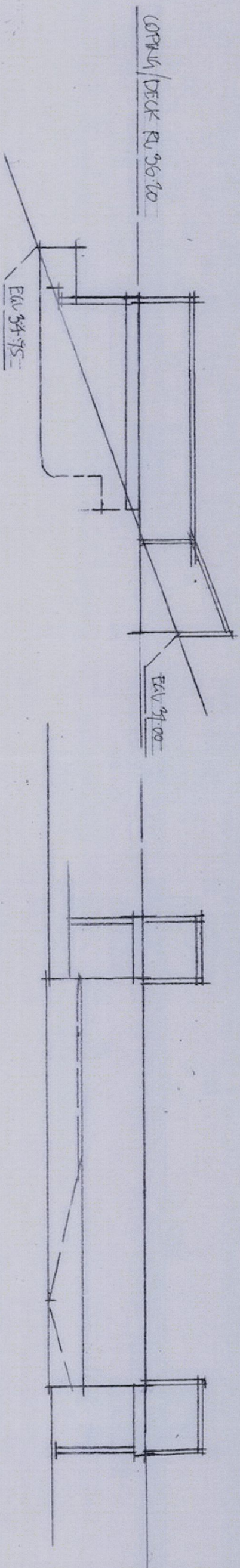
 J.D. EVANS and COMPANY PTY. LTD
BUILDING DESIGN CONSULTANTS
74 RIVERVIEW AVE., ANGLON BEACH, 2107
Phone: (02) 9918 2106 Fax: (02) 9973 2454
Mobile: 098 576 596 www.jdec.com.au

 AIBD
AUSTRALIAN INSTITUTE OF BUILDING DESIGN PRACTITIONERS
100 WILSON ST. SYDNEY NSW 2000
Tel: (02) 9231 1234 Fax: (02) 9231 1235
www.aibd.com.au

PROPOSED SWIMMING POOL AT
No. 852 BARENJOEY ROAD
PALM BEACH N.S.W. 2108
CLIENT
ANDREW & AMANDA CROCKER

DATE	2019/12/11	SCALE	1:100
DRAWN	JDE	CHECKED	
QUANTITY: No.		ISSUE	
1438-2			

NOTE: SWIMMING POOL TO BE SURROUNDED BY A CHILD-RESISTANT BARRIER DESIGNED & INSTALLED TO COMPLY WITH THE REQUIREMENTS OF THE SWIMMING POOLS ACT 1992 AS AMENDED AND SWIMMING POOL REGULATIONS 2008 AS AMENDED



SOUTH ELEVATION

WEST ELEVATION

BASIX SCHEDULE	ALL WORK TO BE IN ACCORDANCE WITH BASIX CERTIFICATE A128337, DATED 24 NOVEMBER 2011
Rainwater Tank	shall have a minimum capacity of 1410 L shall collect rainwater runoff from at least 120 square metres of roof area shall be connected to tap within 10 metres of the edge of the pool shall be outdoors
Swimming Pool	must not have a capacity greater than 60 kilolitres must have a pool cover must have a pool pump timer installed must have the following heating system installed: gas ONLY

- NOTES:
1. THE BUILDER IS TO CHECK AND CONFIRM ALL NECESSARY DIMENSIONS AND LEVELS ON SITE PRIOR TO ORDERING MATERIALS AND COMMENCING CONSTRUCTION. DO NOT SCALE OFF THE DRAWING. SHOULD ANY DEVELOPMENT OR CONSTRUCTION OCCUR ON OR NEAR BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE BY THE REGISTERED LAND SURVEYORS.
 - 2.

1. Builder to check and confirm all necessary dimensions on site prior to construction. Do not scale the drawing.
2. All dimensions that relate to site boundaries and easements are subject to verification by a site survey.
3. All work to be in accordance with BUILDING CODE of AUSTRALIA & to the satisfaction of local council requirements & other authorities.
4. All other construction to be in accordance with the TIERNEY PROPOSAL.
5. Any deviation from the above shall be approved in writing by the registered Building Engineer and the builder to the owner's approval, except for any deviation which may be required for the purpose of the Building Code of Australia.
6. All work shall be completed by the date specified in the contract.
7. All work shall be completed by the date specified in the contract.
8. All work shall be completed by the date specified in the contract.

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PRIOR WRITTEN PERMISSION WILL RESULT IN
LEGAL PROCEEDINGS.

No.	REVISION	DATE

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BUILDING DESIGN CONSULTANTS
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Phone (02) 9918 9206 Fax (02) 9913 1454
Mobile 090 976 596 WWW.jdeco.com.au

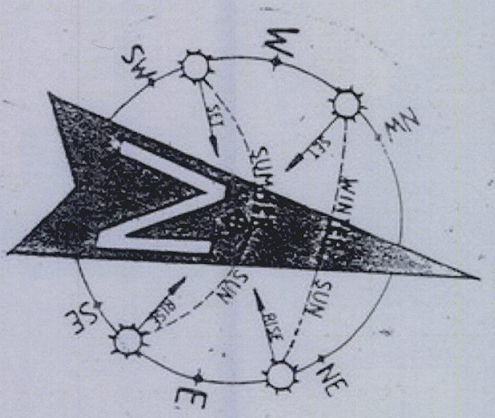
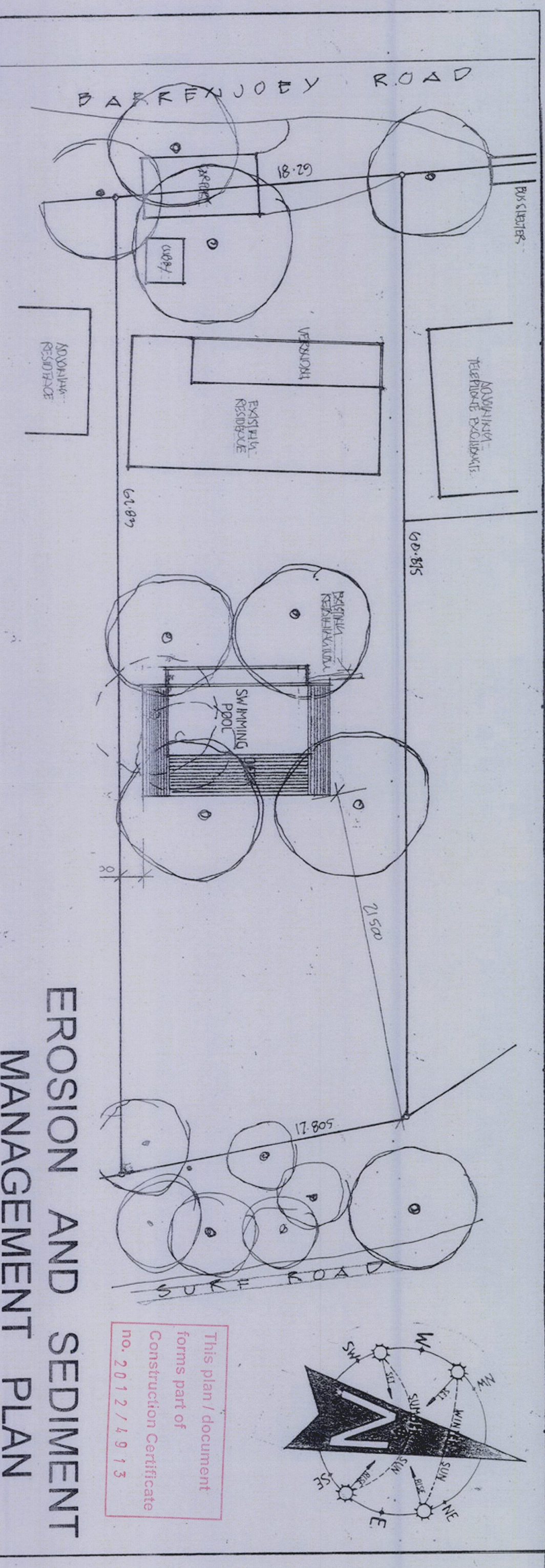
PROJECT
PROPOSED SWIMMING POOL AT
No. 852 BARRENUJOEY ROAD
PALM BEACH N. S. W. 2108
CLIENT
ANDREW & AMANDA CROCKER

DATE	2019/12/01	SCALE	1:100
DRAWN	JOE	CHECKED	
DATE		SCALE	

1438-3

**PITTWATER COUNCIL**
APPROVED DEVELOPMENT
CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN
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OR ANY COUNCIL RESERVE.

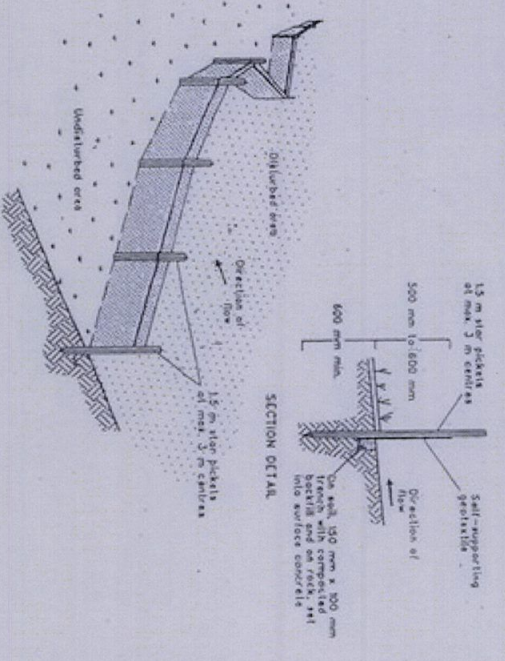
This plan / document
forms part of
Construction Certificate
No. 2012 / 4913



This plan / document forms part of Construction Certificate no. 2012/4913

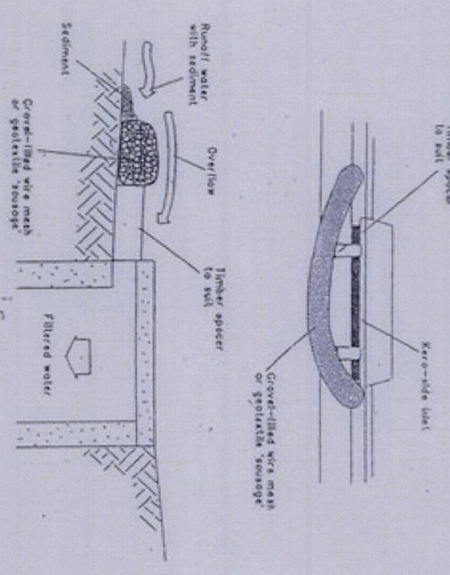
EROSION AND SEDIMENT MANAGEMENT PLAN

SEDIMENT FENCE



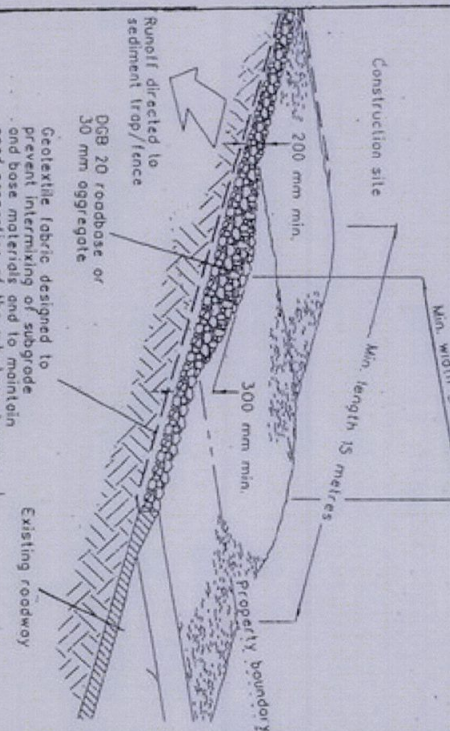
- ### CONSTRUCTION NOTES
1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
 2. DRIVE 15 METRE LONG STAR PICKETS INTO GROUND, 3.0 METRES APART.
 3. DIG A 150MM DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
 4. BACKFILL TRENCH OVER BASE OF FABRIC.
 5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
 6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150MM OVERLAP.

MESH AND GRAVEL INLET FILTER



- ### CONSTRUCTION NOTES
1. FABRICATE SLEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT.
 2. FILL THE SLEVE WITH 25MM TO 50MM GRAVEL.
 3. FORM AN ELIPTICAL CROSS-SECTION ABOUT 150MM HIGH X 400MM WIDE.
 4. PLACE THE FILTER AT THE OPENING OF THE KERB INLET LEAVING A 100MM GAP AT THE TOP TO ACT AS AN EMERGENCY SPILLWAY.
 5. MAINTAIN THE OPENING WITH SPACER BLOCKS.
 6. FORM A SEAL WITH THE KERBING AND PREVENT SEDIMENT BYPASSING THE FILTER.
 7. FIT TO ALL KERB INLETS AT SAG POINTS.

STABILISED SITE ACCESS



- ### CONSTRUCTION NOTES
1. STRIP TOPSOIL AND LEVEL SITE.
 2. COMPACT SUBGRADE.
 3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
 4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 300MM AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
 5. CONSTRUCT HUMP IMMEDIATELY WITHIN THE BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.

BUILDING MATERIAL STOCKPILES DETAIL



CERTIFICATION

I JOHN EVANS MEMBER NO. 365-96 OF THE BUILDING DESIGNERS ASSOCIATION OF N. S. W. INC. HEREBY CERTIFY THAT THIS DRAWING HAS BEEN DESIGNED IN WITH THE REQUIREMENTS OF THE N. S. W. DEPARTMENT OF LAND AND WATER CONSERVATION'S "URBAN EROSION AND SEIMENT CONTROL" MANUAL.

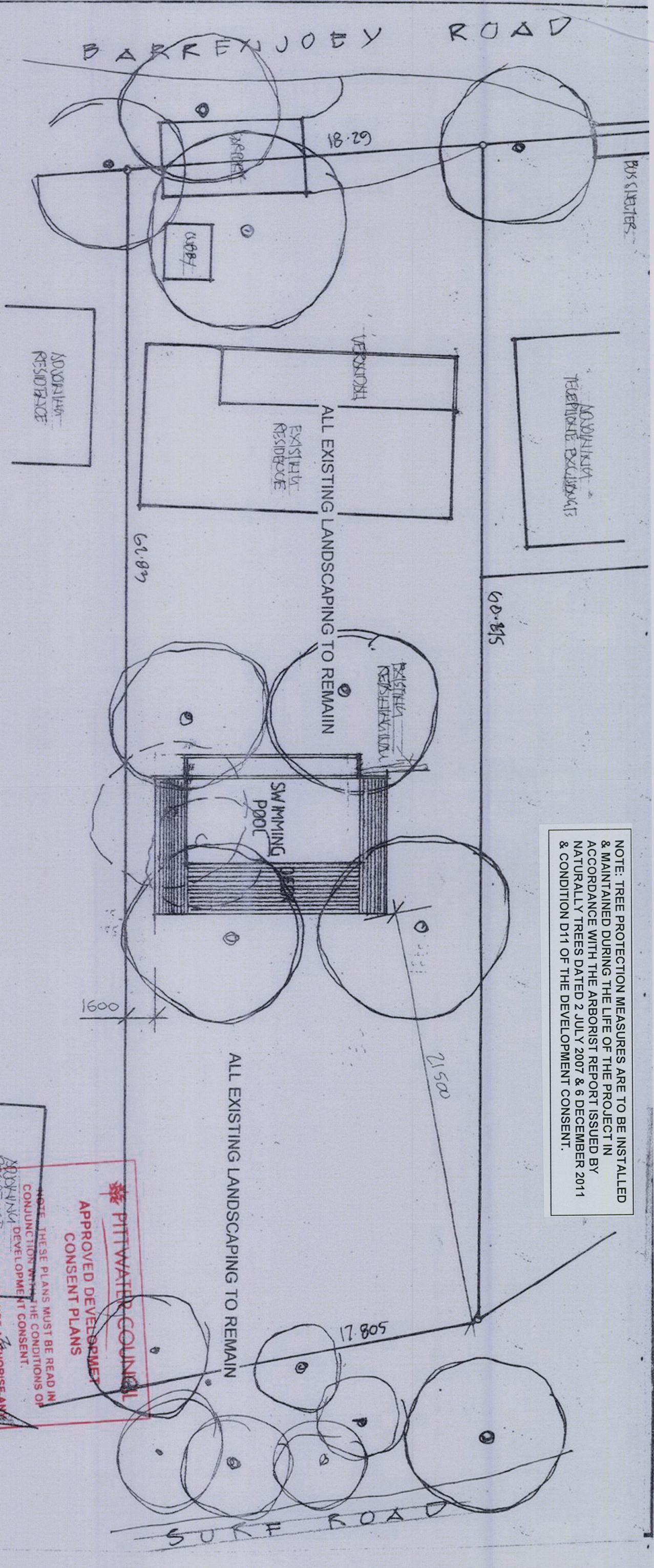
Signed: *[Signature]* Date: 10/9/11

J.D EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
14 RIVERIA AVE, AVALON BEACH, 2107
Phone (02) 9418 9106 Fax (02) 9973 2454
Mobile (04) 916 595

PROJECT
PROPOSED SWIMMING POOL AT
NO. 852 B/RENUJOEY ROAD
PALM BEACH N. S. W. 2108
CLIENT
ANDREW & AMANDA CROCKER

DATE: 20/9/2011
DRAWN: JUE
CHECKED: [Signature]
1438-4

NOTE: TREE PROTECTION MEASURES ARE TO BE INSTALLED & MAINTAINED DURING THE LIFE OF THE PROJECT IN ACCORDANCE WITH THE ARBORIST REPORT ISSUED BY NATURALLY TREES DATED 2 JULY 2007 & 6 DECEMBER 2011 & CONDITION D11 OF THE DEVELOPMENT CONSENT.

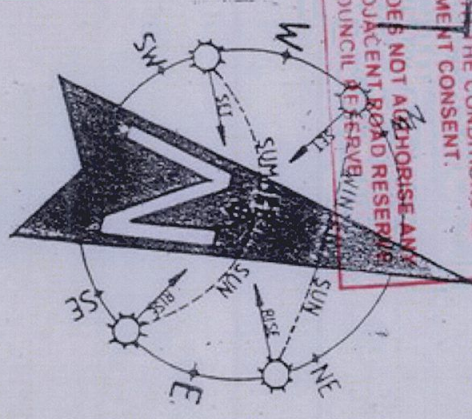


This plan / document
forms part of
Construction Certificate
No. 20112/4913

PITTWATER COUNCIL
APPROVED DEVELOPMENT
CONSENT PLANS

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LANDSCAPE PLAN

ALL CIVIL STRUCTURAL AND HYDRAULIC WORKS ASSOCIATED WITH THIS PROJECT SHALL BE TO THE RELEVANT ENGINEERS DETAILS. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALING. ALL DIMENSIONS & LEVELS TO BE VERIFIED BY THE CONTRACTOR ON SITE.



J.D. EVANS and COMPANY PTY. LTD.
BUILDING DESIGN CONSULTANTS
74 RIVERSIDE AVE, AVALON BEACH, 2107
Phone (02) 9918 9206 Fax (02) 9973 2454
Mobile 041 976 596



PROJECT
PROPOSED SWIMMING POOL AT
No. 852 BARRENJOEY ROAD
CLIENT
PALM BEACH N.S.W. 2108
ANDREW & AMANDA CROCKER

DRAWN: JOE
CHECKED: [blank]
DATE: 20/9/2011
SCALE: 1:200
DRAWING NO.: 1438-5

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2012/4913

Council	Pittwater
Determination Date of issue	Approved 27 November 2012
Subject land Address Lot No, DP No.	852 Barrenjoey Road, Palm Beach Lot 79 DP 13620
Applicant Name Address Contact No.	Mr Andrew Crocker & Ms Amanda King 852 Barrenjoey Road, Palm Beach NSW 2108 0412 206 320
Owner Name Address Contact No.	Mr Andrew Crocker & Ms Amanda King 852 Barrenjoey Road, Palm Beach NSW 2108 0412 206 320
Description of Development Type of Work	Construction of a New Swimming Pool
Builder or Owner/Builder Name Contractor Licence No/Permit	Ian Brooks 94408C
Value of Work Building	\$58,000.00
Attachments	
• Copy of completed Construction Certificate Application Form • Long Service Corporation receipt no. 671011751 dated 18 October 2012 • BASIX Certificate no. A128337 dated 24 November 2012	

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Site Plan, Pool Plan & Section Details, including Landscaping Plan & Sediment & Erosion Control Details, reference no. 1438, drawing no's 1, 2, 3, 4 & 5, prepared JD Evans & Company Pty Ltd dated 20 September 2011
- Structural Details drawing no M-11-260439 prepared & endorsed by Civil & Structural Engineering Design Services Pty Ltd dated 3 November 2011
- Completed Form 2 (Parts A & B) of Pittwater Council Geotechnical Risk Management Policy, endorsed by Civil & Structural Engineering Design Services Pty Ltd dated 12 October 2012 & Jack Hodgson Consultants Pty Ltd dated 11 October 2012, respectively
- Sydney Water approval dated 19 January 2012

Certificate

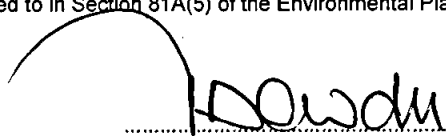
I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed

Date of endorsement
Certificate No.


27 NOV 2012
2012/4913

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.
Date of Determination

N0395/11
12 December 2011

BCA Classification

10b

APPLICATION FOR A CONSTRUCTION CERTIFICATE

Environmental Planning and Assessment Act 1979 & Environmental Planning and Assessment Regulation 2000

Description of Building Work

CONSTRUCTION OF A NEW SWIMMING POOL

Estimated cost of work

\$75,000

BCA Classification(s)

10b.

Development Consent Reference no.

N0398/11

Date of Issue

12 DECEMBER 2011

Modified Consent Reference no. (if applicable)

Date of Issue (if applicable)

Property Address

Unit/Street no.

852

Street name

BARRENJOEY ROAD

Suburb

PALM BEACH

Post code

2108

Lot no.

79

DP no.

13620

Accompanying Documents

- Appropriate Architectural Plans and Specifications
- All information required by *Part 3 of Schedule 1 Forms* of the Regulation (see over)

I/We, the owner/s of the abovementioned property, hereby make application to Tom Bowden/Heath McNab of Insight Building Certifiers Pty Ltd ('Insight') for a Construction Certificate for the building work described above and, in doing so, I/we also declare that the documents provided and asserted by me as a copy of a development consent and incorporated plans are a true copy of same as issued by the relevant consent authority or the Land and Environment Court.

Owner 1 Name:

AMANDA KING

Owner 2 Name:

ANDREW CROCKER

Owner's Signature:

Amanda King

Owner's Signature:

Andrew Crocker

Date:

18TH OCTOBER 2012

Date:

18TH OCTOBER 2012

Owner's Address:

852 BARRENJOEY ROAD PALM BEACH 2108

Daytime Telephone:

Mobile:

0412 206320

[Office Use Only]: Date received by Accredited Certifier:

Environmental Planning & Assessment Regulations 2000

Schedule 1 – Part 3(6) – Documents to accompany application for Construction Certificates

- (1) An application for a construction certificate must be accompanied by the following documents:
 - (a) if the development involves building work (including work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house):
 - (i) a detailed description of the development, and
 - (ii) appropriate building work plans and specifications,
 - (b) if the development involves building work (other than work in relation to a dwelling-house or a building or structure that is ancillary to a dwelling-house or work that relates only to fire link conversion):
 - (i) a list of any existing fire safety measures provided in relation to the land or any existing building on the land, and
 - (ii) a list of the proposed fire safety measures to be provided in relation to the land and any building on the land as a consequence of the building work,
 - (c) if the development involves subdivision work, appropriate subdivision work plans and specifications,
 - (d) in the case of development to which clause 6A applies, such other documents as any BASIX certificate for the development requires to accompany the application.
- (2) A detailed description of the development referred to in subclause (1) (a) (i) must indicate the following matters:
 - (a) for each proposed new building:
 - (i) the number of storeys (including underground storeys) in the building,
 - (ii) the gross floor area of the building (in square metres),
 - (iii) the gross site area of the land on which the building is to be erected (in square metres),
 - (b) for each proposed new residential building:
 - (i) the number of existing dwellings on the land on which the new building is to be erected,
 - (ii) the number of those existing dwellings that are to be demolished in connection with the erection of the new building,
 - (iii) the number of dwellings to be included in the new building,
 - (iv) whether the new building is to be attached to any existing building,
 - (v) whether the new building is to be attached to any other new building,
 - (vi) whether the land contains a dual occupancy,
 - (vii) the materials to be used in the construction of the new building (using the abbreviations set out in clause 7 of this Schedule).
- (3) Appropriate building work plans and specifications referred to in subclause (1) (a) (ii) include the following:
 - (a) detailed plans, drawn to a suitable scale and consisting of a block plan and a general plan, that show:
 - (i) a plan of each floor section, and
 - (ii) a plan of each elevation of the building, and
 - (iii) the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground, and
 - (iv) the height, design, construction and provision for fire safety and fire resistance (if any),
 - (b) Specifications for the development:
 - (i) that describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply, and
 - (ii) that state whether the materials to be used are new or second-hand and (in the case of second-hand materials) give particulars of the materials to be used,
 - (c) a statement as to how the performance requirements of the *Building Code of Australia* are to be complied with (if an alternative solution, to meet the performance requirements, is to be used),
 - (d) a description of any accredited building product or system sought to be relied on for the purposes of section 79C (4) of the Act,
 - (e) copies of any compliance certificate to be relied on,
 - (f) if the development involves building work to alter, expand or rebuild an existing building, a scaled plan of the existing building,
 - (g) in the case of development to which clause 6A applies, such other matters as any BASIX certificate for the development requires to be included in the plans and specifications.
- (3A) An application for a construction certificate that relates only to fire link conversion need only be accompanied by a document that describes the design and construction, and mode of operation, of the new fire alarm communication link.
- (4) Appropriate subdivision work plans and specifications referred to in subclause (1) (c) include the following:
 - (a) details of the existing and proposed subdivision pattern (including the number of lots and the location of roads),
 - (b) details as to which public authorities have been consulted with as to the provision of utility services to the land concerned,
 - (c) details engineering plans as to the following matters:
 - (i) earthworks,
 - (ii) roadworks,
 - (iii) road pavement,
 - (iv) road furnishings,
 - (v) stormwater drainage,
 - (vi) water supply works,
 - (vii) sewerage works,
 - (viii) landscaping works,
 - (ix) erosion control works,
 - (d) copies of any compliance certificates to be relied on.

6A BASIX certificate required for certain development

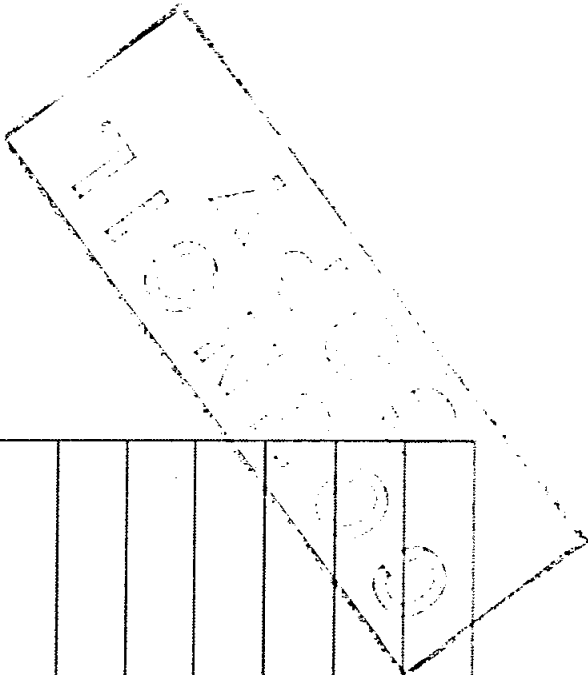
- (1) This clause applies to:
 - (a) BASIX affected development, and
 - (b) BASIX optional development in relation to which a person made a development application that has been accompanied by a BASIX certificate or BASIX certificates (despite there being no obligation under clause 2A for it to be so accompanied).
- (2) In addition to the documents required by clause 6, an application for a construction certificate for any development to which this clause applies must also be accompanied by a BASIX certificate or BASIX certificates for the development, being either the BASIX certificate applicable to the development when the relevant development consent was granted or some other BASIX certificate or BASIX certificates that has or have been issued no earlier than 3 months before the date on which the application is made.
- (3) If the proposed development involves the alteration, enlargement or extension of a BASIX affected building that contains more than one dwelling, a separate BASIX certificate is required for each dwelling concerned.

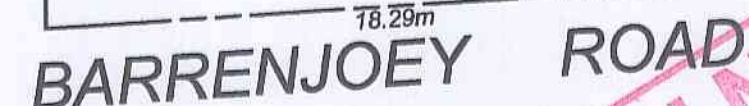
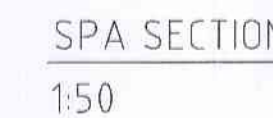
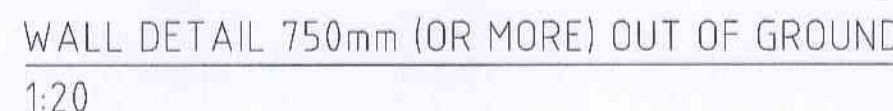
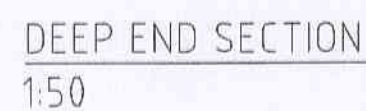
Levy Online Payment Receipt



Thank you for using our Levy Online payment system. Your payment for this building application has been processed.

Applicant Name:	AMANDA KING ANDREW CROCKER
Levy Application Reference:	5034768
Application Type:	DA
Application No.:	N0395/11
Local Government Area/Government Authority:	PITTWATER COUNCIL
Site Address:	852 BARRENJOEY ROAD
	PALM BEACH
	NSW
	2108
Value Of Work:	\$85,000
Levy Due:	\$297
Levy Payment:	\$297
Online Payment Ref.:	671011751
Payment Date:	18/10/2012 1:30:53 PM





GENERAL NOTES

- G1. All workmanship and materials shall comply with relevant SAA codes, By-laws and Ordinances of the Local Building Authority.
- G2. The overall dimensions shall be checked on site. Dimensions shown are concrete sizes and do not include finishes. All boundary dimensions shown may not be accurate and should be checked by survey for accuracy. Do not scale from this drawing. Any discrepancies shall be notified to the Engineer.
- G3. The Foundation material must be stable and shall have a minimum bearing capacity of 150 kPa. Any variations in the foundations from that assumed shall be immediately referred to the Engineer. The underside of the pool shell shall be separated from the Foundation material by an impervious membrane overlying 50 mm thickness of permeable material draining to the Hydrostatic Valve.
- G4. Excavations shall not be permitted within 2 metres of an existing structure without prior approval or recommendations for shoring or underpinning provided by the Engineer.
- G5. Walkways have been designed for a distributed load of 4 kPa and a line load of 30 k/m. no additional loads shall be permitted without prior approval from the Engineer.

REINFORCED CONCRETE SHELL IN ACCORDANCE WITH AS 2783-1992

- C1. The mix shall be proportional to produce a minimum 28 day compressive strength of 25 MPa and suitable for pneumatic application. All workmanship and materials to be in accordance with AS 3600.
- C2. The use of calcium chloride as an accelerator will not be permitted without reference to the Engineer.
- C3. Concrete Cover shall be as per the Swimming Pool Code.
- C4. Concrete shall be Moist Cured by means of a hand held hose approximately four times a day continued a minimum of seven days after concrete placement. This work shall be carried out by the owner.
- C5. All reinforcing steel to be fixed by an approved method and supported at 1 m centres.
- C6. Y-denotes high yield bar.
S-denotes structural grade 230 deformed bar.
- C7. All laps to be Minimum 500 mm unless noted otherwise.

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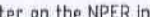
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WARNING			
The insight relieve:	stamping of this Building Certificate	plan by Pty Ltd does not	
• The general public:	applicant's responsibility over their Sydney Water	to obtain or other	
•	Structural Engineer at their adequacy of this project.	Structural	
•	The Applicant, Structural Engineer or other Professional of their responsibility to		
•	ensure these stamped details are consistent with the Issued Construction Certificate Architectural Details.		

This plan / document
forms part of
Construction Certificate
no 2012/4913

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Registered Professional Engineer 19823+
Mr Edward A. Bennett
 MIEAust CPEng
 Signature  Date **03 / 11 /**
 Register on the NPER in the Category of
Civil/Environmental/Structural/Geotechnical
 National Professional Engineers Register

AMENDMENTS	
	DATE
A	
B	
C	

METROPOLITAN POOL SERVICE

PROPOSED SWIMMING POOL - STRUCTURAL DETAILS

FOR: MR & MRS CROCKER
AT: 852 BARRENJOEY ROAD PALM BEACH NSW

**CIVIL & STRUCTURAL ENGINEERING
DESIGN SERVICES PTY. LTD.** ACN 051 307 852

CONSULTING STRUCTURAL, CIVIL, GEOTECHNICAL & ENVIRONMENTAL ENGINEERS

3 Warrniti Road BELROSE 2085

PHONE	61-02 9975 3895
FAX	61-02 9975 1963
MOBILE	0407 753 850
EMAIL	hill.e@dsbpend.net.au

SCALE: AS SHOWN	CONTRACT No.
DRAWN: EDH	—
CHECKED: EAB	DRAWING No.
DATE: 03/10/2011	M-11-260439

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – To be submitted with detailed design for construction certificate

Development Application for _____	Name of Applicant _____
Address of site <u>852 BARRENJOEY ROAD, PALM BEACH</u>	

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical Issues into the project design

I, Edward A Bennett (insert name) behalf of CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES (trading or company name) 174-400
on this the 12/10/2012 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: <u>RISK ANALYSIS & MITIGATIONS FOR PROPOSED SWIMMING POOL</u>
Report Date: <u>6 DECK AT 852 BARRENJOEY ROAD PALM BEACH DATE: 26/4/2011</u>
Author: <u>TACK PROPOSED CONSULTANTS PTY. LTD.</u>

Structural Documents list:

<u>DLG. NO. C-11-261261 - STRUCTURAL DETAILS</u>
<u>DR4 NO. C-11-261344 - HYDRAULIC DETAILS</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

EDWARD A BENNETT (name) [Signature] (signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated _____ and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified. In the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature

Name

Chartered Professional Status.....

Membership No.

Registered Professional Engineer 198230

Mr Edward A. Bennett

M:EAust CPEng



Signature [Signature] Date 12/10/12

Registered on the NPER in the Category of
Civil/Environmental/Structural/Geotechnical
National Professional Engineers Register

This plan / document
forms part of
Construction Certificate
NO. 2012 / 4813

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – PART B - To be submitted with detailed design for construction certificate

PART B Declaration made by Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer (where applicable) in relation to the incorporation of the Geotechnical issues into the project design

I, Ben White on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 11TH OCTOBER, 2012
(date)

certify that I am a Geotechnical Engineer or Engineering Geologist and/or Coastal Engineer as defined by the Geotechnical Risk Management Policy for Pittwater – 2009 and I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have reviewed the design plans and structural design plans in accordance for the Construction Certificate Stage and that I am satisfied that:

Please mark appropriate box

- ☒ the structural design meets the recommendations as set out in the Geotechnical Report or any revision thereto
☒ the structural design has considered the requirements set out in the Geotechnical Report for Excavation and Landfill both for the excavation/construction phase and the final installation in accordance with Clause 3.2 (b)(iv) of the Geotechnical Risk Management Policy

Geotechnical Report Details :

Report Title: RISK ANALYSIS & MANAGEMENT FOR PROPOSED SWIMMING POOL & DECK AT 852
BARRENJOEY ROAD, PALM BEACH MM 27814

Report Date: 26TH SEPTEMBER, 2011

Author: BEN WHITE

Documentation which relates to or is relied upon in report preparation:

ARCHITECTURAL PLANS PREPARED BY J D EVANS & COMPANY NUMBERED 1438-1 TO 1439-3 DATED
20TH SEPTEMBER, 2011

STRUCTURAL PLAN PREPARED BY CIVIL & STRUCTURAL ENGINEERING DESIGN SERVICES P/L
NUMBERED M-11-260439 DATED 3RD OCTOBER, 2011 FOR POOL ONLY

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

Ben White

(name)


(signature)

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk

Signature 

Name Ben White

Chartered Professional Status M.Sc.Geol AusIMM CP
GEOL.

Membership No. 222757

Company Jack Hodgson Consultants Pty Ltd

This plan / document
forms part of
Construction Certificate
no. 2012 / 4915

COPY

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A128337

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2008 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of Issue: Thursday, 24, November 2011
To be valid, this certificate must be lodged within 3 months of the date of Issue.



Project address	
Project name	Andrew & Amanda Crocker
Street address	852 Barrenjoey Road Palm Beach 2108
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 13620
Lot number	79
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is less than \$50,000, but includes a pool (and/or spa) with a combined capacity of 40,000 litres or more.

This plan / document
FORMING PART OF
CONVEYANCING DOCUMENT
NO. 2012 / 4913

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	J.D.Evans & Co Pty Ltd
ABN (if applicable):	72 001 636 693



Pool and Spa		Show on DA Plans	Show on CC/CDC Plans & Specs	Certifier check
Rainwater tank				
The applicant must install a rainwater tank of at least 1410 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.		✓	✓	✓
The applicant must configure the rainwater tank to collect rainwater runoff from at least 120 square metres of roof area.			✓	✓
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.			✓	✓
Outdoor swimming pool				
The swimming pool must be outdoors.		✓	✓	✓
The swimming pool must not have a capacity greater than 60 kilolitres.		✓	✓	✓
The swimming pool must have a pool cover.			✓	✓
The applicant must install a pool pump timer for the swimming pool.			✓	✓
The applicant must install the following heating system for the swimming pool that is part of this development: gas.			✓	✓

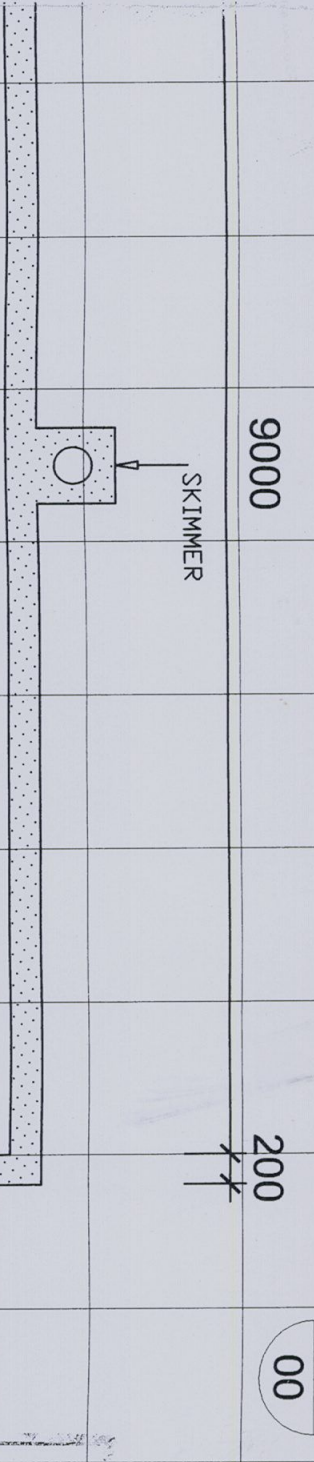
Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



PIERING & FLOOR TO ALT. 2 DETAIL
POOLS WALLS 175mm THICK WITH
EXTRA DROPPER BARS TO DETAIL

LEVELS SHOWN INDICATE FINISHED STRUCTURAL LEVEL
ABOVE OR BELOW EXISTING GROUND LEVELS

THIS DRAWING DOES NOT FORM PART OF ANY CONTRACT

Registered Professional Engineer 19823+
Mr Edward A. Bennett
MIEAust CPEng
Signature Date **03 / 11 / 11**
Register on the NPER in the Category of
Civil/Environmental/Structural/Geotechnical
National Professional Engineers Register

AMENDMENTS		OWNER	COUNCIL	DESIGNER	CONSTRUCT.
A	DATE				
B					
C					



METROPOLITAN POOL SERVICE

SITE PLAN
1 : 200

BARRENJOEY ROAD

PROPOSED SWIMMING POOL - STRUCTURAL DETAILS
FOR: **MR & MRS CROCKER**
AT: **852 BARRENJOEY ROAD PALM BEACH NSW**
CIVIL & STRUCTURAL ENGINEERING
DESIGN SERVICES PTY. LTD. ACN: 051 307 852
CONSULTING STRUCTURAL, CIVIL, GEOTECHNICAL & ENVIRONMENTAL ENGINEERS
3 Warrniti Road BELROSE 2085
PHONE 61-02 9975 3899
FAX 61-02 9975 1943
MOBILE 04-07 753 899
EMAIL h1e@h1epond.net.au

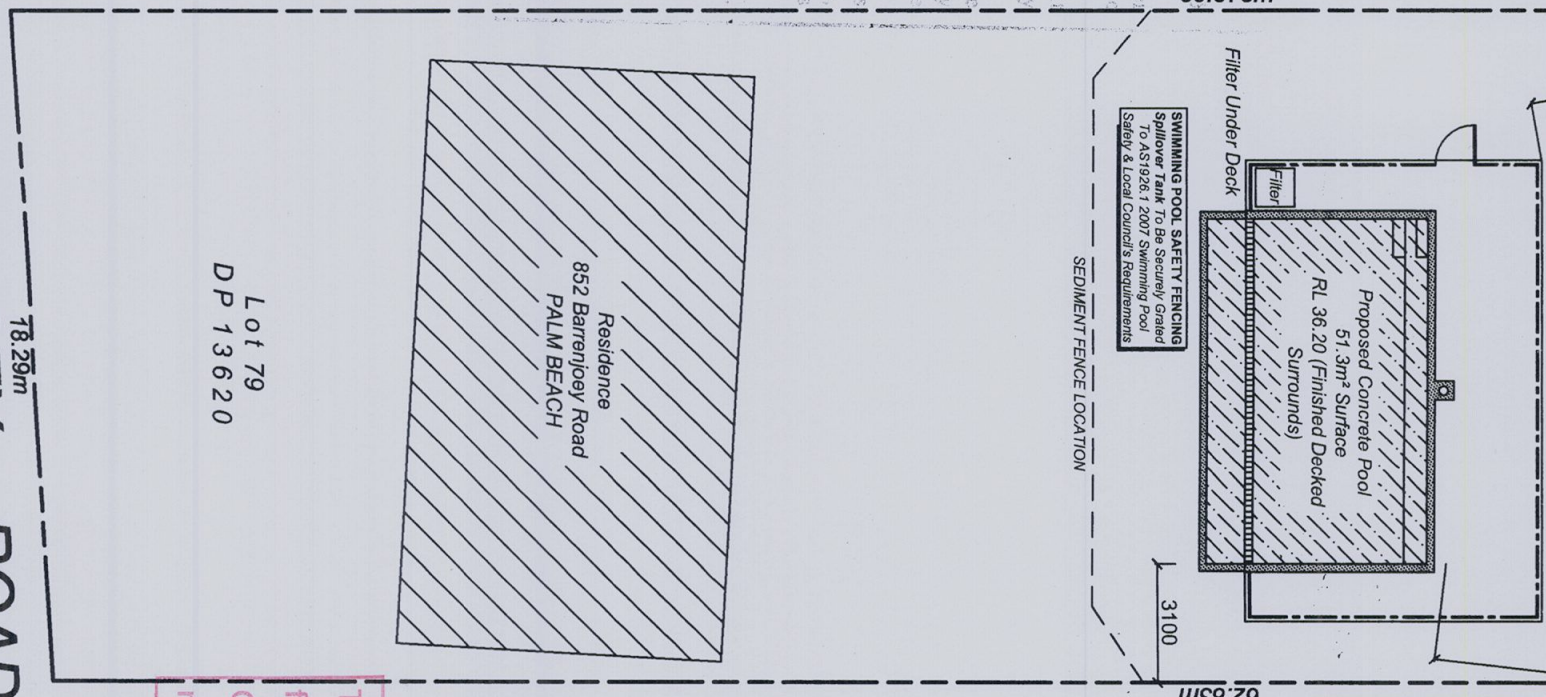
SCALE:	AS SHOWN	CONTRACT NO.
DRAWN:	EDH	-
CHECKED:	EAB	DRAWING NO.
DATE:	03/10/2011	M-11-260439

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WRITTEN PERMISSION FROM TED BENNETT.

This plan / document
forms part of
Construction Certificate
no. 2012 / 4913

Reece Auburn
Quick Check Agent on behalf of
SYDNEY WATER
19/1/12

SYDNEY WATER
APPROVED
Position of structure in relation to Sydney Water assets is satisfactory.
Connection to Sydney Water sewer/water services may only be made following the issue of a permit by a licensed plumber/drafter.
It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
Any plumbing and/or drainage work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
Property No. **33 49549**



WARNING
IDENTIFY & MARK THE LOCATION OF ALL ABOVE & BELOW GROUND SERVICES PRIOR TO COMMENCING ANY WORK. TAKE ALL APPROPRIATE SAFETY PRECAUTIONS.
IMPORTANT NOTE
FENCE LOCATIONS HAVE NOT BEEN LOCATED ON THIS PLAN. BOUNDARY LOCATIONS SHOULD BE MARKED ON SITE PRIOR TO SET OUT FOR CONSTRUCTION.