

CONTOUR

LANDSCAPE ARCHITECTURE

DA DOCUMENTATION - PROPOSED SWIMMING POOL AND LANDSCAPE WORKS

PROJECT

Gould Residence

ADDRESS

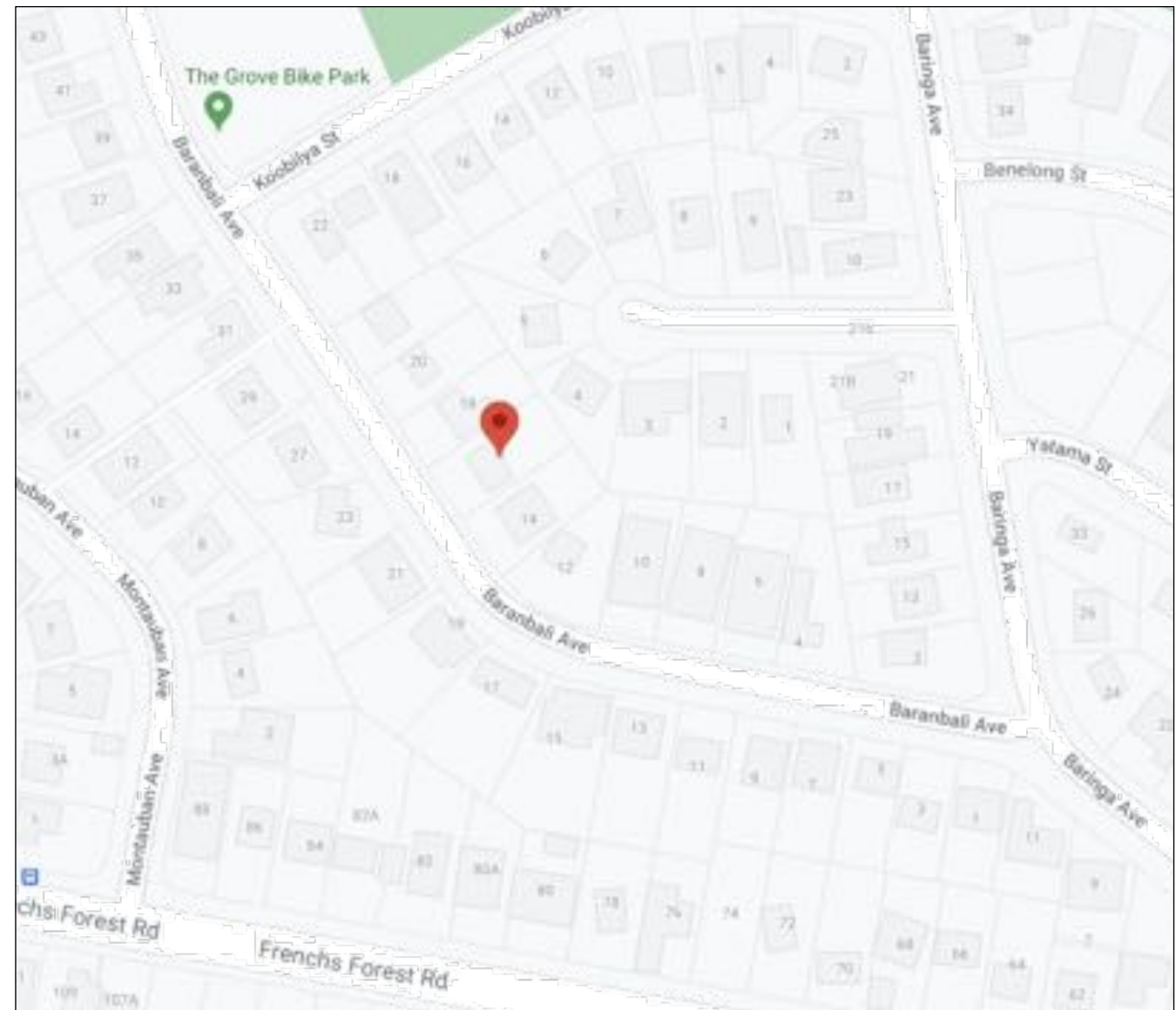
**16 Baranbali Street,
Seaforth NSW 2092**

CLIENTS

Jono & Maddie Gould

BUILDER

G.J. Gardner. **HOMES**
Builders Details



LEGEND

- LAWN AREA
- PAVING
- CONCRETE
- GARDEN AREA
- DECORATIVE PEBBLES
- STEPPING SLEEPERS
- TREE TO BE RETAINED
- TREE TO BE REMOVED
- RL 60.900

PROPOSED LEVEL
- + TOW 60.900

PROPOSED TOP OF WALL LEVEL



POOL SHAPE



POOL SHAPE



POOL SHAPE



POOLSIDE PAVING



LAWN AND STEP DETAILS

DEVELOPMENT COMPLIANCE TABLE

LANDSCAPED AREA		
		COMPLY
SITE AREA	613.10 m2	N/A
MINIMUM TOTAL OPEN SPACE - 55%	337.21 m2	N/A
PROPOSED LANDSCAPED AREA	167.71 m2 (101.16m2 REQ.)	YES

- PROPOSED SWIMMING POOL AND SURROUNDS SHALL BE NO GREATER THAN 600mm ABOVE EXISTING LEVELS
- SWIMMING POOL AND SPA WATER CAPACITY IS LESS THAN 40 000 LITRES - 31 365 LITRES
- SWIMMING POOL LOCATED IN REAR YARD
- SWIMMING POOL SAFETY FENCING & SWIMMING POOL SHALL COMPLY WITH:
 - COUNCIL CODES
 - BUILDING CODE OF AUSTRALIA
 - SWIMMING POOLS ACT 1992-NO. 49
 - SWIMMING POOL SAFETY AS 1926.1-2007
 - SWIMMING POOL SAFETY AS 1926.2-2007
 - SWIMMING POOL SAFETY AS 1926.1-2012 AS APPLICABLE.

POOL COPING LEVELS
(RELATIVE TO EXISTING
GROUND LEVELS)

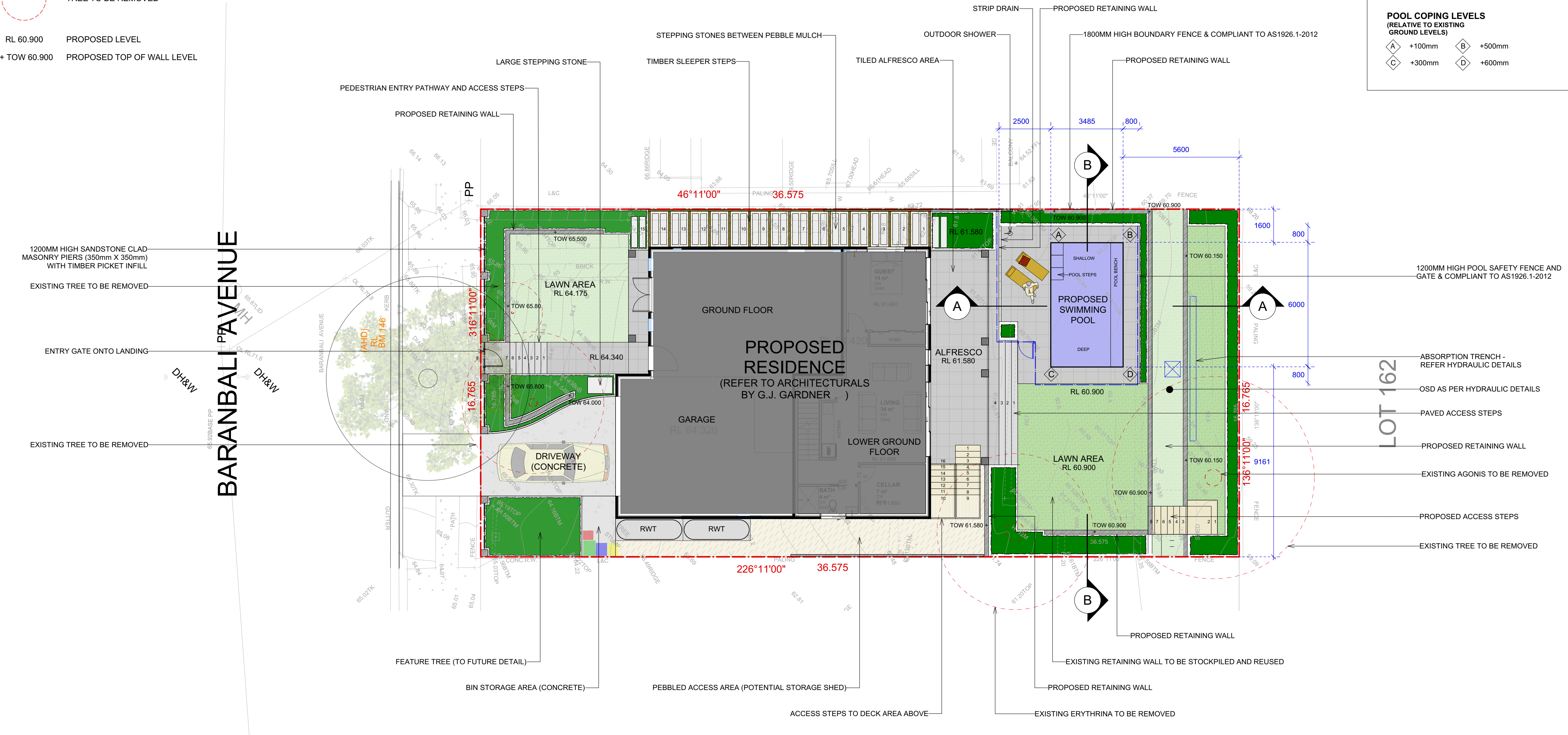
- A

+100mm
- B

+500mm
- C

+300mm
- D

+600mm



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Gould Residence

16 Baranbali Street,
Seaforth, NSW 2092

BUILDER:
GJ Gardner

NOTES

comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE REV. ISSUE

22/09/20 A

16/11/20 B

01/12/20 C

DATE: 22/09/2020

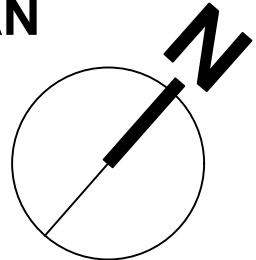
SCALE: 1:100 @ A1
1:200 @ A3

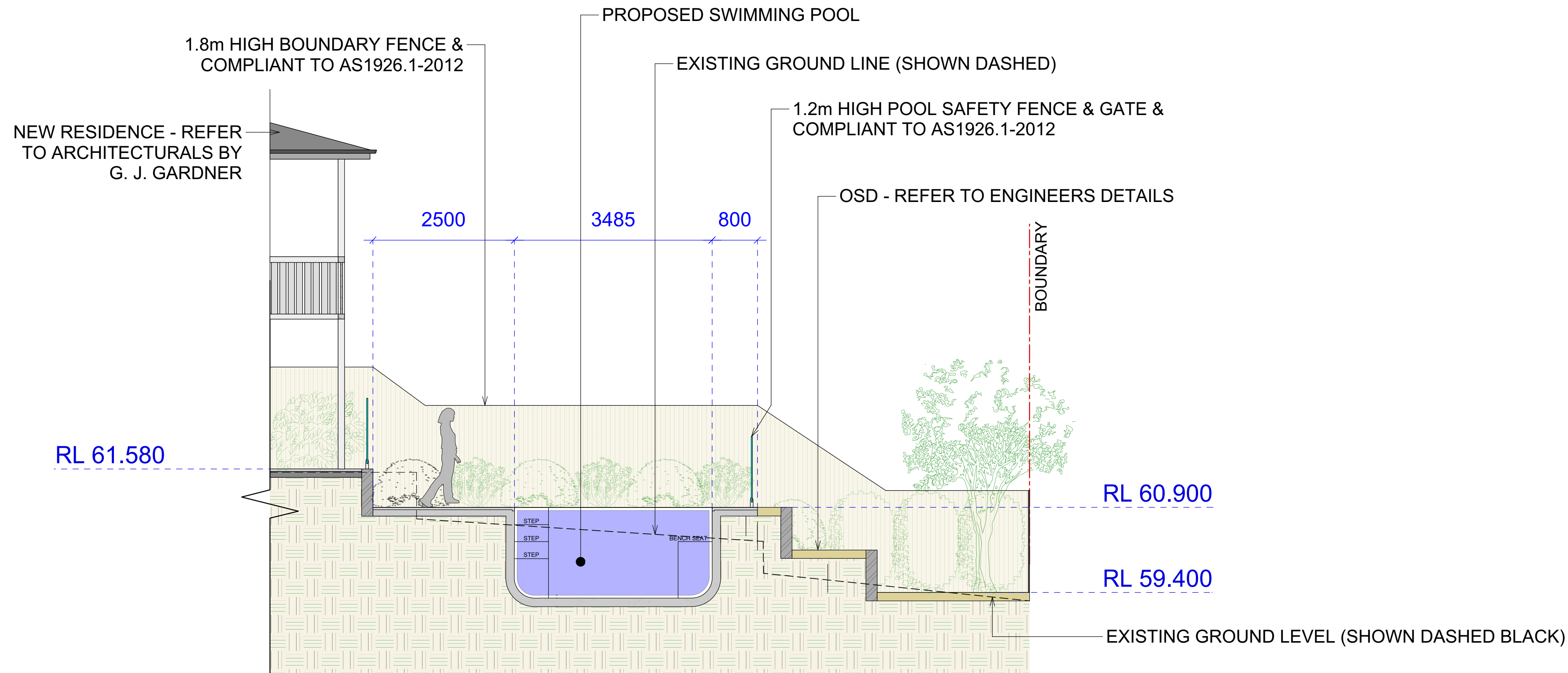
DRAWN: LH

DRAWING
LANDSCAPE PLAN

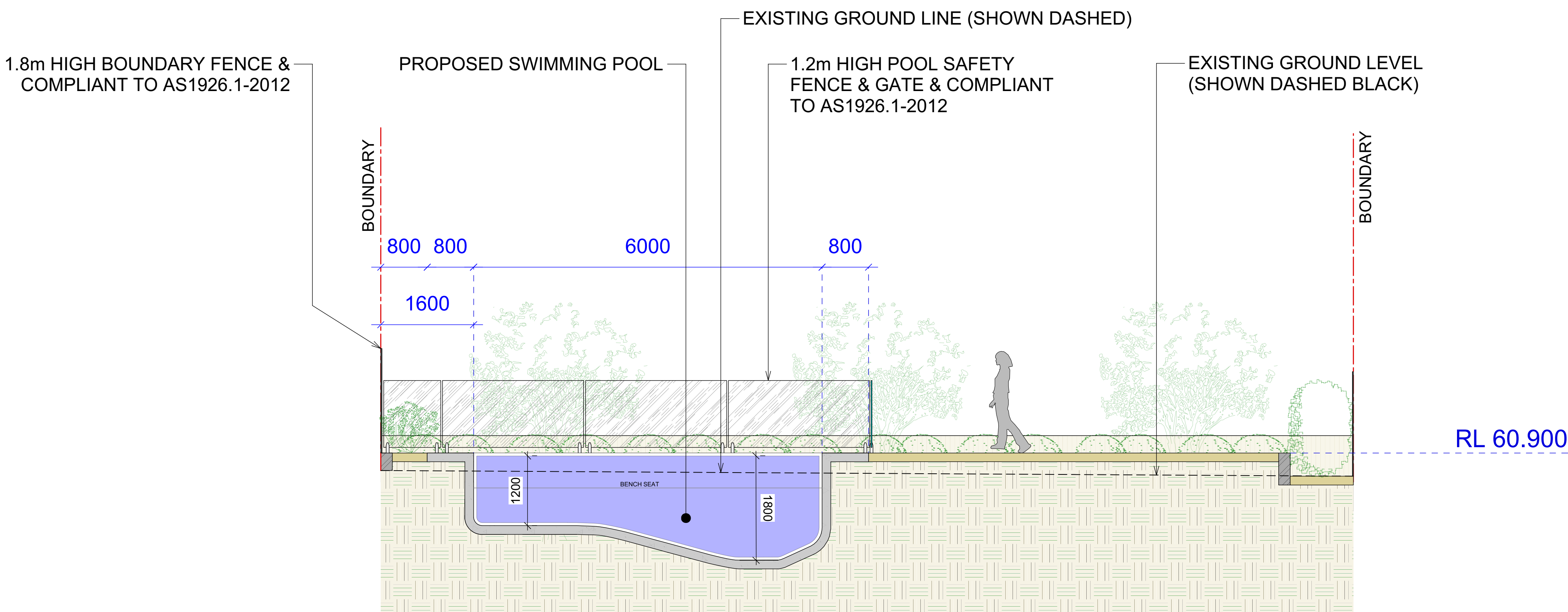
DRAWING NO:
C1

REV:
C





SECTION AA
scale 1:50



SECTION BB
scale 1:50

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Gould Residence

16 Baranbali Street,
Seaforth, NSW 2092

BUILDER:
GJ Gardner

NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimentions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
01/12/20	A	

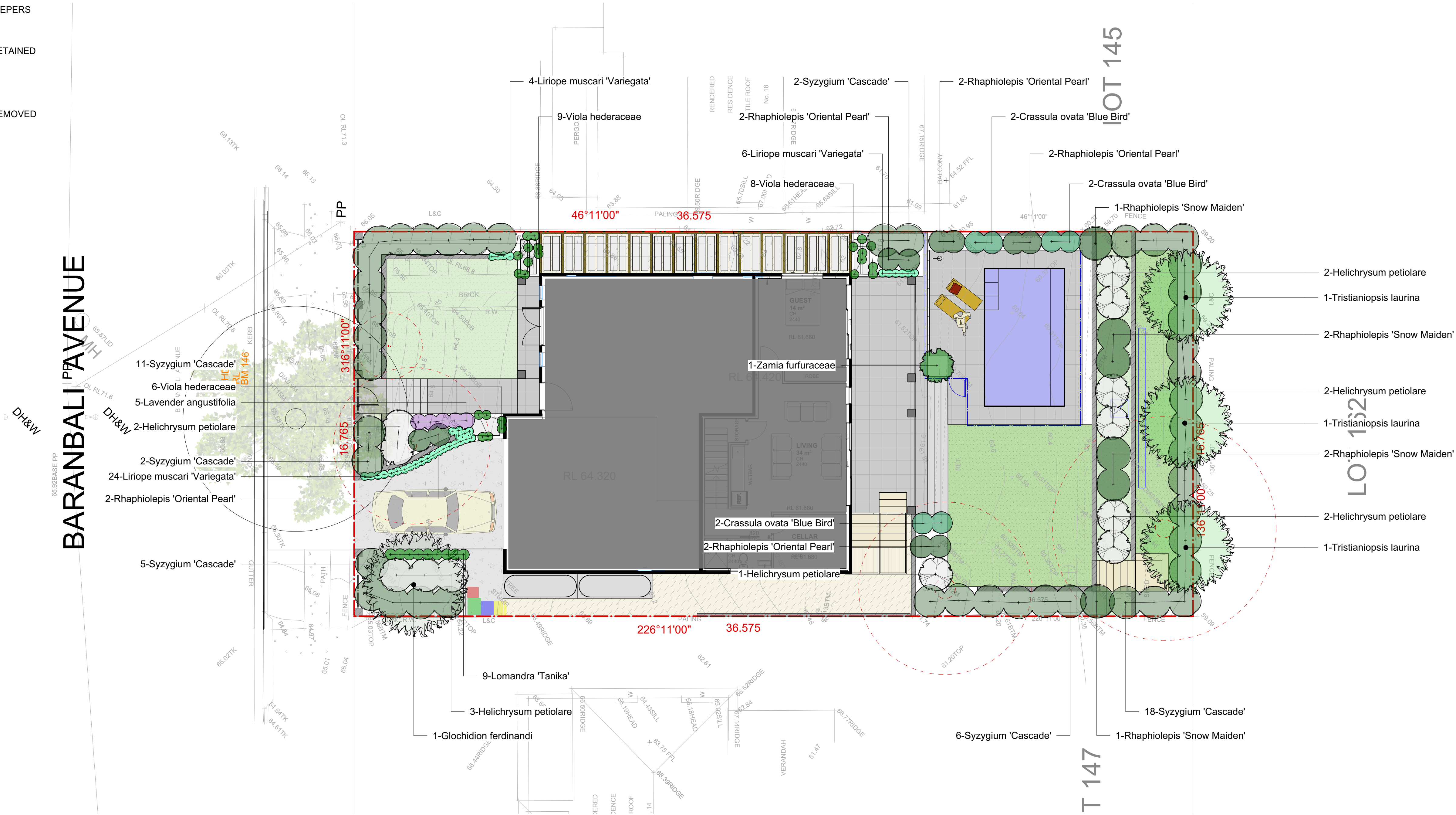
DATE:	01/12/2020	DRAWING POOL SECTIONS
SCALE:	1:50 @ A1 1:100 @ A3	DRAWING NO: C2
DRAWN:	LH	REV: A

LEGEND

- LAWN AREA
- PAVING
- CONCRETE
- GARDEN AREA
- DECORATIVE PEBBLES
- STEPPING SLEEPERS
- TREE TO BE RETAINED
- TREE TO BE REMOVED

PLANT SCHEDULE

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
Crassula ovata 'Blue Bird'	Crassula	6	200mm	1000	1000
Glochidion ferdinandi	Cheese Tree	1	45lt	4500	8000
Helichrysum petiolare	Licorice Plant	12	300mm	1500	1000
Lavender angustifolia	English Lavender	5	200mm	700	700
Liriope muscari 'Variegata'	Variegated Lillyturf	34	140mm	350	400
Lomandra 'Tanika'	Dwarf Lomandra	9	200mm	500	500
Rhaphiolepis 'Oriental Pearl'	Indian Hawthorn	10	200mm	1000	1000
Rhaphiolepis 'Snow Maiden'	Indian Hawthorn	6	300mm	1500	1500
Syzygium 'Cascade'	Dwarf Weeping Lillypilly	44	300mm	1500	3000
Tristaniopsis laurina	Water Gum	3	45lt	4000	7000
Viola hederaceae	Native Violets	23	tube	400	300
Zamia furfuraceae	Cardboard Plant	1	300mm	1500	1000



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
Gould Residence

16 Baranbali Street,
Seaforth, NSW 2092

BUILDER:
GJ Gardner

NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to and
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimentions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE REV. ISSUE
01/12/20 A

DATE: 01/12/2020

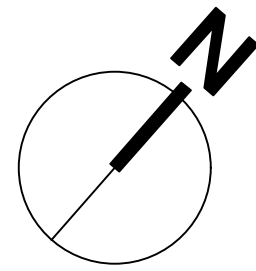
SCALE: 1:100 @ A1
1:200 @ A3

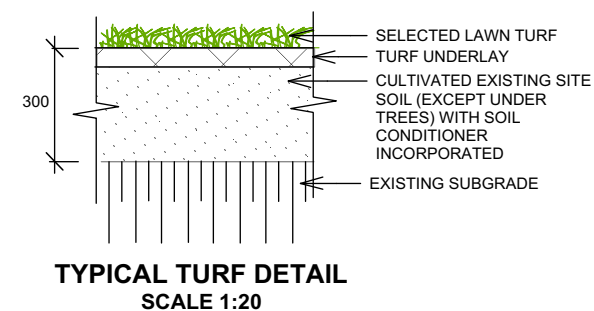
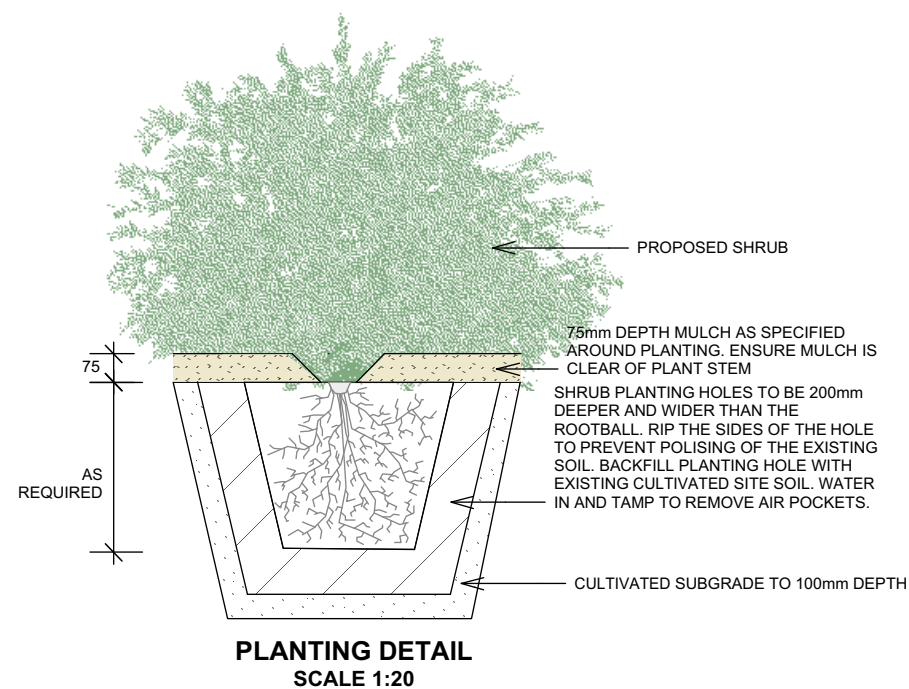
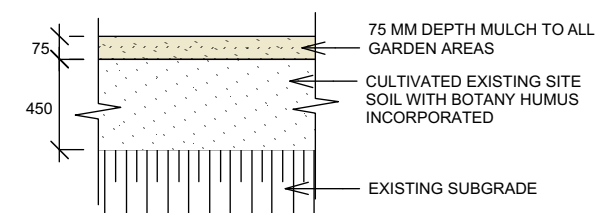
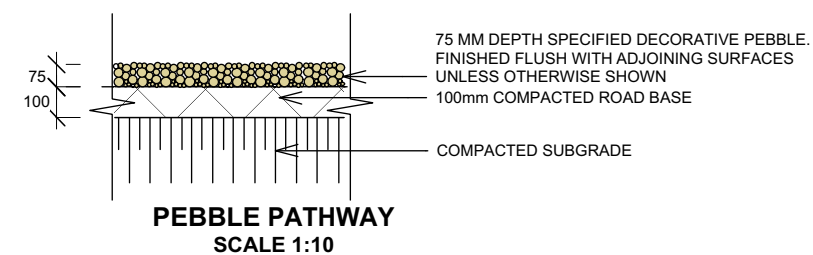
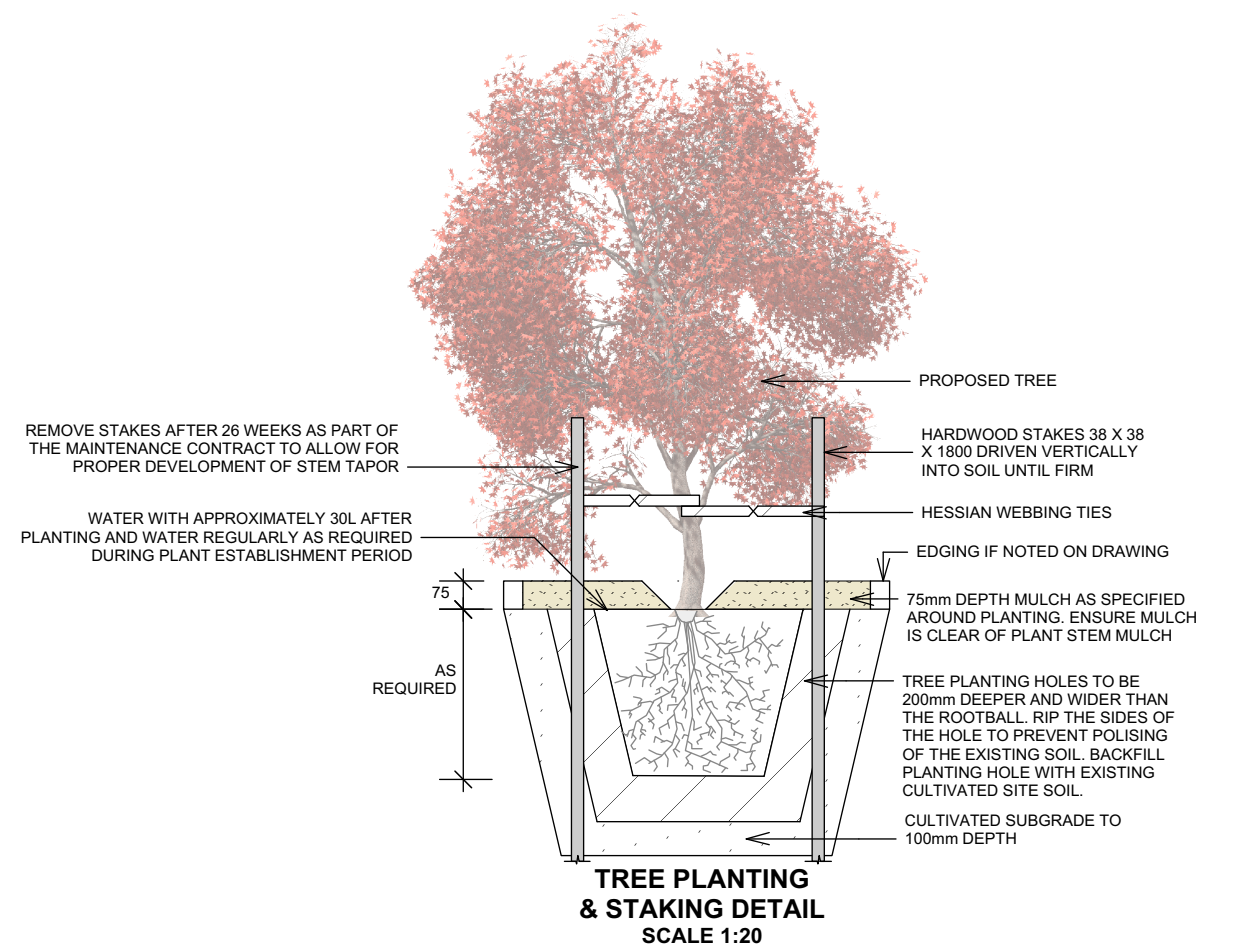
DRAWN: LH

DRAWING
PLANTING PLAN

DRAWING NO:
C3

REV:
A





LANDSCAPE SPECIFICATION

ALL LANDSCAPE WORKS SHALL BE EXECUTED BY A COMPETENT LANDSCAPE CONTRACTOR EXPERIENCED IN HORTICULTURAL PRACTICE AND LANDSCAPE CONSTRUCTION. THE CONTRACTOR SHALL HOLD A CURRENT NSW STRUCTURAL LANDSCAPE LICENSE OR BE A MEMBER OF THE NSW LANDSCAPE CONTRACTORS ASSOCIATION. IRRIGATION WORKS SHALL BE EXECUTED BY A CONTRACTOR SUITABLY QUALIFIED AND LICENSED BY THE NSW DEPARTMENT OF FAIR TRADING FOR URBAN IRRIGATION.

THESE GENERAL LANDSCAPE SPECIFICATIONS SHALL BE READ IN CONJUNCTION WITH DETAILED DOCUMENTATION PREPARED BY CONTOUR LANDSCAPE ARCHITECTURE, STRUCTURAL ENGINEERING PLANS, STORMWATER ENGINEER PLANS, ARCHITECTURAL DUCUMENTATION AND ALL D.A. CONSENT CONDITIONS.

LANDSCAPE HARDWORKS DEMOLITION, BULK EARTHWORKS, RETAINING WALLS, STONE FACING, PLANTER BOXES, PAVING, DRAINAGE, WATERPROOFING, FENCING AND ALL SITE CONSTRUCTION INDICATED SHALL BE EXECUTED IN ACCORDANCE WITH LANDSCAPE ARCHITECTURAL, ARCHITECTURAL + ENGINEERING SPECIFICATIONS LANDSCAPE WORKS SHALL GENERALLY BE UNDERTAKEN IN ACCORDANCE WITH DA APPROVED PLANS AND CONSTRUCTION CERTIFICATE PLANS AND DETAILS AND SHALL BE COMPLIANT WITH:

- AS4970-2009 Protection of trees on development sites
- AS 4970-2009/Amdt 1-2010 Protection of trees on development sites
- AS4373-2007 Pruning of amenity trees
- AS4419-2003 Soils for landscaping and garden use
- AS4454-2012 Composts, soil conditioners and mulches
- AS3743-2003 Potting mixes
- AS/NZ3500:2015 Plumbing and drainage Set

SERVICES
BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICES LINES AND ENSURE TREE PLANTING IS CARRIED OUT AT LEAST 3 METRES AWAY FROM THESE SERVICES. SERVICES LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOTE COVERED BY ANY LANDSCAPE FINISHES (TURNING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH PIT LIDS.

MANAGEMENT OF TREE PROTECTION (AS REQUIRED)
A QUALIFIED AND APPROVED ARBORIST IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING, AND TO UNDERTAKE SUCH MEASURES AS THEY DEEM APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

CARE SHALL BE TAKEN DURING THE ENTIRE PERIOD OF WORKS TO ENSURE NO DAMAGE TO ROOTS OR CANOPIES OF TREES TO BE RETAINED. NO STORING OF BUILDING MATERIALS, WASHING OF EQUIPMENT, DISPOSAL OF CHEMICALS, ETC. SHALL BE PERMITTED BENEATH CANOPY OF TREES TO BE RETAINED.. NO EXCAVATION OR TRENCHING SHOULD OCCUR BENEATH CANOPIES EXCEPT FOR COUNCIL-APPROVED WORKS. ALL EXCAVATION BENEATH TREE CANOPIES SHALL BE UNDERTAKEN TO COUNCIL / PROJECT ARBORIST INSTRUCTIONS. PROJECT ARBORIST SHALL BE ADVISED AND ATTEND SITE IF TREE ROOTS GREATER THAN 50MM DIAMETER ARE ENCOUNTERED.

PREPARATION BY BUILDER
BUILDER SHALL REMOVE ALL EXISTING CONCRETE PATHWAYS, FENCES, FOOTINGS, WALLS, ETC. NOT NOTATED TO BE RETAINED AND COMPLETE ALL NECESSARY EXCAVATION WORK PRIOR TO COMMENCEMENT ON SITE BY LANDSCAPE CONTRACTOR. BUILDER SHALL ALSO INSTALL NEW RETAINING WALLS, KERBS, LAYBACK KERB, CROSSOVER, PATHWAYS, ETC. AND MAKE GOOD ALL EXISTING KERBS, GUTTERS, ETC. AS NECESSARY AND TO APPROVAL OF COUNCIL. BUILDER SHALL ENSURE THAT A MINIMUM 600MM OF TOPSOIL IN GARDEN AREA AND A MINIMUM 150MM OF TOPSOIL IN LAWN AREAS EXISTS. SHOULD REQUIRED DEPTHS NOT EXIST BUILDER SHALL CONTACT LANDSCAPE ARCHITECT AND ASK FOR INSTRUCTIONS PRIOR TO COMPLETION OF EXCAVATION WORKS.

ALL LEVELS AND SURFACE DRAINAGE SHALL BE DETERMINED BY OTHERS AND APPROVED ON SITE BY LANDSCAPE CONTRACTOR.

SOIL PREPARATION + PLANTING SOILS
CULTIVATE TO A DEPTH OF 450MM ALL PROPOSED GARDEN AREAS AND 300mm FOR ALL LAWN AREA. DO NOT CULTIVATE BENEATH EXISTING TREES TO BE RETAINED. IN AREAS WHERE FILL IS REQUIRED GAIN REQUIRED SHAPES AND LEVELS USING A PREMIUM GRADE SOIL MIX. IN AREAS WHERE EXCAVATION IS REQUIRED (IF IN CLAY) OVER EXCAVATE AS REQUIRED TO ALLOW FOR INSTALLATION OF 600MM DEPTH OF PREMIUM GRADE TOPSOIL MIX TO GARDEN AREAS AND 300M DEPTH OF PREMIUM GRADE TOPSOIL MIX TO LAWN AREAS.

SUBGRADE PREPARATION
BEFORE LAYING TOPSOIL, THE FOLLOWING SUBGRADE TREATMENT MUST BE APPLIED TO ALL FINISHED SUBGRADE AREAS:
1. FAIR + TRIM TO RELATIVE LEVEL TO ACCOMMODATE REQUIRE OVERALL SOIL DEPTH
2.REMOVE ROCK >100mm DIAMETER
3. REMOVE RUBBISH SUCH AS CONSTRUCTION GENERATED WASTER, PLASTICS, METALS, GLASS
4. APPLY GYPSUM AND LIME AT MANUFACTURER'S RECOMMENDED RATES
5. LOOSEN SUBGRADE TO 200mm DEPTH LEAVING SURFACE 'KEYED' TO ACCEPT TOPSOIL

CONTRACTOR SHALL UNDERTAKE PH TESTS AND ADJUST WHERE NECESSARY TO ACHIEVE A PH WITHIN THE 5.5 - 7.5 RANGE. MIX IN GYPSUM AT MANUFACTURER'S RECOMMENDED RATES IF CLAY SOIL ENCOUNTERED.

UNDERTAKE ALL REQUIRED ACTION TO ENSURE THAT NO ROOTBALLS OF PROPOSED PLANTS SIT IN CLAY WELLS AND THAT ALL GARDEN AREAS AND LAWN AREAS DRAIN SATISFACTORILY. NOTE IT IS INTENDED THAT WHEREVER POSSIBLE EXISTING LEVELS SHALL NOT BE ALTERED THROUGH GARDEN AND LAWN AREAS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE END RESULT OF THE PROJECT IS THAT ALL LAWN AND GARDEN AREAS DRAIN SUFFICIENTLY (BOTH SURFACE AND SUBSTRATE), ARE AT REQUIRED FINISH LEVELS AND HAVE SUFFICIENT SOIL DEPTHS TO ENABLE LAWN AND PLANTS TO THRIVE AND GROW. SHOULD ALTERNATIVE WORKS TO THOSE SPECIFIED REQUIRED TO ACHIEVE THAT RESULT, CONTRACTOR SHALL INFORM BUILDER AT TIME OF TENDER AND REQUEST INSTRUCTIONS.

PLANTING
ALL PLANTS SHALL BE WELL GROWN AND DISEASE FREE. PLANTING SHALL BE IN ACCORDANCE WITH PLANTING SCHEDULE. TREES SHALL BE GROWN TO NATSPEC. GENERAL PLANT MATERIAL (EXOTICS AND ENDEMIC) SUPPLY PLANTS IN ACCORDANCE WITH PLANTING SCHEDULE. NO SUBSTITUTIONS ARE PERMITTED WITHOUT THE CONSENT OF THE SUPERVISING LANDSCAPE ARCHITECT. PLANT MATERIAL SHALL BE GROWN TO NATSPEC AND SHALL BE VIGOROUS, WELL ESTABLISHED, FREE OF DISEASE AND PESTS, HARDENED OFF, TRUE TO FORM, AND GROWN IN THEIR FINAL CONTAINERS FOR NOT LESS THAN 12 WEEKS. TREES SHALL HAVE A SINGLE LEADING SHOOT AND POTS FREE FROM WEEDS.

IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING.

PLANT HOLES SHALL BE DUG APPROXIMATELY TWICE THE WIDTH AND TO 100MM DEEPER THAN PLANT ROOTBALLS THAT THEY ARE TO RECEIVE. BASE AND SIDES OF HOLE SHALL BE FURTHER LOOSENED. FERTILISER, FOLLOWED BY 100MM DEPTH OF TOPSOIL MIX SHALL THEN BE PLACED INTO BASE OF HOLE AND LIGHTLY CONSOLIDATED. BASE OF HOLE SHALL THEN BE WATERED. REMOVE PLANT CONTAINER AND INSTALL PLANT INTO HOLE. ROOTBALL SHALL BE BACKFILLED WITH SURROUNDING TOPSOIL AND TOPSOIL FIRMED INTO PLACE. AN APPROVED SHALLOW DISH SHALL BE FORCED TO CONTAIN WATER AROUND BASE OF STEM. BASE OF STEM OF PLANT SHALL FINISH FLUSH WITH FINISHED SOIL LEVEL. ONCE INSTALLED PLANT SHALL BE THOROUGHLY WATERED AND MAINTAINED FOR THE DURATION OF THE CONTRACT.

STAKES + TIES
THE LANDSCAPE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

STAKES SHALL BE STRAIGHT HARDWOOD, FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO THE SIZE OF PLANTS TO BE STAKED:

- 1. 5-15 LITRE SIZE PLANT 1X 1200 X 25 X 25MM
- 2. 35-75 LITRE SIZE PLANT 2X 1500 X 38 X 38MM
- 3. 100+ LITRE SIZE PLANT 3X 1800 X 50 X 50MM

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH, AVOIDING DAMAGE TO THE ROOT SYSTEM, ON THE WINDWARD SIDE OF THE PLANT.

FERTILIZER
AT PLANTING SPREAD SLOW RELEASE FERTILIZER AROUND DRIP LINE OF ALL PLANTS AT MANUFACTURER'S RECOMMENDED RATES
GENERAL APPLICATION:
EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - ALL PURPOSE NPK 19.4 : 1.6 : 6
NATIVE PLANTS: EQUAL TO OSMOCOTE PLUS TRACE ELEMENTS - NATIVE GARDENS NPK 17.9 : 0.8 : 7.3

COMPOST
SHALL BE WELL-ROTTED BEGETATIVE MATTER OR ANIMAL MANURE, OR OTHER APPROVED MATERIAL, FREE FROM HARMFUL CHEMICALS, GRASS AND WEEK GROWTH AND WITH NEUTRAL PH. PROVIDE A CERTIFICATE OF PROOF OF PH UPON REQUEST.

MULCH
ENSURE ALL MULCH IS FREE OF WEED SEED AND VEGETATIVE MATERIAL. PROVIDE SAMPLE OF MULCH FOR CLIENT APPROVAL PRIOR TO DELIVERY.

PLACE MULCH TO REQUIRED DEPTH, (REFER TO DRAWINGS) CLEAR OF PLANT STEMS, AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN AND TAMPED DOWN DURING INSTALLATION.

EDGING
EDGING SHALL BE INSTALLED AT THE JUNCTION OF LAWN AND GARDEN AREAS AS INDICATED ON DRAWINGS (REFER TO DETAIL) . EDGE SHALL BE FINISHED LEVEL WITH LAWN OR ADJOINING GRAVEL. EDGE

LAWN
TURF SHALL BE 'SIR WALTER' BUFFALO. TURF ROLLS SHALL BE A MINIMUM OF 25mm THICK SUPPLIED FROM A SPECIALIST GROWER OF CULTIVATED TURF. IT SHALL BE OF EVEN THICKNESS, FREE FROM WEEDS. TURF SHALL BE DELIVERED WITHIN 24HRS OF CUTTING AND LAID WITHIN 24 HRS OF DELIVERY. CONTRACTOR SHALL LAY CLOSE BUTTED IN STRETCHER PATTERN WITH STAGGERED JOINTS TO FINISH FLUSH WITH ADJOINING SURFACES AFTER TAMPING. LIGHTLY TAMP TO AN EVEN SURFACE IMMEDIATELY AFTER LAYING. DO NOT USE ROLLER. ENSURE TURF ROLLS ARE NOT ALLOWED TO DRY OUT AND WATER IMMEDIATELY AFTER LAYING AS NECESSARY TO ENSURE TOPSOIL IS KEPT MOIST TO 100mm DEPTH. PROTECT NEWLY LAID TURF FROM PEDESTRIAN AND VEHICULAR TRAFFIC UNTIL ESTABLISHED. FERTILISE WITHIN 2 WEEKS OF LAYING WITH AN APPROVED LAWN FERTILISER APPLIED TO MANUFACTURER'S RECOMMENDATIONS. APPLY ADDITIONAL FERTILISER AS REQUIRED TO MAINTAIN HEALTHY GROWTH. ONCE ESTABLISHED, MOW TO MAINTAIN GRASS HEIGHT BETWEEN 30-50mm.

AT SAME TIME MAKE GOOD ALL EXISTING LAWN AREAS USING SAME LAWN TYPE. LAWNS IN SHADE SHALL BE OVERSOWN WITH AN APPROVED SEED MIX. ALLOW TO RETRIM AND RETURF COUNCIL NATURE STRIP AS REQUIRED.

FENCING
(REFER TO DRAWINGS)

PAVING & CONCRETE WORKS
AREAS TO BE PAVED SHALL BE EXCAVATED OR FILLED TO ALLOW FOR INSTALLATION OF BEDDING MATERIALS. LEVELS AND FALLS SHALL BE AS PER PLAN. SURFACE DRAINAGE ON PAVING SHALL BE TOWARDS GRATED DRAINS INSTALLED BY BUILDER WITH ALL DRAINS CONNECTED TO STORMWATER SYSTEM.

IRRIGATION
(REFER TO DRAWINGS)

CONTOUR LANDSCAPE ARCHITECTURE PO Box 698 MONA VALE NSW 1660 Tel: 0434 500 705 - AIDLM	PROJECT	BUILDER:	NOTES	DATE	REV.	ISSUE	DATE:	01/12/2020	DRAWING
	Gould Residence	GJ Gardner	comply with building code of australia and all relevant australian standards all works shall be in accordance with development application and construction certificate conditions of consent all levels to ahd refer to survey information relating to existing site data verify all dimensions prior to works do not scale from drawings use figured dimentionis in preference to scaling refer all discrepancies to landscape architect for determination this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of contour landscape architects.	01/12/20	A				LANDSCAPE SPECIFICATIONS
	16 Baranbali Street, Seaforth, NSW 2092						SCALE:	N/A	DRAWING NO: C5
							DRAWN:	LH	REV: A