

Accredited Certifiers

Building peace of mind

DEVELOPMENT APPROVALS
CONSTRUCTION CERTIFICATES
STRATA CERTIFICATES
PRINCIPAL CERTIFYING AUTHORITY
FIRE SAFETY SOLUTIONS
COUNCIL MEDIATIONS & SOLUTIONS

REGISTRATION OF OCCUPATION CERTIFICATE WITH COUNCIL

Date: 9/11/07 (forwarded 2 days after determination) **Pages:** ____ Including this one.
To: Building and Development **From:** Michael Ludlow
Council: Pittwater Council **Company:** Accredited Certifiers
Fax: Fax 9970 7150 **Fax:** 02 8338 1971
Address: PO Box 882 Mona Vale 1660 **Phone:** 0404 879 835

DETAILS OF DEVELOPMENT

Full Property Address: 44 Hillcrest Ave Newport
Proposed works: 2 storey dwelling, Swimming pool
Type of work: Building work.
DA no/CDC No. N1204/99 **Determination date:** 3/3/00

PURPOSE OF THE DOCUMENTS

As the certifying authority for the above mentioned development, please register the following documents in accordance with the Environmental Planning and Assessment Regulation 2000 – Section 151:

1. The occupation certificate.
2. The records of inspections.
3. The application for the occupation certificate.
4. A copy of any compliance certificates and other documents relied upon to issue the occupation certificate.
5. Any required Council record keeping fee for the lodgement of the occupation certificate.

REQUEST FOR DISPUTE RESOLUTION:

We are committed to assisting Council with respect to the following:

- Following up on any neighbour concerns with respect to the building work.
- Follow up on any Council concerns.
- We would however, request that you kindly ignore vexatious concerns.

If any dispute arises as a result of the building work, kindly phone or fax the concern to 02 8338 1961. Importantly, please ensure you include the complainant's contact phone number, mobile, fax and any other contact information. We will do all we can, as the principal certifying authority, to resolve the issue.

2228179 530.00
13/11/07

Accredited Certifiers

Ref: 07/086

OCCUPATION CERTIFICATE

This certificate verifies that, if the applicant carries out the proposed work in accordance with the plans and specifications that are approved, the work will comply with the Environmental Planning and Assessment Regulation 2000.

Determination: Approved. ☒ ☐ Refused, for reasons attached. (tick as appropriate)

Type of Certificate: Final

DEVELOPMENT DETAILS

Full Address: 44 Hillcrest Ave Newport

Proposed works: 2 storey dwelling, Swimming pool

Type of work: Building work

Development
Consent No./CDC No. N1204/99

Determination date: 3/3/00

Construction
Certificate No./CDC No. 07/086

Class/s of building: 1a

DOCUMENTATION FORMING PART OF THE OCCUPATION CERTIFICATE

1. The records of Mandatory Inspections.
2. The application for the Occupation Certificate.
3. A copy of any Compliance Certificates and other documents relied upon to issue the Occupation Certificate.
4. Any required Council record keeping fee for the lodgement of the Occupation Certificate.

CERTIFICATE

I Michael Ludlow of Accredited Certifiers Pty Ltd, certify that:

1. Where an interim Occupation Certificate is being issued, the health and safety of the occupants of the building have been taken into consideration.
2. A development consent is in force with respect to the building.
3. A current construction certificate has been issued with respect to the plans and specifications for the building.
4. The building is suitable for occupation or use in accordance with its classification under the Building Code of Australia.

Certifying Authority: Michael Ludlow
Contact details: Phone: 02 8338 1961 Fax: 02 8338 1971
Address: PO Box 6397 ALEXANDRIA NSW 1435
Accreditation no: BPB 0236

Signature: ▶



Determination date: 9/11/07

Accredited Certifiers

Ref:

07/086

SCHEDULE OF MANDATORY INSTECTIONS

Full Property Address:	44 Hillcrest Ave Newport	Reference No:	07/086
------------------------	--------------------------	---------------	--------

MANDATORY INSPECTION	REQUIRED 2	Date of INSPECTION	INSPECTOR	ACCREDITATION NUMBER
Pre-commencement			John Briggs	3825
Foundations/footings			Rick Way	Certificate
Steel reinforcement			Rick Way	Certificate
Timber Frame			Rick Way	Certificate
Waterproofing of wet areas				Certificate
Hydraulics				
Final	X	23/10/07	Michael Ludlow	BPB 0236

Accredited Certifiers

Ref: 07/086

APPLICATION FOR OCCUPATION CERTIFICATE

To: Roy Jackson

Company:

Fax: 02 9999 3986

Phone: 02 9997 7509

mobile: 0408 798 682

From: Michael Ludlow

Company: Accredited Certifiers

Fax: 02 8338 1971

Phone: 02 8338 1961

Mobile: 0407 221 160

DETAILS OF DEVELOPMENT:

Full Property Address: 44 Hillcrest Ave Newport

Proposed works: 2 storey dwelling, Swimming pool

Type of work: Building work

Development

Consent No./CDC No. N1204/99

Determination date: 3/3/00

TYPE OF CERTIFICATE REQUIRED:

you want to occupy or use a new building, you need an occupation certificate to do so.
nominate which certificate you require:

☐ Interim occupation certificate:

We must be satisfied that the building is not a hazard to the health or safety of the occupants of the building.

☐ Final occupation certificate:

FINAL OCCUPATION CERTIFICATE REQUIREMENTS

Submit all supporting documents relating to the following, and then tick the left hand column when it has been complied with.

Tick when complied with:	We are also satisfied: ▼
☐ Mandatory inspections. (refer to schedule 1 of the principal certifying service agreement)	☒
☐ Compliance with the development consent and the conditions of development consent.	☒
☐ Compliance with the Building Code of Australia.	☒
☐ Adherence to the principal certifying authority service agreement.	☒
☐ Construction of the building work in accordance with the plans which relate to the construction certificate.	☒
☐ Where relevant, a BASIX certificate has been complied with.	☒
	☐ n/a

OF RECEIPT: (to be completed by us)

4/11/07



NSW GOVERNMENT
Building Professionals Board

Contact: Name: Suzie Jattan
Phone: 02 9895 7457
Fax: 02 9895 5918
Email: suzie.jattan@bpb.nsw.gov.au

Our ref: PCA N 15/07

Mr Roy James Jackson
P O Box 668
Mona Vale NSW 1660

Dear Mr Jackson

Subject: Proposed replacement of a principal certifying authority (PCA)

I acknowledge receipt of your notification under section 109EA (1) (b) of the Environmental Planning & Assessment Act 1979, received on 16th May 2007, to appoint **Mr Michael Ludlow** as the replacement PCA for **Mr John Briggs** for the following development:

Address:	No. 44 Hillcrest Avenue, Mona Vale NSW 2103
Description of work:	New two storey dwelling with swimming pool
Development Consent / CDC No:	N1420/00 and N0460/00
Issued on:	03/03/200 and 15/06/2000
Issued by:	Pittwater Council

Please note that you are also required to notify the relevant consent authority (and if the consent authority is not the council, the council) of the proposal to change the PCA before the replacement occurs in accordance with section 109EA (1) (b) of the Environmental Planning & Assessment Act 1979.

If you have any questions, please contact Ms Suzie Jattan on 9895 7457 during business hours.

Yours sincerely

A handwritten signature in black ink, appearing to read 'Neil Cocks'.

Neil Cocks
Director
Building Professionals Board

25/5/07



Structural Certificate

Date: 24th October 2007 Job No. 010413
Builder: Roy Jackson Engineer: LM

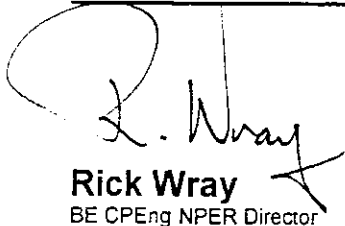
Site: 44 Hillcrest Avenue, Mona Vale

Northern Beaches Consulting Engineers P/L inspected the new residence at the above site during construction.

We hereby certify that the reinforcement to the footings, retaining walls, swimming pool, ground and first floor slabs and the roof framing have been constructed generally in accordance with the structural plans by Northern Beaches Consulting Engineers P/L (Job No: 010413), the site instructions issued during construction and the relevant Australian Standards.

We trust that this certificate meets with your requirements. Please contact the author if further clarification is required.

NORTHERN BEACHES CONSULTING ENGINEERS P/L



Rick Wray
BE CPEng NPER Director

NAENG NBC\2001\010413\SC001.doc

ABSTRACT

A.C.N. 002 991 666

ALUMINIUM AND GLAZING CO.

WETHERILL PARK NSW 2164
BOX 6973, WETHERILL PARK 2164

PHONE: 9725 2844
FAX: 9725 2507

24 October 2007

Mr R Jackson
PO Box 668
Mona Vale NSW 2103

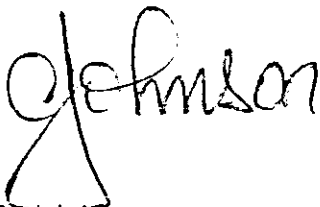
GLAZING CERTIFICATE

Dear Sir

Re: 44 Hillcrest Avenue, Mona Vale

This is to certify that all glass and glazing work carried out to date on the above project by our Company, is in accordance with the Australian Standards AS1288-1994.

Yours faithfully



Carl Johnson
Manager

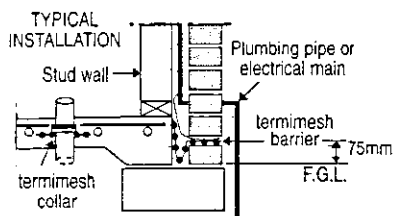
SPECIALISTS IN ALL TYPES OF COMMERCIAL ALUMINIUM GLAZING
ALL MATERIALS REMAIN THE PROPERTY OF ABSTRACT ALUMINIUM AND GLAZING CO. UNTIL FINAL PAYMENT

TERMITE PROTECTION NOTICE —NON CHEMICAL METHOD*

termimesh
system



This building has been constructed with a stainless steel mesh barrier which restricts termites from accessing timbers in accordance with AS 3660.1 as follows:



An inspection of these barriers and the subfloor area for termite activity after 3 months from the completion of the building and then at regular intervals not exceeding 12 months is highly recommended. (North of Tropic of Capricorn 3 to 6 months).

* This notice is required as part of the Building Code of Australia for termite control and should be placed in the electrical meter box.

Service Penetrations ☒ Control Joints ☒

Perimeter ☒

PLEASE NOTE:

1. Any service installed in the building after the termimesh installation must enter above the barrier.
2. External ground level including gardens, paving, paths etc, must be at least 75mm below the barrier or more as determined by the local authority.
3. For slab on ground construction, the slab forms part of the barrier and must be constructed in accordance with AS 2870.
4. **DO NOT PENETRATE THE MESH IN ANY WAY!**
5. Enquiries to your local Service Centre.

Tel: 1800 632 111

Address

44 Hillcrest Road

Mong Vale

Installation Date

13/11/02

Registration No.

2144739

Inspection
Dates

1.	2.	3.	4.	5.	6.
7.	8.	9.	10.	11.	12.

MBS 102C 0600

Your Ref:
Our Ref: PC4739.WPSJN214/4739

19 October 2004

Roy Jackson
8 Princes Street
NEWPORT 2106

Certificate of Installation - AS 3660.1

This is to certify that following Termite Control Barrier has been installed by a person accredited under the Product to deter concealed entry by termites from the soil to the building above the Barrier, generally in accordance with Australian Standard AS 3660.1-2000 "Termite Management - Part 1: New Building Work" and to the following details;

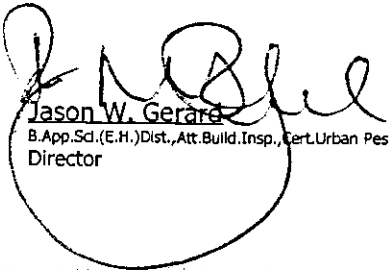
Date of Installation: 13 November 2002
Site Address: 44 Hillcrest Road MONA VALE
For: New residence
Owners: Jackson
Installation Details: Product Specifications (as listed below)
Standard Warranty (attached - 4 pages)

109B- Service penetrations x 6 through concrete slab only, combined with an exposed slab edge

Recommended Inspection Interval: 12 months (refer AS 3660.2)

Remarks: This Certificate is issued in recognition of the abovementioned stage of installation only. Further treatment of the building may be required to result in a complete and continuous Termite Barrier, to meet the requirements of AS 3660.1-2000. Termites are able to bridge barrier systems. Regular inspections must be conducted at recommended intervals to ensure maximum building protection.
Remaining protection to the building to be provided by other means to meet AS 3660.1-2000.

The entire perimeter of the monolithic slab being maintained exposed for a minimum of 75mm above finished ground level; vide Section 4.4 of AS 3660.1-2000. Due consideration shall be given to any thresholds or driveway slabs so as not to compromise the System.


Jason W. Gerard
B.App.Sci.(E.H.)Dist., Att. Build. Insp., Cert. Urban Pest Contrl.
Director

Dynamic Electrical Systems P/L

PO BOX 538 NEWPORT

NSW 2106

mobile < 0414 577 357
mail < desystems@iinet.net.au
FAX < 23113 505 589

October 22, 2007

Smoke Detector Certification

Job address: 44 HILLCREST AVENUE
MONA VALE
NSW 2103

Owners copy

This is to certify that the property as listed above has had 3 x BROOKS 12 volt hardwired / 9 volt battery back-up smoke detectors installed.

These detectors have been installed to the locations as specified in the electrical specifications.

The locations of the smoke detectors are

1. Basement / Garage.
2. Hallway outside Bed 2 & Bed 3.
3. Hallway outside Bed 1 & Study.

These detectors are interconnected to trigger each other if an alarm condition occurs.

Additionally these detectors notify the central alarm monitoring company and turn all bedroom and exit lighting on if an alarm is triggered.

These detectors have been supplied new, installed correctly & comply with AS3786.

Commissioning & testing of the smoke detectors was carried out on the 11th December, 2006.

ALL detectors tested OK.

Smoke detectors require regular maintenance. In residential premises the test button should be tested monthly & batteries changed every 12 months.

It is recommended to use Energizer or Duracell 9 volt replacement batteries. (Do not use cheap replacement batteries)

Tested by,

Mark Cormack Electrical licence no.77116C

BARRENJOEY WATERPROOFING SERVICES

Mobile 0401032084 Phn/Fax 99183742

DA No.....

CC No.....

In all correspondence,
please quote this/these
numbers.

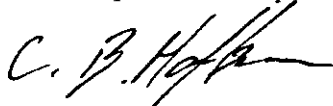
WA – I
COMPONENT CERTIFICATE
for
COMPLETION OF “WET AREAS”

Property...47 Hillcrest Avenue...Newport 2106
.....DA No.....

I Christopher Hopkins of Barrenjoey Waterproofing Services being
a qualified Waterproofer, my qualifications being Lic No. 128851c,

hereby certify that the works have been inspected and have been
completed in accordance with the appropriate standards and conditions
of Development Consent.

Further, I am appropriately qualified and experienced to provide the
certification for this project.

 18 August 2005

Four internal wet areas. Three external wet areas. Decks.

.....
Council Use Only

Records Officer: Received by Date.....
And placed on file.

Eclipse Landscapes PTY LTD

18 October 2007

Wade Chick
798 Barrenjoey Rd
Palm Beach 2108
Phone 9974 2590
Fax 9974 2591
Mobile 0411 821 806
Lic 128355C
A.C.N. 093339505
A.B.N. 42093339505

Re: 44 Hillcrest Avenue Mona Vale

Planting and turfing is in accordance with original landscape plans and satisfies council requirements.

A handwritten signature in black ink, appearing to read 'Wade Chick', with a stylized, flowing script.

Wade Chick
Horticulturist (Horticulture certificate 1991)

PAUL KEEN & COMPANY

LAND & ENGINEERING SURVEYORS
P. KEEN (REG'D SURV. M.I.S. AUST.)

P.O. BOX 175,
138 WALLUMATTA ROAD,
NEWPORT 2106.

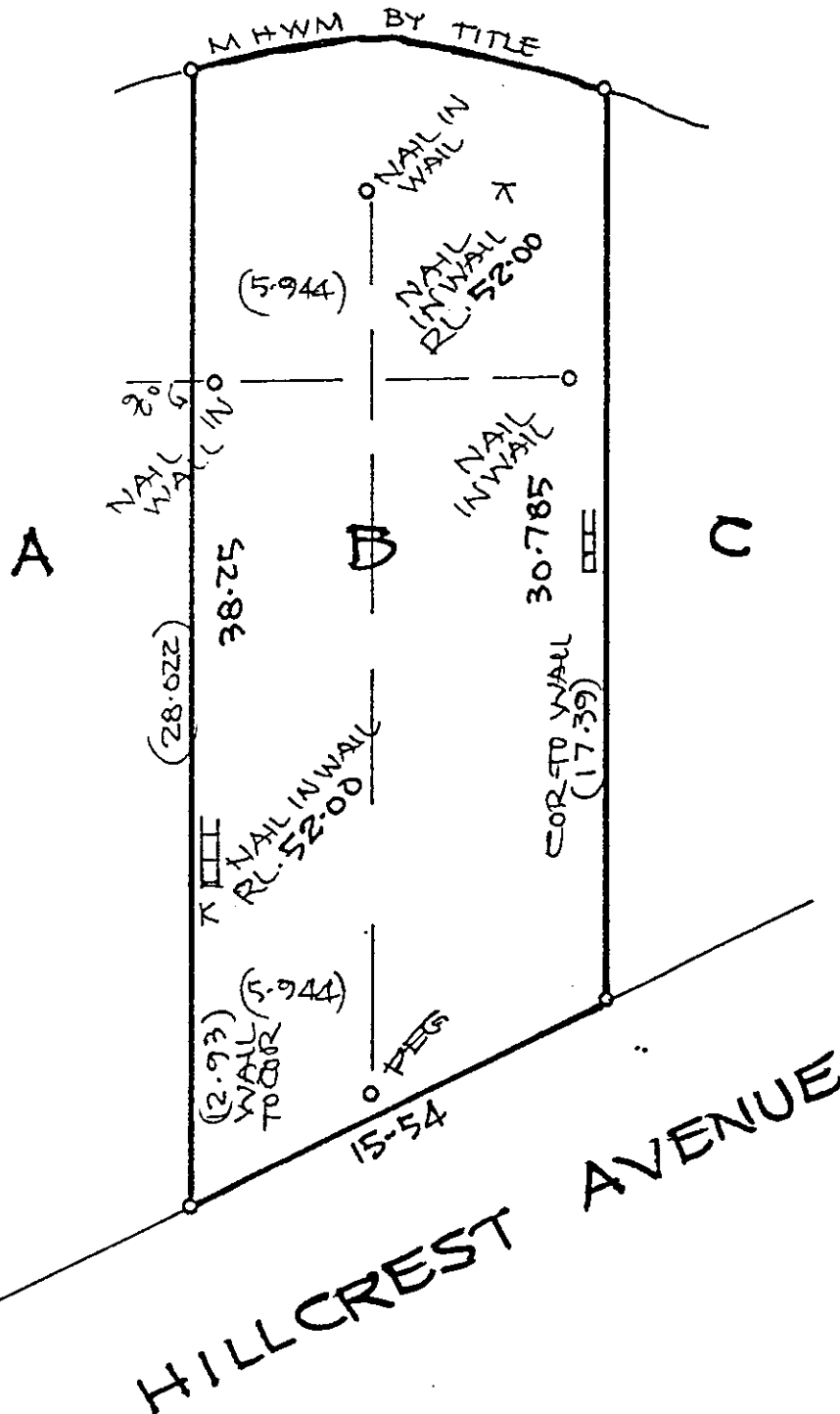
TEL: 9997 3088 • 9997 3427
FAX: 9997 8991
DX 9038, MONA VALE.

DATE: 26th March 02
REF: 7598

SKETCH SHOWING MARKS PLACED
FOR PROPOSED BUILDING
44 HILLCREST AVE,
MONA VALE.

PACIFIC OCEAN

Paul Keen.



PAUL KEEN & COMPANY

LAND & ENGINEERING SURVEYORS
P. KEEN (REG'D SURV. M.I.S. AUST.)

P.O. BOX 175,
138 WALLUMATTA ROAD,
NEWPORT 2106.

TEL: 9997 3088 • 9997 3427
FAX: 9997 8991
DX 9038, MONA VALE.

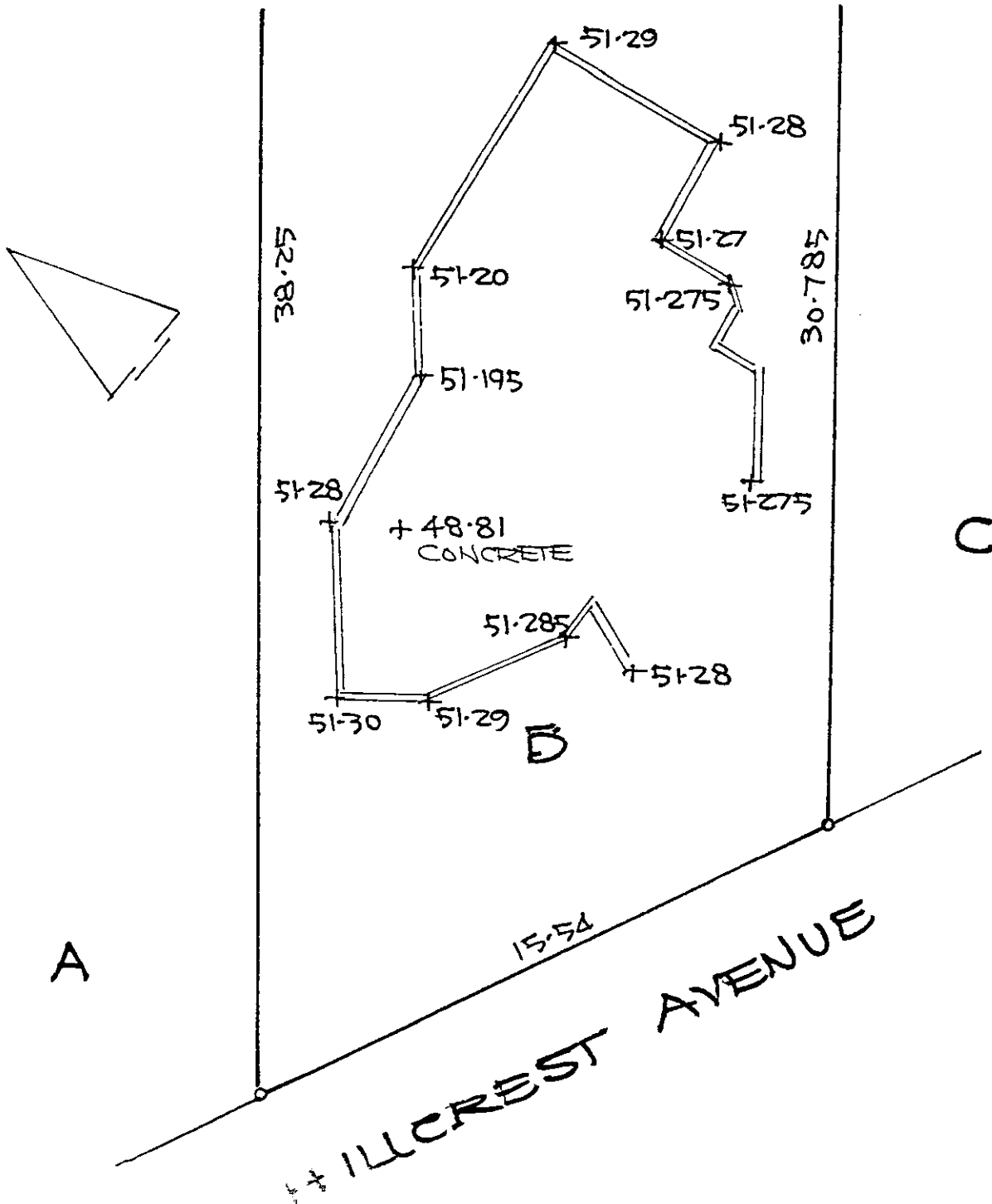
SURVEY REPORT

DATE: 18th Oct 02
REF: 7598D

SKETCH SHOWING MARKS PLACED
FOR PROPOSED BUILDING
NO.44 HILLCREST AVENUE, MONA VALE.

Paul Keen.

+ DENOTES LEVEL ON
TOP OF WALL



LAND & ENGINEERING SURVEYORS
P. KEEN (REG'D SURV. M.I.S. AUST.)

P.O. BOX 175,
138 WALLUMATTA ROAD,
NEWPORT 2106.

FAX: 9997 8991

DX 9038, MONA VALE.

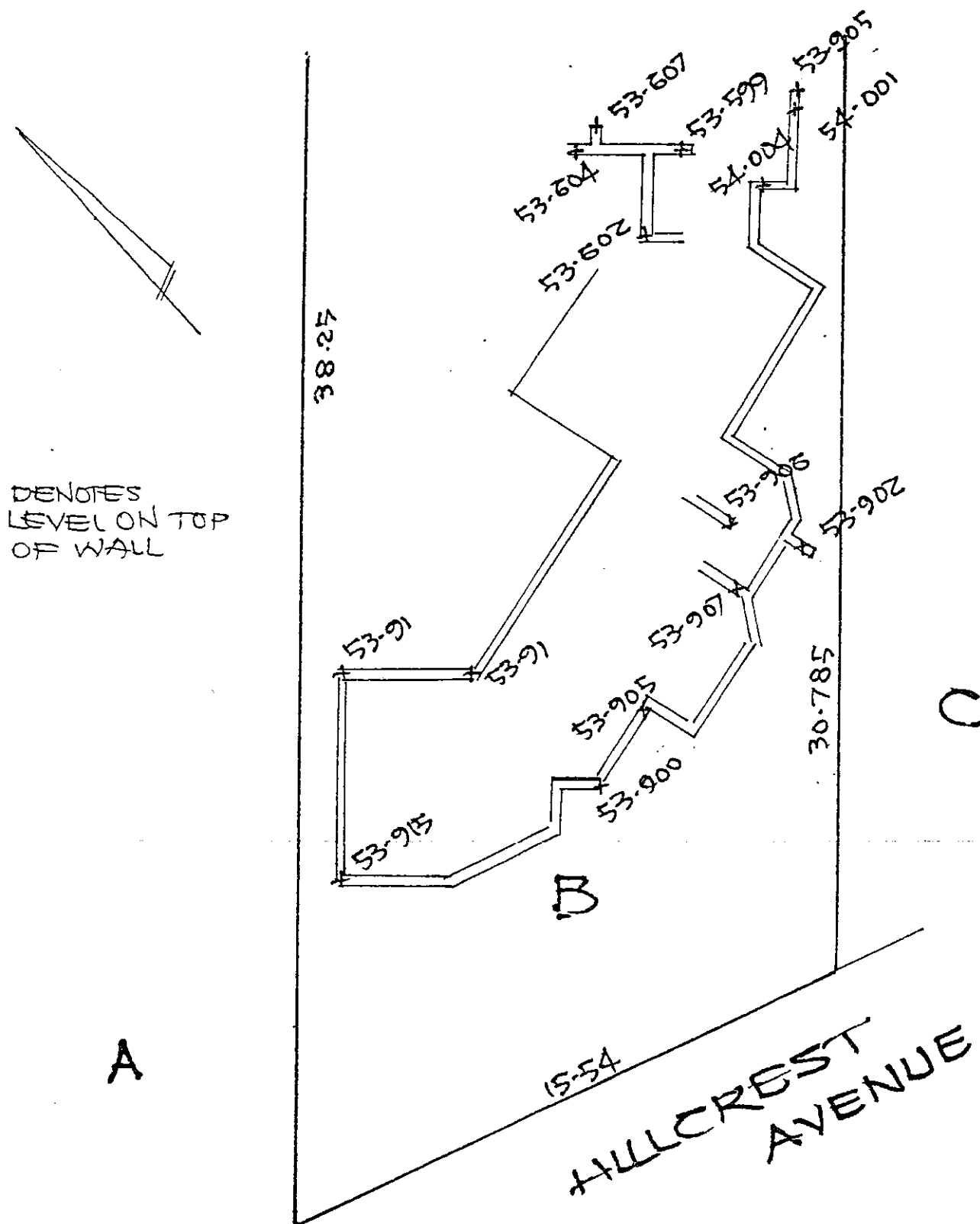
DATE: 6th.Feb.03

REF: 7598

REF:

SKETCH SHOWING LEVELS ON
TOP OF WALLS
NO.44 HILLCREST AVENUE,
MONA VALE.

~~Paul Keen.~~



PAUL KEEN & COMPANY

LAND & ENGINEERING SURVEYORS

P.KEEN (REG'D SURV. M.I.S.AUST.)

TEL: 9997-3088

FAX: 9997-8991

DX 9038, MONA VALE.

E-MAIL: paulkeen@ihug.com.au

SURVEY REPORT

P.O.BOX 175

138 WALLUMATTA ROAD,
NEWPORT 2106.

DATE: 29th June 04

REF: 7598

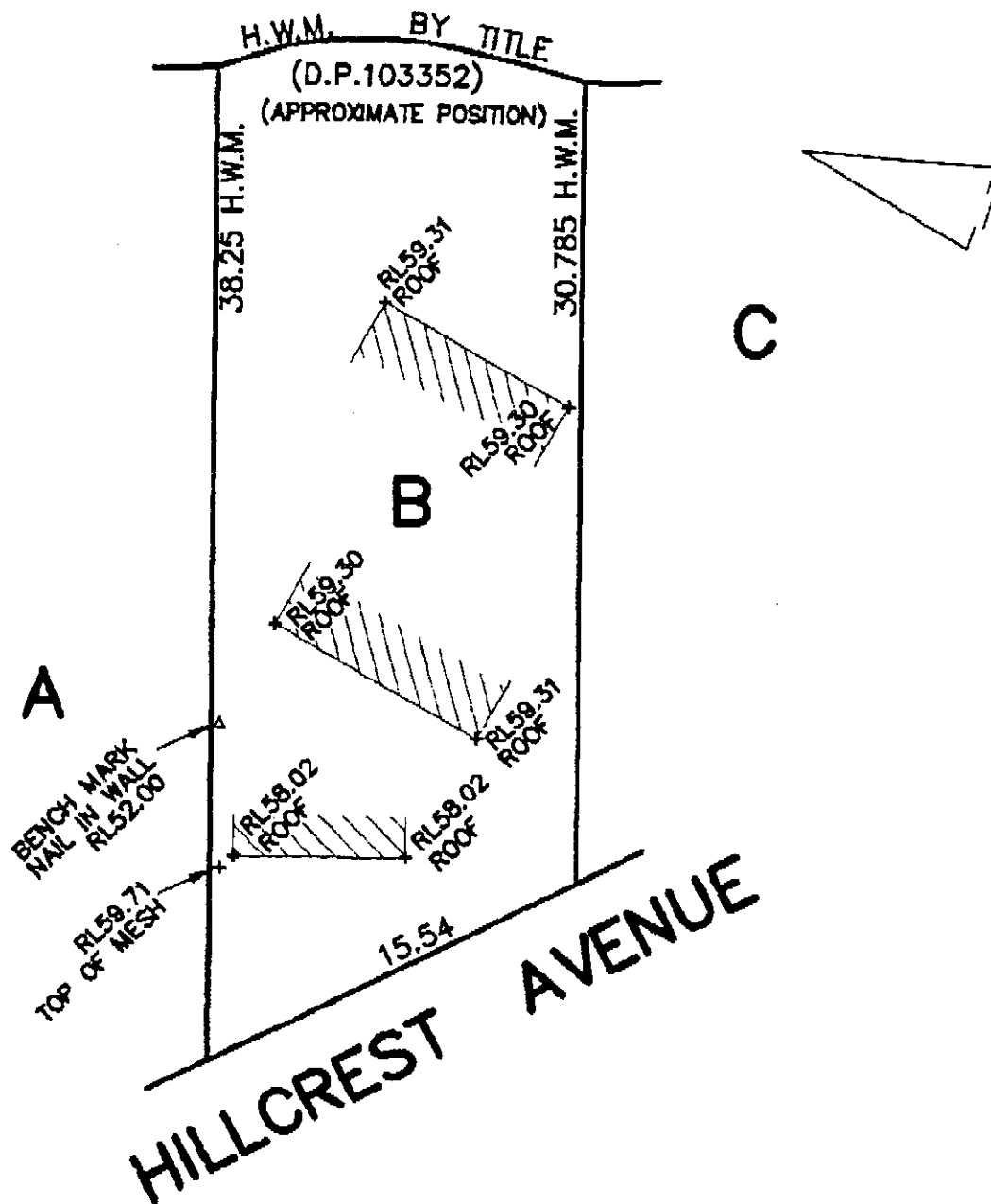
SKETCH SHOWING FINISHED ROOF LEVELS.

No.44 HILLCREST AVENUE, MONA VALE.


Paul Keen

SOUTH PACIFIC OCEAN

S





DIRECTORS

JOB No.

INSTRUCTION

PROJECT ADDRESS 44 Hillwest Rd Mora Vale
ORDER RJ ENGINEER LM DATE 27/5/03

ITEMS INSPECTED

ITEMS APPROVED

Top Floor reo, Yes

REMARKS:

- ① Ensure cover as spec
note external areas 45mm for 40MPa
- ② Add 2-7/12 e 400 cts (running N-S)
over centre beam to aid cantilever
balcony.
- ③ Remove all debris from formwork

SIGNED _____
(FOR BUILDER)

SIGNED _____
(FOR NBC)

ABC Consulting Pty Ltd is a registered company in NSW, Australia. ABC Consulting Pty Ltd is a registered company in NSW, Australia.



JOB No.

INSTRUCTION

PROJECT ADDRESS 44 Hillcrest Rd Mona Vale
INSPECTOR Ray Jackson ENGINEER LM DATE 10/3/03

ITEMS INSPECTED

ITEMS APPROVED

Stair
level ① reo

Yes

REMARKS:

- ① Ensure cover as spec
external 45mm $f'c = 40 \text{ MPa}$
- ② Remove debris from formwork
- ③ Add 3Y12 top & bottom
between column & brick at top
of stair

(FOR BUILDER)

SIGNED

(FOR NBC)

JOB No.

E INSTRUCTION

JECT ADDRESS

DER

ENGINEER

DATE

ITEMS INSPECTED

ITEMS APPROVED

Pool Reo

See Below

MENTS:

- 1) Ensure cover as required
45mm external $f_c = 40 \text{ MPa}$
65mm ?? internal
- 2) Remove all debris from formwork
- 3) Add $\frac{1}{2}$ / $\frac{1}{2}$ e300 bottom
to lower / step down / thicker
slab section.
- 4) Add 2 $\frac{1}{2}$ (each direction) over column.

ED

(FOR BUILDER)

SIGNED

(FOR NBC)



BULLOCK

MFG. PTY. LTD.

email: bullock_mfg@bigpond.com

ABN 59 001 199 677
A.C.N. 001 199 677
INCORPORATED IN N.S.W.

REF NO. *SK1 to 5*

22 PIKE STREET, RYDALMERE, N.S.W. 2116 TELEPHONE: 61 2 9684 1311
P.O. BOX 295, RYDALMERE BC NSW 1701 61 2 9638 5766
AUSTRALIA FAX: 61 2 9684 2250

TO *LUCAS MALLOY*

DATE *MARCH 1ST*

COMPANY *N.B. CONSULTING*

TOTAL PAGES *SIX*

(Incl. this one)

FROM *ROY JACKSON*

SHOULD YOU NOT RECEIVE ALL PAGES

PLEASE INFORM US IMMEDIATELY

MESSAGE: *JACKSON HOUSE - YOUR REF 010413*

=====

*DRAWINGS ATTACHED REVISED POOL
LAYOUT TO PROVIDE REQUIRED
PLUMBING SERVICES*

*CAN POOL SUPPORT SIDE OF
BALCONY SLAB AND SIDE OF IBM5
ON YOUR DRG 010413 - S10 ?*

CAN IBM5 BE DELETED ?

*WALL BETWEEN W.C. AND LAUNDRY
CAN BE THICKENED BY INCREASED
POOL LENGTH AND REDUCE STAIRCASE
WIDTH.*

*TAPER ON BEAM END SK3 REQUIRED
TO PROVIDE 2100 OVER STEPS UNLESS
THRESHHOLD STEP AT LAUNDRY DOOR
TO YARD IS SUFFICIENT.*

*ORIGINAL DRAWINGS HAD BEAM AS
HEAD BASHER !*

MANUFACTURERS OF FIRE DAMPERS, VOLUME DAMPERS, ACCESS DOORS
AND HARDWARE FOR THE AIR CONDITIONING INDUSTRY
AUSTRALIAN REPRESENTATIVES FOR:

ENGEL
INDUSTRIES

**DURO
DYNE**

**Northern Beaches Consulting Engineers P/L**

Structural, Civil and Stormwater Engineers
Suite 207
30 Fisher Rd
Dee Why NSW 2099

ACN - 076 121 616 ABN 24 076 121 616
Phone : 9984 7000
Facsimile: 9984 7444
E-mail: nb@nbconsulting.com.au

Directors: R. G. Why MBEA BE (Civl), S. D. McGee MBEA BE (Civl)

Facsimile Transmission

To: Roy Jackson

Date: 5/2/03

Cc:

Cc:

Company:

Fax No: 9999 3986

From: Lucas Molloy

Total pages: (2)

Re: 44 Hillcrest Rd Newport

Job No: 010413

Message:

Pool Reo

Basically the reo is the same as that detailed earlier (ie S18-S20). Though we need to double up the S bars running across the pool between the glass panels.

The installation of the glass panels is a little out of my area of expertise. I would suggest you discuss this with your pool consultant / glass manufacturer.

Yours Sincerely

NB CONSULTING ENGINEERS PTY LTD

The beam over the column maybe be cut out & the ends though the top reo must run through.

Per
Lucas Molloy
BE(Civil), MBEAust

8 Princes Street,
NEWPORT. NSW. 2106.

21st January 2003

Northern Beaches Consulting
Engineers Pty Ltd,
Suite 207,
30 Fisher Road,
DEE WHY. NSW. 2099.

Attention: Mr. Lucas Malloy

Re: 44 Hillcrest Avenue, Mona Vale
Job No. 010413

Lucas,

I have enclosed two copies of Drawings SK1 to SK6, which details the revised swimming pool construction and would appreciate your revised sketches regarding steel reinforcement previously detailed on your Drawing No's. S18 and S21.

In addition I have no detail of how you would require the glass panels to be mounted in the base of the pool or the glass panel specification.

Further to the above I have included two copies of Drawings WD3A, WD3B, WD3G, WD3J, WD3K, WD3L, WD4A, WD4B and WD4C, showing the revised construction of the ground floor walls and details of the stair mezzanine level which now require your review of steel reinforcement detailed on your Drawing No's. S10 and S12.

Since I will be overseas until February 3rd and have requested Mick Russell of JKB Constructions to contact you at the end of this week as he will require this information to order the necessary steel for construction.

I have forwarded a copy of this letter and drawings to JKB Constructions and their contact phone numbers are 9826-0663 or Mobile 0407-003850

I thank you in advance for your assistance and trust this information can be made available within the next few days.

Yours sincerely,



R.J. JACKSON.

Encl:-

c.c. Mick Russell
JKB Constructions

MEETING ENC 6TH FEB 2003

ORC WD4A

SECTION 1
WD4C

INCLUDE 3-Y12 TOP & BOT.
OVER COLUMNS

2)

230 WIRE O'HANG FOR UPSTAIRS
BATHROOM NONE EXTRA REQD

3) SECTION 4
WD4C

18M 9 HAS 75 MM O'HANG
INCLUDE STEEL SUPPORT BY
EXTENDING BOTTOM Y12 REQD
ORC WD4C SECTION 4

10) SECTION 9
WD4C

NO STARTER BARS REQD.

11) SECTION 5
WD4C

SLIP JOINT REQD YES
EXPANSION JOINT REQD YES.

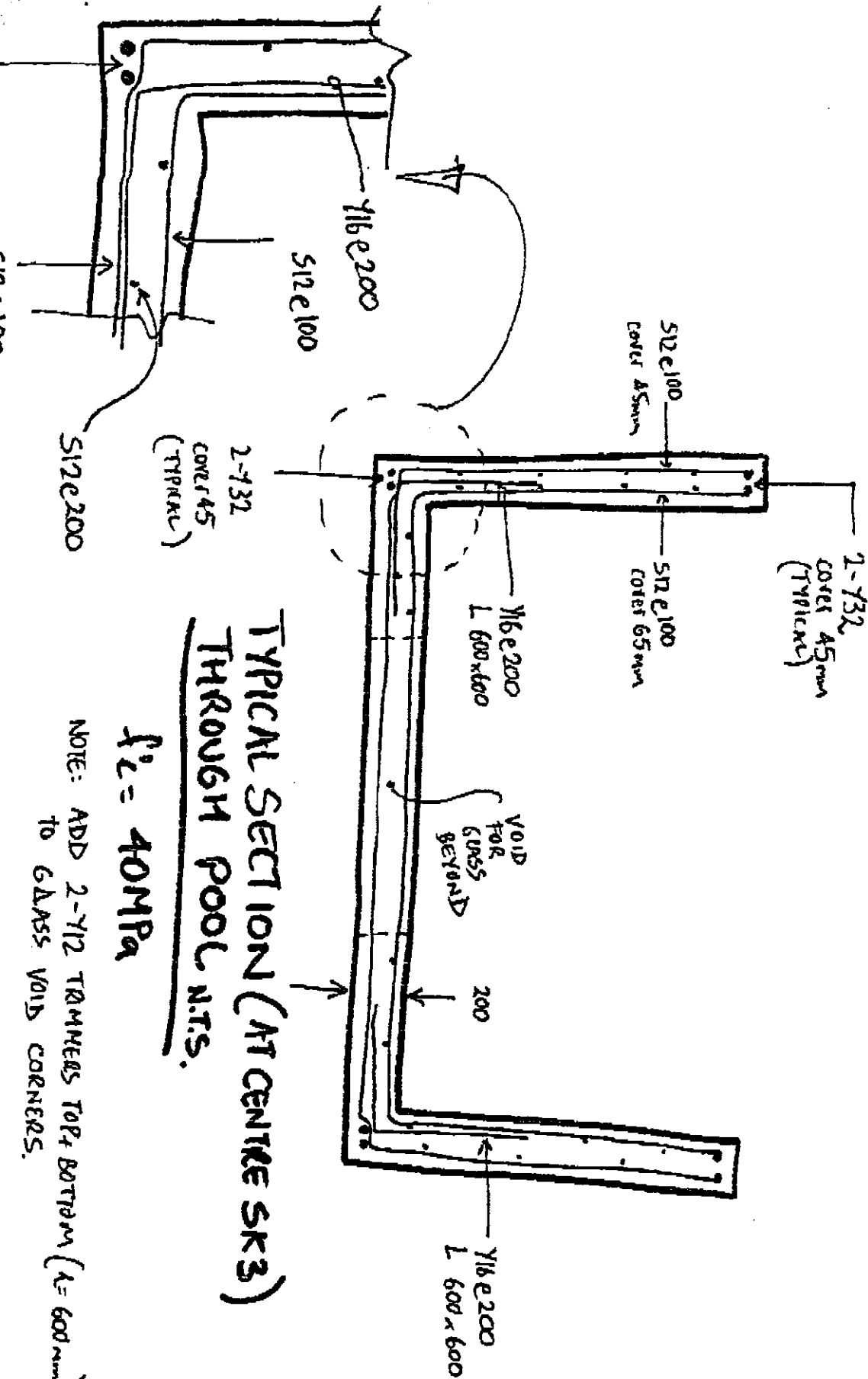
SWIMMING POOL

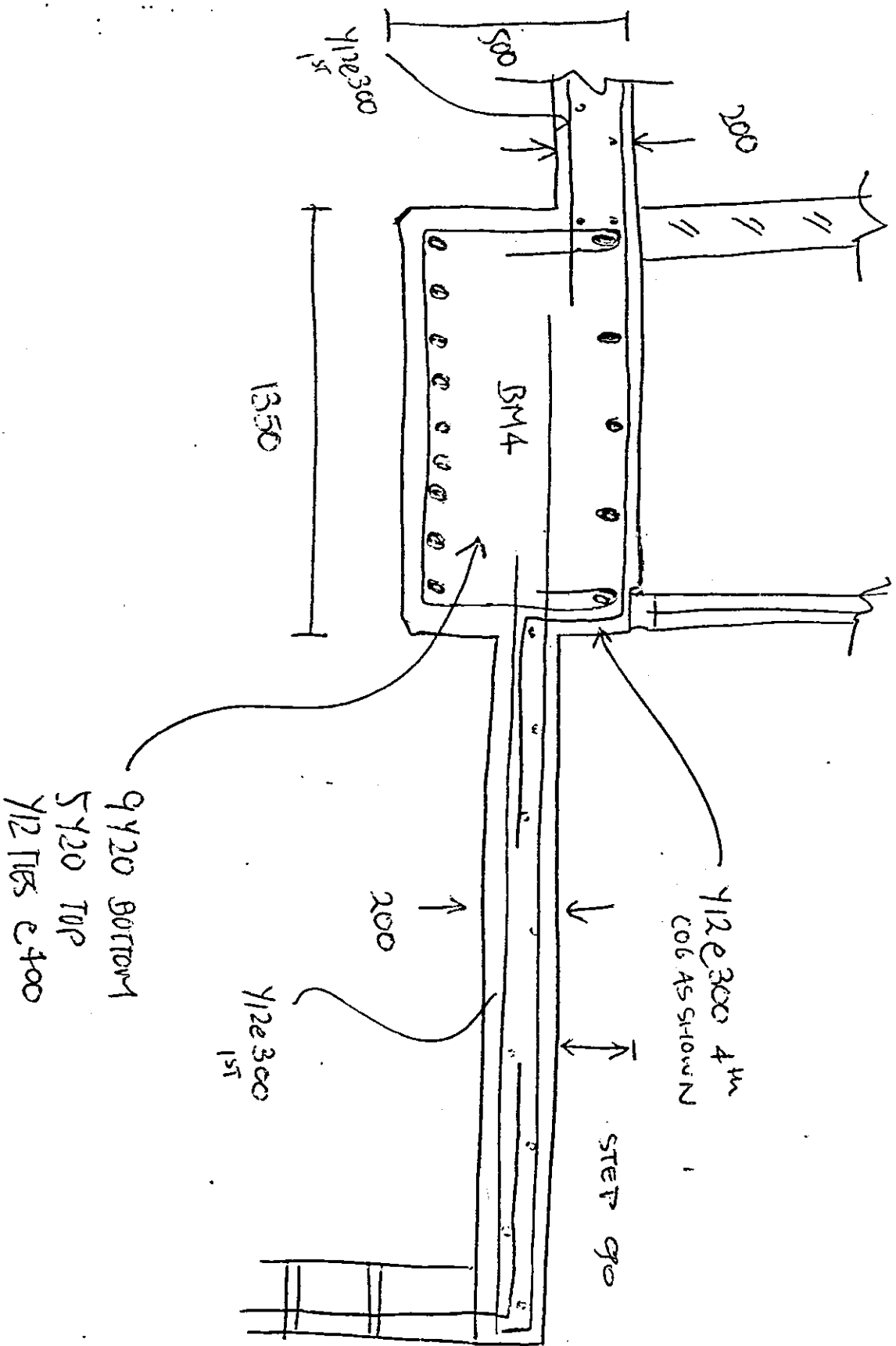
12)

2-Y32 BARS TOP & BOTTOM
END AT POOL ENDS.

13)

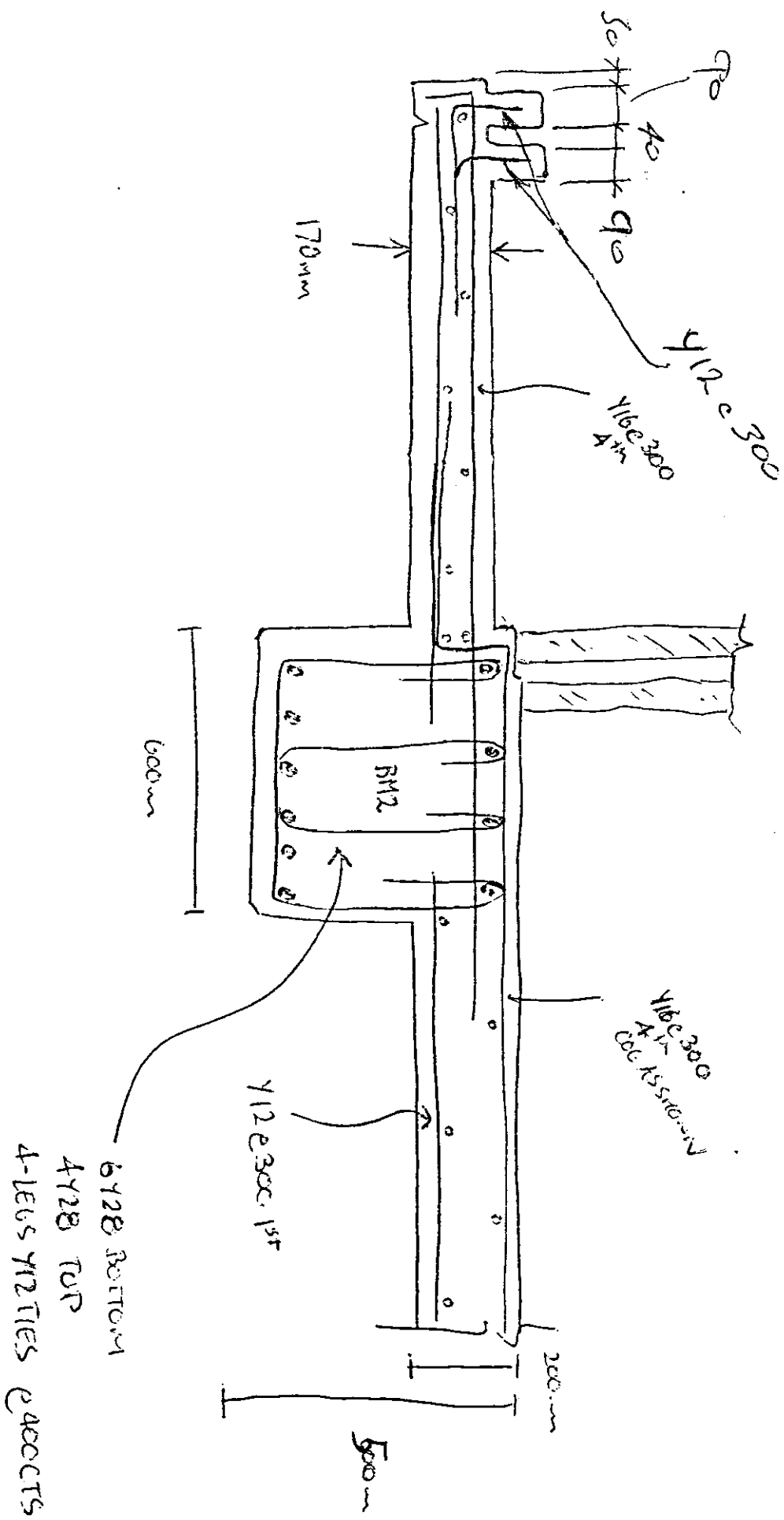
EXTRA OUTSIDE POOL REQD
S12 AT 200 CRS

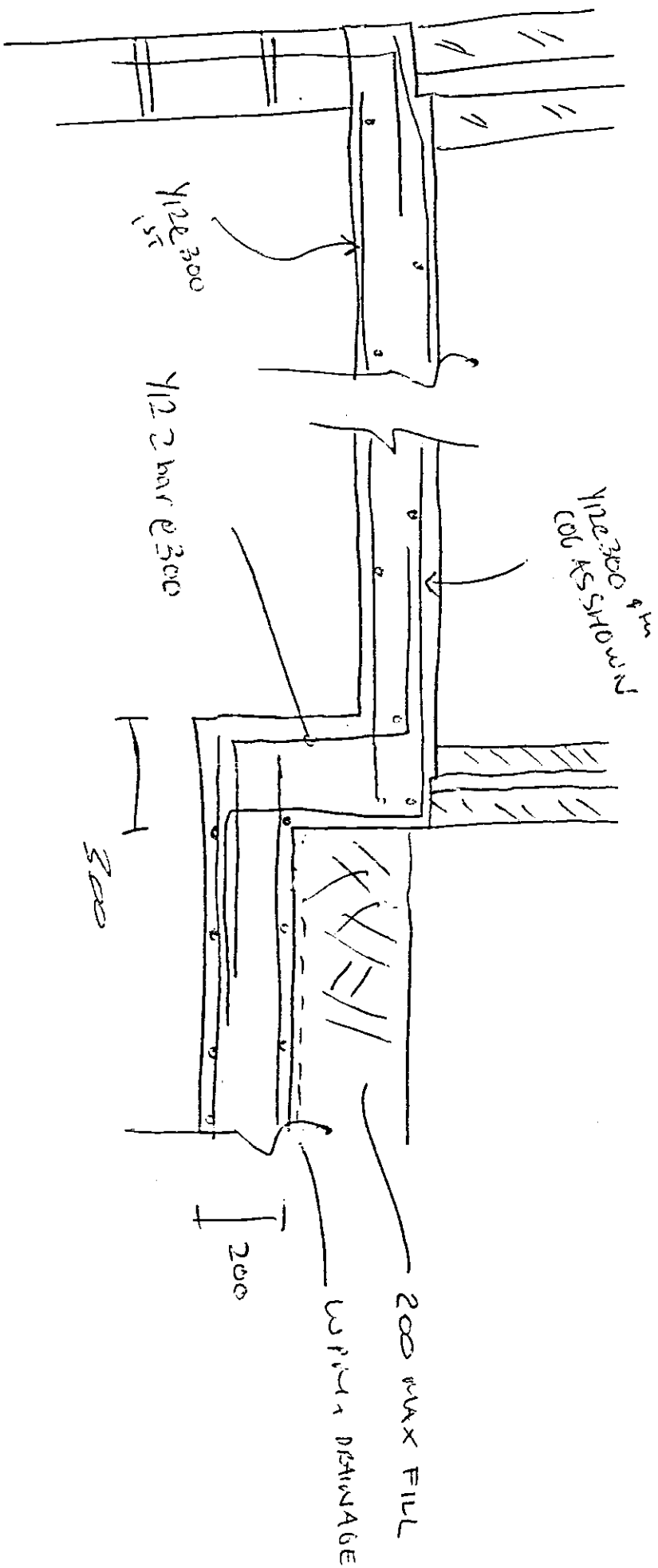




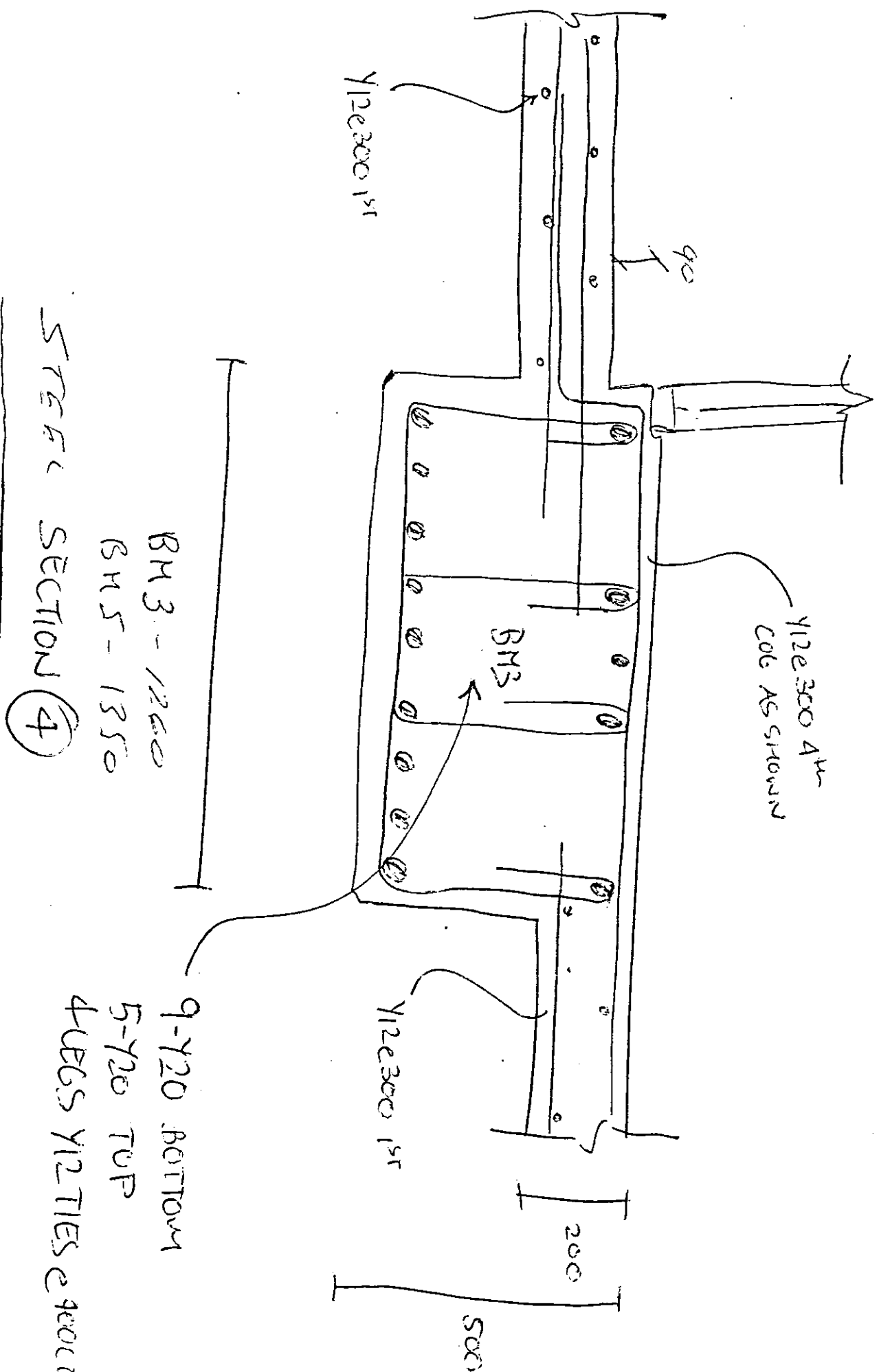
STEEL SECTION (1)

STEEL SECTION 2





STRAIGHT SECTION ③





DIRECTORS

Stewart McGeady Rick Wray Lucas Molloy

JOB No:

010413

INSTRUCTION

JECT ADDRESS

HILLCREST AVE MONAVALE.

DER

ENGINEER

K. MCKIE

DATE

13/12/02

ITEMS INSPECTED

ITEMS APPROVED

GROUND FLOOR SLAB.

MENTS:

TIME OF INSPECTION REINF. O.K. EXCEPT
ADD 1Y12 TRIMMER TOP AT 45° SPLAYS.
TOP REINF TO REAR SECTION TO BE LIFTED
TO PROVIDE CORRECT COVER.
TOP TRIMMERS TO BE ADDED TO END OF BMS.
ADD STAIRCASE BARS TO NEXT LIFT OF STAIRS.
ADD TOP REINF OVER BMS AS DISCUSSED
PROVIDE & MAINTAIN CORRECT COVER TO REINF.
RING FOUR.

(FOR BUILDER)

(FOR NBC)

Inspection was carried out at the request of the client / builder. I have read and understand the above site instruction



DIRECTORS

Stewart McGeady Rick Wray Lucas Molloy

JOB No:

010413

SITE INSTRUCTION

PROJECT ADDRESS

44 HUCREST Ave Mona Vale

BUILDER

ENGINEER

K. MCKIE

DATE

11/11/02

ITEMS INSPECTED

ITEMS APPROVED

G.F. SLAB - SITE QUERIES.

COMMENTS:

At concrete column add 4×12 'L' bars.
LAP WITH COL. BARS 600. 200 LG COG AT TOP OF BEA
BDM REINF AT BEAMS.

WHERE COGS CUT AWAY - O.K.
FOR REINF. AT BEAMS.

ADD 4×12 $\frac{500}{300}$ BARS.

At cantilever beam use 2×12 FOR 1416.
THEREFORE 6×12 REQ'D

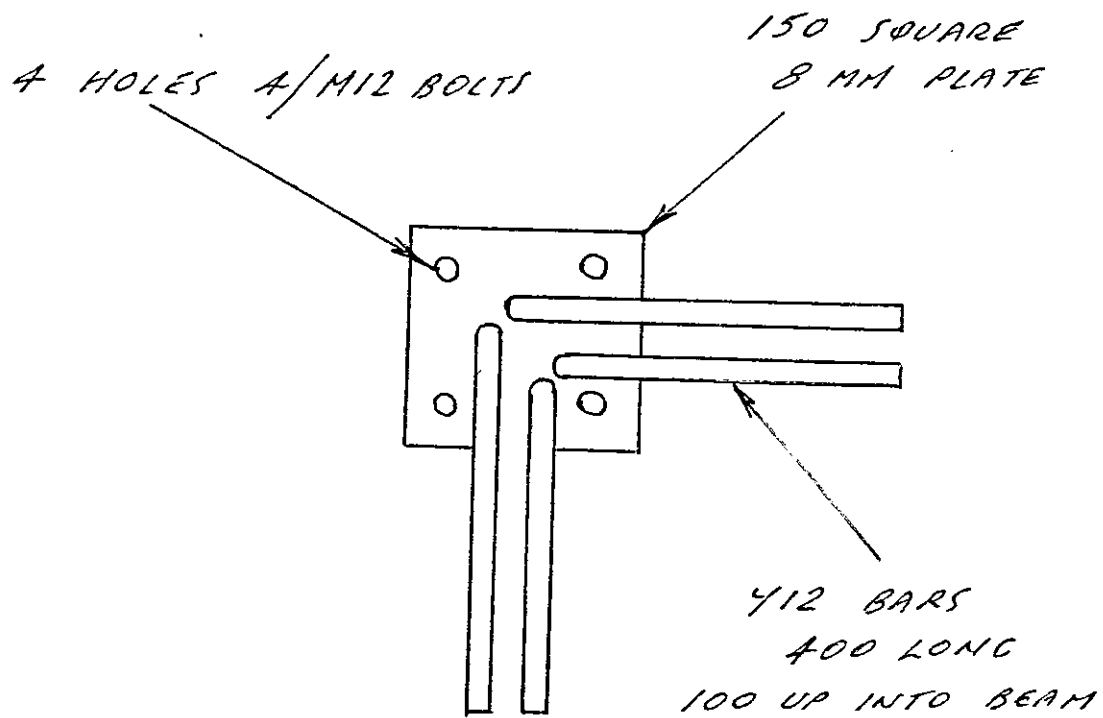
NOTE TO BE CHECKED G.F. TO BASEMENT

SIGNED  (FOR BUILDER)

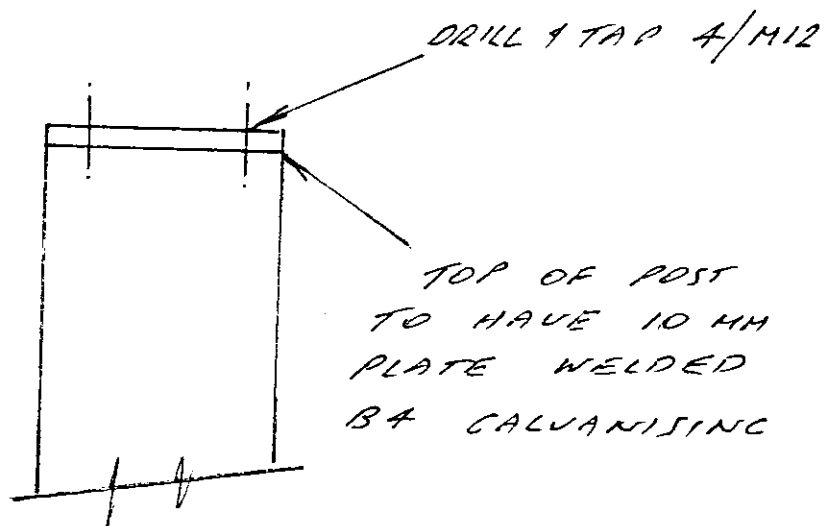
(FOR NBC)



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HOT DIP GALVANISE
AFTER FABRICATION



JACKSON HOUSE

STEEL POST HEAD DETAIL.

TAX INVOICE



DIRECTORS

Stewart McGee, Rick Wray, Lucas Molloy

Attention:
Mr & Mrs Jackson
8 Princess lane
NEWPORT NSW 2106

A.B.N. 24 076 121 616

Invoice #: 010413-2

Date: 17/07/02

Your Order #:

Terms: Net 14

Date Due: 31/07/02

FEES FOR PROFESSIONAL SERVICES

SITE: 44 Hillcrest Avenue, MONA VALE

Design Meeting (Ground Floor Design) 21/02/02 LM- 1.0hrs @ \$160/hr	\$160.00	GST
Design Meeting 09/05/02 LM - 1.0hrs @ \$160/hr	\$160.00	GST
Site Inspection 16/04/02 BL - @ \$160/SI	\$160.00	GST
Site Inspection 25/06/02 LM - @ \$160/SI	\$160.00	GST

PAID 29/7/02 H 301974
PLEASE QUOTE INVOICE No WITH REMITTANCE

Customer ABN:

Consultant: Lucas Molloy

CODE: RATE:
GST 10%

*This claim is issued under the Building and
Construction Industry Security of Payment Act 1999.*

Direct Credit Details:

CBA, BSB 06 2179, Acc # 10044077

*Please fax or post remittance advice to our office to
ensure timely processing of your payment!*

Sub-Total: \$640.00

GST: \$64.00

Total Inc GST: \$704.00

Amount Applied: \$0.00

Balance Due: \$704.00



DIRECTORS

Stewart McGeady Rick Wray Lucas Molloy

JOB No:

SITE INSTRUCTION

PROJECT ADDRESS 44 MILLCROST ST, MONA VALE.
BUILDER HAROLD GOODSELL ENGINEER BRUCE LEWIS DATE 16/5/02

ITEMS INSPECTED

ITEMS APPROVED

FOOTINGS TO GROUND FLOOR

AS BELOW

COMMENTS:

THE REINFORCEMENT INSPECTION APPEARS
AS PER DESIGN INTENT & IS
APPROVED TO POUR SUBJECT TO THE
FOLLOWING:

- MAINTAIN COVER TO ALL REINFORCEMENT
ESPECIALLY WHERE NOTED ON SITE.
- COMPLETE FOOTING ^{REO} IN DRIVEWAY.
- COMPLETE STARTERS TO A.W.'S.

D _____ (FOR BUILDER)

(FOR NB)

Inspection was carried out at the request of the client / builder. I have read and understand the above site instruction.

9 Princes Street
NEWPORT NSW 2106

Phone: (02) 9997-7509
Fax: (02) 9999-3986

29th April 2002

Northern Beaches Consulting Engineers Pty Ltd
Suite 207 – Kinglsey Place
No. 30 Fisher Road
DEE WHY NSW 2099

Attention: Mr Lucas Malloy

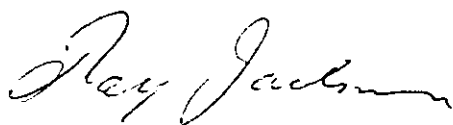
Dear Sir,

I have enclosed two (2) copies of garage floor plan with slab plan showing different column arrangement.

I need steel details for two (2) only 600 x 400 columns which I have shown over a 1200 wide footing.

Can you complete with sketch and forward same to me?

Yours sincerely,



ROY JACKSON

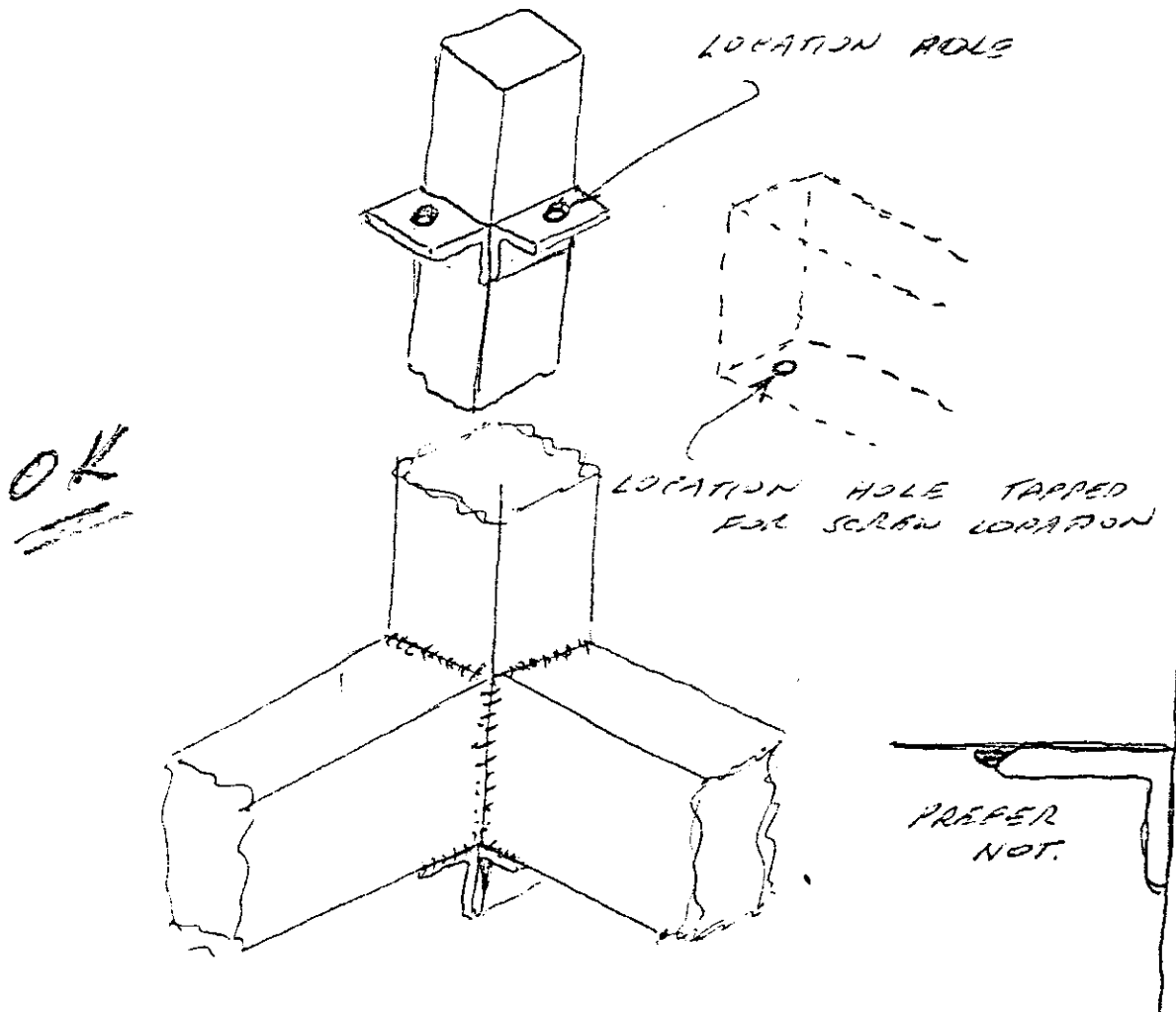
Encl:-

LUCAS MALLOY - 9TH APRIL 2002

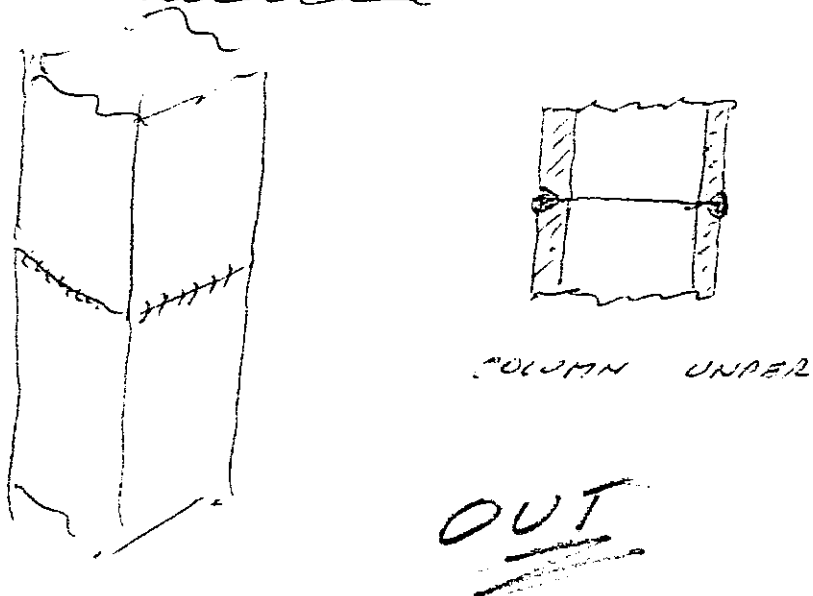
1. STAIRCASE REINFORCEMENT ✓ LM TO
DETAIL
2. KEY LANDING TO CHURCH
THICKEN GROUND FLOOR SLAB & LANDING D35 ✓
3. BRICK PIER IN LIEU OF 109 DRG S10 ✓
SLAB THICKENED TO BEAM DEPTH OVER ENTRANCE
4. WATERPROOFING MEMBRANE DRG S05 ✓
5. STEEL COLUMN HEAD DETAIL UNDER SLAB OR BEAM
TYPICAL 1014 DRG S10 DETAIL LM
6. 100 MM ϕ VENT FROM TOILET THRU SLAB. ✓
7. DRG S12 LANDING FOR WINDOW CLEANING
WIM 250 THICK ✓
8. GALVANISED REINFORCEMENT TO 1ST FLOOR SLAB. NOT REEP?
9. BOX CUTTER ~~40 DEEP TO 110 DEEP TAPER.~~ OK
AT DOWNPIPE END. CAN PROVIDE COLUMN
UNDER AT DOWNPIPE END 75 OR 89 IF
PREFER 75 x 75 DRG S17
ALSO BEAM JOINT DETAIL.
10. BOX CUTTER SIZE RB10 DRG S10 DETAIL
LM
WHAT MAX SIZE ALLOWABLE?
11. DRG S17 PURLIN CONNECTION INBOARD
WIT 4 BOLT SYSTEM? ALSO GRD B?
PURLIN NOTCHED OVER PLATE? CHECK
LM
12. PURLIN C/HAVE 900 MAX FRONT BEARDON

ENG - LUCAS MALLOY

1. PERIMETER BEAM CONNECTION



2. COLUMN JOINT PERMISSABLE



MEETING 14-03-02 - LUCAS MALLOY

'A' SK7 GARAGE FLOOR PLAN

1. Footing arrangement for garage wing walls. ✓
2. Revised footing plan driveway. ✓
3. Location Col CC3 and footing. ✓
4. Planter boxes deleted. ✓
5. Footing detail CC1 and CC2. ✓

'B' GROUND FLOOR SLAB

1. Revised beam details 600 depth to 500. ✓
2. BM3 1500 wide extra bearing at stairwell. ✓
3. BM1 steps now 100 then 200. ✓
4. BM2 terminate at CC1? ✓
5. CC1 and CC2 details. ✓
6. BM2 rear flush with CC1 and CC2. ✓
7. Revised shape to follow basement walls. ✓
8. Pool pipe penetrations (wall thicker). ✓

'C' GROUND FLOOR

1. Architect drg D55 shows window columns. ✓
2. D41 shows slab over no brick head or beam. ✓
3. D55 cavity wall relocate. ✓
SK8 detail cavity wall. ✓
4. Column base and head details SK9. ✓
5. Stair column support (circular aluminium) ✓

'D' POOL CONSTRUCTION

1. Revised construction OK. ✓
2. Slab and beam support OK. ✓
3. Revised drain system to balcony. ✓
4. Taper to beam end reqd for 2100 compliance u/side beam 2050 above level courtyard. ✓

'E' 1ST FLOOR SLAB

1. IBM2 finish at brick wall delete IC10. ✓
2. IBM7 return back to pool side. ✓
3. Increase slab area of lounge and move bulkhead to IC4 see D-48B. ✓
Support lower slab off side of IC4. ✓
4. IC8 and IC7 located within brick wall. ✓
5. IBM8 located over stairwell wall with study wall adjacent. ✓

[illegible]

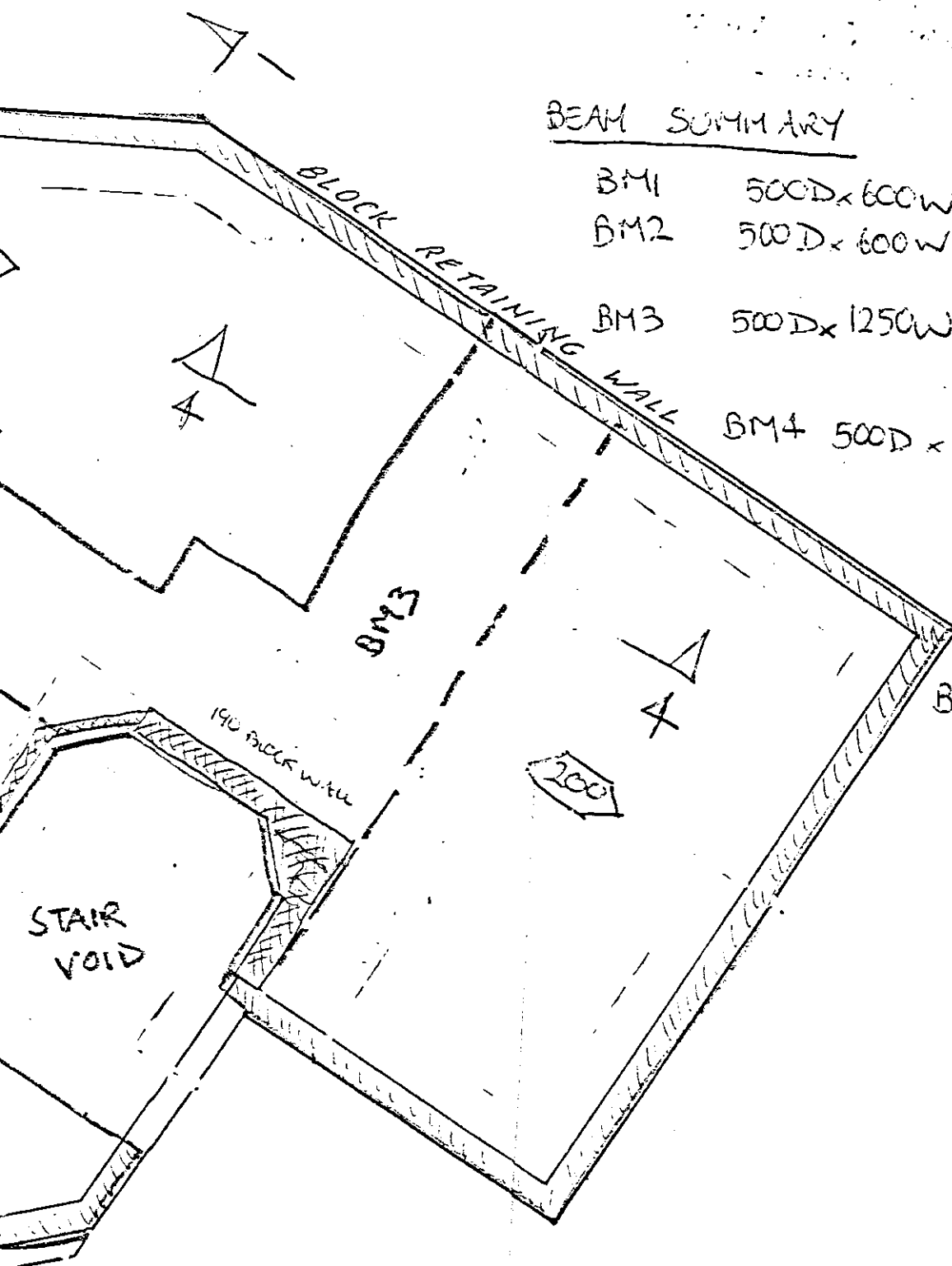
SCALE 1 = 50

WD-2B

REV 'A' 7TH MAY 2002

BEAM SUMMARY

BM1	500D x 600W	5728 T & B
BM2	500D x 600W	6428 B 4728 T
BM3	500D x 1250W	9420 B 5720 T
BM4	500D x 1350W	9420 B 5720 T
BM5	400D x 1350W	9420 B 5720 T



CRACKED FLOOR SLAB