

Telephone (02) 9899 2506
Facsimile (02) 9659 1633
PO Box 6160
Baulkham Hills BC NSW 2153



R Moy & Associates Pty Ltd
T/as Essential Certifiers Castle Hill
ACN 100 924 605
ABN 23 100 924 605

Construction Certificate

CONSTRUCTION CERTIFICATE NUMBER

CC2003-00391

*Issued in accordance with the Environmental Planning & Assessment Regulation 2000 with
reference to the Environmental Planning & Assessment Act 1979
Sections 109C(1)(b), 81A(2) and 81A(4) and Application under CI 79D. (2)(a)*

COUNCIL:

PITTWATER

APPLICANT

Name Jandson Homes Pty Ltd
Address PO Box 2042, NORTH PARRAMATTA 2151
Contact no (telephone/fax) 96835299

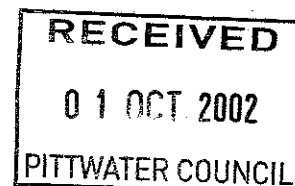
OWNER

Name Handley
Address C/- Jandson Homes.

SUBJECT LAND

Address 23 Valley View Circuit, WARRIEWOOD 2102
Lot No 2005
DP - 1021753

Essential Certifiers Castle Hill Certificate No. CC2003-00391



DESCRIPTION OF DEVELOPMENT

Type of Work



Building work



Subdivision work

Description

Two story dwelling

COUNCIL'S D/A CONSENT

Development Consent No

254/02

D.A Approval Date

21/05/02

BUILDING CODE OF AUSTRALIA**BUILDING CLASSIFICATION**

1A

BUILDER or OWNER/BUILDER

Name

Jandson Homes Pty Ltd

Contractor Licence No. or

Owner Builder Permit No.

37957

\$ VALUE OF WORK

Building/Subdivision

\$317,749.00

DATE C.C. APPLICATION RECEIVED

Date Received

20/09/02

DETERMINATION

Decision

Approved

Date of Decision

23/09/02

ATTACHMENTS

\$26.00 Council Submission Cheque.

Essential Certifiers Castle Hill Certificate No. CC2003-00391

PLANS AND SPECIFICATIONS

APPROVED/REFUSED

List plan no(s) and specifications

Reference: Sheets 1/10 - 10/10.

RIGHT OF APPEAL

under S109K where the Certifying Authority is a Council an applicant may appeal to the Land and Environmental Court against the refusal to issue a Construction Certificate within 12 months from the date of the decision.

ACCREDITATION BODY

PlanningNSW, 2 Lee Street, Sydney 2000.

CERTIFICATION

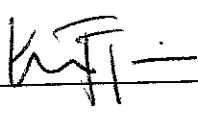
I certify that the work if completed in accordance with these plans and specifications (with such modifications verified by the Certifying Authority as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation 2000 as referred to in s81A(5) of the Environmental Planning and Assessment Act 1979.

CERTIFYING AUTHORITY

Name of Certifying Authority	Essential Certifiers Castle Hill
Name of Accredited Certifier	Kieran Tobin
Accreditation No	44
Contact No	(02) 9899 2506
Address	PO Box 6160 Baulkham Hills BC 2153.

SIGNED

DATED


23/09/02

Essential Certifiers Castle Hill Certificate No. CC2003-00391



Essential Certifiers Castle Hill

R Moy & Associates Pty Limited
ACN 100 924 605
Ph: 02 9899 2506

Unit 34, 7 Carrington Rd
Castle Hill NSW 2154
Fax: 02 9659 1633

Notice of Commencement of Building Work & Appointment of Principal Certifying Authority

Issued under the Environmental Planning & Assessment Act 1979
Section 81A (2)(b), (ii) or (c), or (4) (b) (ii) or (c), 86 (1) & (2)

LAND BEING DEVELOPED

Lot No. 2005	Street No. 23	DP No. 1021753
Address: VALLEY VIEW CIRCUIT, WARRIEWOOD		
Approved Development e.g. Two Storey Dwelling NEW TWO STOREY DWELLING		
PROPOSED DATE OF COMMENCEMENT OF BUILDING WORK: 21/9/02		

CONSENT/S

Council Consent No. 254/02	Determination Date: 21/5/02
OR Complying Development No.	Determination Date:

OFFICE USE ONLY

Construction Certificate No. 03/391	Date of Issue: 23/9/02
Accredited Certifier: K. TOBIN	Accreditation No. 44

SIGNATURE OF
ACCREDITED CERTIFIER:

I, the above accredited building surveyor certify that all conditions have been satisfied prior to the commencement of work. Note: conditions may include payment of security deposits, section 94 contributions, endorsement of building work plans by water supply authority & long service levy contributions.

APPLICANT TO SIGN OVERLEAF

HOME BUILDING ACT 1989 REQUIREMENTS:

Principal Certifying Authority has been advised of the requirements of Cl 78C of the Regulation

☒ Yes ☐ No ☐ N/A - reason:

Home Building Act 1989 requirements in case of building work that involves residential building work (within the meaning of the *Home Building Act 1989*) attached as follows:

- (a) in the case of work by a license under the act:
- (i) a statement detailing the licensee's name and contractor licence number, and
 - (ii) documentary evidence that the licensee has complied with the applicable requirements of that Act(*), or;
- (b) in the case of work done by any other person:
- (i) a statement detailing the person's name and owner-builder permit number, or
 - (ii) a declaration signed by the owner of the land, to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of *owner-builder* work in Section 29 of the Act.

(*) A certificate purporting to be issued by an approved insurer under Part 6 of the *Home Building Act 1989* to the effect that a person is the holder of an insurance contract issued for the purposes of that Part, is sufficient evidence that the person has complied with the requirements of that Part.

DECLARATION

I, the undersigned, declare that I have the legal authority (express or implied) to engage a Principal Certifying Authority for the building works described in this document and verify that all information pertaining to such work is correctly stated on this form.

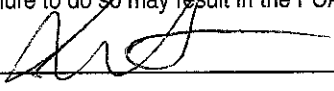
I understand that this Notice must be given to the relevant Local Council two (2) days prior to the intention to commence building work in accordance with S81A(2)(c) of the EP&A Act and verify that no building work will commence prior to the date given in the "Proposed Date of commencement of building work" section of this document.

As a condition of appointing the Principal Certifying Authority stipulated on this form, I agree to undertake the following responsibilities; to contact the PCA at the specified stages of development (as indicated below); to carry out building work in accordance with a current development approval; to notify the PCA of any intent to depart from the issued development approval as soon as the intention arises; and to verify all documents provided to the Private Certifying Authority are bona fide and correct in detail.

I agree to contact the PCA at the specified stages of development, but not limited to these stages, in order to obtain an inspection as follows:

* Stormwater * Framework * Wet Areas * Completion *Any other stage as specified by the PCA.

I fully understand that failure to do so may result in the PCA issuing a Notice of Intention to Serve an Order.

Signature:  Dated: 16/9/02

Print Name: MAREN BAGUST

On Behalf of: JANDSON PTY LTD

Address: PO BOX 2042

NORTH PARRAMATTA 1750

Pittwater Council

ABN: 61340837871

**TAX INVOICE
OFFICIAL RECEIPT**

01/10/2002 Receipt No 97572

To r moy & associates p/l

po box 6160
baulkham hills

Qty/ Applic	Reference	Amount
----------------	-----------	--------

1	TCER-Cons	\$0.91
GL Rec	1 x dan0254/02	

	GST	\$0.09
GL Rec		

To GL Receipt:

Total Amount: \$1.00

Includes GST of: \$0.09

Amounts Tendered

Cheque	\$1.00
Total	\$1.00
Rounding	\$0.00
Change	\$0.00
Nett	\$1.00

Printed 01/10/2002 12:05:58

Cashier JBrown

Pittwater Council

ABN: 61340837871

**TAX INVOICE
OFFICIAL RECEIPT**

01/10/2002 Receipt No 97574

To jandson p/l

c/o- r moy & assoc p/l
po box 6160
baulkham hills 2153

Qty/ Applic	Reference	Amount
----------------	-----------	--------

1	TCER-Cons	\$22.73
GL Rec	1 x da n0254/02	

	GST	\$2.27
GL Rec		

To GL Receipt:

Total Amount: \$25.00

Includes GST of: \$2.27

Amounts Tendered

Cheque	\$25.00
Total	\$25.00
Rounding	\$0.00
Change	\$0.00
Nett	\$25.00

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Cashier JBrown

COUNCIL COPY



Essential Certifiers Castle Hill

Construction Certificate Application Form

*Issued under the Environmental Planning & Assessment Act 1979
Sections 109C(1)(b), 81A(2) & 81A(4)*

R Moy & Associates Pty Ltd
Trading as Essential Certifiers Castle Hill
ACN 100 924 605
ABN 23 100 924 605

Postal Address
PO Box 6160
Baulkham Hills Business Centre NSW 2153

Street Address
Unit 34, 7 Carrington Road
Castle Hill NSW 2154

Telephone (02) 9899 2506
Facsimile (02) 9659 1633

Email JeremyMoy@esscert.com.au

APPLICANT DETAILS

MR/MRS/MS

SURNAME:	FIRSTNAME:
COMPANY NAME: JANDSON HOMES	
ADDRESS: 27 FENNEL ST, NTH PARLAMATTA	
PHONE: 9683 5299	FAX: 9683 6039
MOBILE:	

SIGNATURE/S

DATED:

I, the above-mentioned applicant certify that the work will be completed in accordance with the plans & specification & will comply with the relevant requirements of Section 81A(5) of the Environmental Planning & Assessment Act 1979.

BILLING DETAILS (if different from Applicant)

BILLING NAME:	AS ABOVE
BILLING ADDRESS:	

Note: Applicant will be liable for payment of fees for services provided if funds cannot be recovered from the nominated Billing person above.

BUILDER OR OWNER BUILDER

COMPANY NAME: JANDSON HOMES	
SURNAME:	FIRSTNAME:
ADDRESS: 27 FENNEL ST, NTH PARLAMATTA	
PHONE: 9683 5299	FAX:
MOBILE:	
LICENCE No. 37957	OWNER BUILDER PERMIT No.

OWNERS' DETAILS

SURNAME: HANDLEY	FIRSTNAME: MR & MRS. LEANNE
OR COMPANY NAME:	
ADDRESS: 12/37 MALPHERSON ST, WARRIEWOOD N.S.W.	
PHONE: 9979 6631	FAX:
MOBILE:	

SIGNATURE OF OWNER/S:

ATTACHED

DATED:

Declaration: I/we own the subject land being developed and consent to this application.
Note: A separate owners consent form may be submitted in lieu of the signed declaration above.

LAND BEING DEVELOPED

LOT No. 2005	STREET No. 23	DP No.
ADDRESS: VALLEY VIEW CIRCUIT, WARRIEWOOD		
DESCRIPTION: e.g. Two Storey Dwelling TWO STOREY DWELLING		
VALUE OF WORK: \$ 317 749-00		YOUR JOB/REF No. 1829
No. OF STOREYS: 2	No. OF STRUCTURES: 1	

COUNCIL DETAILS

COUNCIL AREA OF SUBJECT LAND: <i>PITTWATER</i>	
DEVELOPMENT CONSENT No. <i>254/02</i>	DATE OF DETERMINATION: <i>21/5/02</i>
BUILDING CLASSIFICATION/S ON CONSENT: e.g. Class 1a <i>1A</i>	

PLANS & SPECIFICATIONS

LIST PLAN NUMBERS & SPECIFICATION REFERENCE DETAILS INCLUDED IN THIS APPLICATION:

ADDITIONAL INFORMATION

PLEASE ENCLOSE THE FOLLOWING WITH THIS APPLICATION:

- 1 x Set of Plans (the same as those submitted to Council)
- 3 x Sets of the Building Specification
- 1 x Copy of Building Insurance Contract (residential work)
- 1 x Signed Copy of the "Notification of Commencement of Work" Form (enclosed in this application).

PLEASE FORWARD THE FOLLOWING INFORMATION IMMEDIATELY WHEN RECEIVED FROM COUNCIL:

- 1 x Copy of the Council Development Consent
- 3 x Copies of the Stamped Plans received from Council

OUTCOME

The applicant will be notified via fax or phone if any further information is required prior to issuing a Construction Certificate. Once all information is received from the applicant and assessed by an Accredited Building Surveyor, the following steps will be taken.

- 1 x Copy of Construction Certificate Approval including 1 set of plans and specifications will be posted to the applicant.
- 1 x Copy of the above information will be retained for record keeping.
- 1 x Copy of the above information will be forwarded to Council on the applicant's behalf.

NOTES

Right Of Appeal – Under Section 109K where the Certifying Authority is a Council, an applicant may appeal to the Land & Environment Court against the refusal to issue a Construction Certificate within twelve months from the date of the decision.

Long Service Levy – The applicant may be required to pay a Long Service Levy under Section 34 of the Building and Construction Industry Long Service Levy Payments Act 1986 before the Certifying Authority can issue a certificate.

SCHEDULE OF DETAILS FOR THE AUSTRALIAN BUREAU OF STATISTICS

CC: 03/391.

254/02

Construction Certificate No.
(Office Use)

Development Consent No.

Area of subject site in M²

State if site contains Dual Occupancy

492.0

no

State the use of the existing building (if applicable)

Yes/No

State if the building is being demolished

State the gross floor area in M²

RESIDENTIAL DWELLINGS

No. OF PRE-EXISTING DWELLINGS: n/l	No. OF PROPOSED DWELLINGS: 1
No. OF DWELLINGS TO BE DEMOLISHED: n/l	No. OF STOREYS OF DWELLING: 2

BUILDING MATERIALS

WALLS	ROOF	FRAME	FLOOR
Brick Veneer	✓ Aluminium	Timber	✓ Concrete
Full Brick	Concrete	Steel	Timber
Single Brick	Concrete Tiles	Other (describe)	Other (describe)
Concrete Block	Fibrous Cement		
Concrete Masonry	Fibreglass		
Concrete	Masonry Shingle		
Steel	Terracotta Shingle		
Fibrous Cement	Tiles – other		
Hardiplank	Slate		
Timber/Weatherboard	Steel		
Cladding/Aluminium	Terracotta Tiles		
Curtain Glass	Other (describe)		
Other (describe below)			

certificate

Certificate No PPP 93046
(OWNERS COPY)

of insurance

Form 1: Home Building Act 1989

Certificate in respect of insurance - Section 92

Contract Work

A contract of insurance complying with section 92 of the Home Building Act 1989 has been issued by Royal & Sun Alliance Insurance Australia Ltd

in respect of single dwelling

at 23 VALLEY VIEW CIRCUIT WARRIEWOOD

Carried out by JANDSON HOMES

A.B.N. 55 003 144 330 Licence No 37957 Class (if applicable)

Beneficiary MR & MRS HANDLEY

Current address 12/37 MALPHERSON STREET
WARRIEWOOD, N.S.W.

Address of building work to be insured LOT 2005, no 23
VALLEY VIEW CIRCUIT, WARRIEWOOD

Builder details JANDSON HOMES

Insured MR & MRS HANDLEY

Subject to the Act and the Home Building Regulation 1997 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in title to the beneficiary.

This certificate of insurance should be read in conjunction with the policy terms, conditions, definitions and exclusions as detailed in the enclosed policy wording.

Date 16/4/02

Signed for and on behalf of Royal & Sun Alliance Insurance Australia Ltd.

PLEASE NOTE:

Aon Risk Services Australia Ltd
ABN 17 000 434 720 are arranging
the insurance policy as agents of
the insurer.

Royal & Sun Alliance Insurance
Australia Ltd
ABN 48 005 297 807

and not as agents for the insured.

They also act as agents for the
insurer, and not as agents for
the insured, in dealing with or
settling any claim.

The builder has been appointed
an agent of Aon Risk Services
Australia Ltd ABN 17 000 434 720.



HIA INSURANCE SERVICES PTY LTD
ABN 84 076 460 967 AN ASSOCIATED COMPANY
OF AON RISK SERVICES AUSTRALIA LTD

89 Blaxland Road Ryde NSW 2112
(PO Box 241, Ryde NSW 2112)

Telephone: 1800 554 255

Pittwater Council

REPRINTED

OFFICIAL RECEIPT

12/06/2002 Receipt No 87903

To COMMONWEALTH BANK CHEQUE

C/- LEANNE HANDLEY
23 VALLEY VIEW CRT
WARRIEWOOD

Applic	Reference	Amount
GL Re	QLSL-Buil 23 VALLEY VIEW CRT	\$523.30

Total: \$523.30

Amounts Tendered

Cash	\$0.00
Cheque	\$523.30
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$523.30
Rounding	\$0.00
Change	\$0.00
Nett	\$523.30

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Cashier RLinds

CONSENT OF OWNER/S

NAME: Jeffrey and Leanne Handley PH NO: 9411-4355 (Leanne's work)
ADDRESS: 12/37 Macpherson Street
Warriewood NSW POST CODE: 2102

As the owner/s of the land to which this application relates, I/we hereby consent to the making of this application.

SIGNATURE/S: X Jeffrey R Handley
X Leanne Handley

DATED: X 17th September, 2002

RIGHT OF ENTRY

NAME: Jeffrey and Leanne Handley PH NO: 9411-4355 (Leanne's work)
ADDRESS: 12/37 Macpherson Street
Warriewood NSW POST CODE: 2102

I/we authorize the right of entry for the Building Surveyors of **ESSENTIAL CERTIFIERS Castle Hill** to carry out any inspections relevant to this Application, from time to time.

SIGNATURE/S: X Jeffrey R Handley
X Leanne Handley

DATED: X 17th September, 2002

Notes:

COUNCIL COPY

- Contractor to confirm location of underground services before commencement of works.
- Do not scale from drawings. Dimensions take preference.
- All soil and mulch used shall be sourced from a recognised supplier.
- All plants must be true to type, free from pest and disease.
- Plants shall be fertilized and watered at time of planting.
- Turf shall be Pennisetum clandestinum (Kikuyu) with an even thickness not less than 30mm. Turf to be obtained from an approved grower and free from weeds.
- Gravel pathways to be Nepean River Gravel to a depth of 50mm.

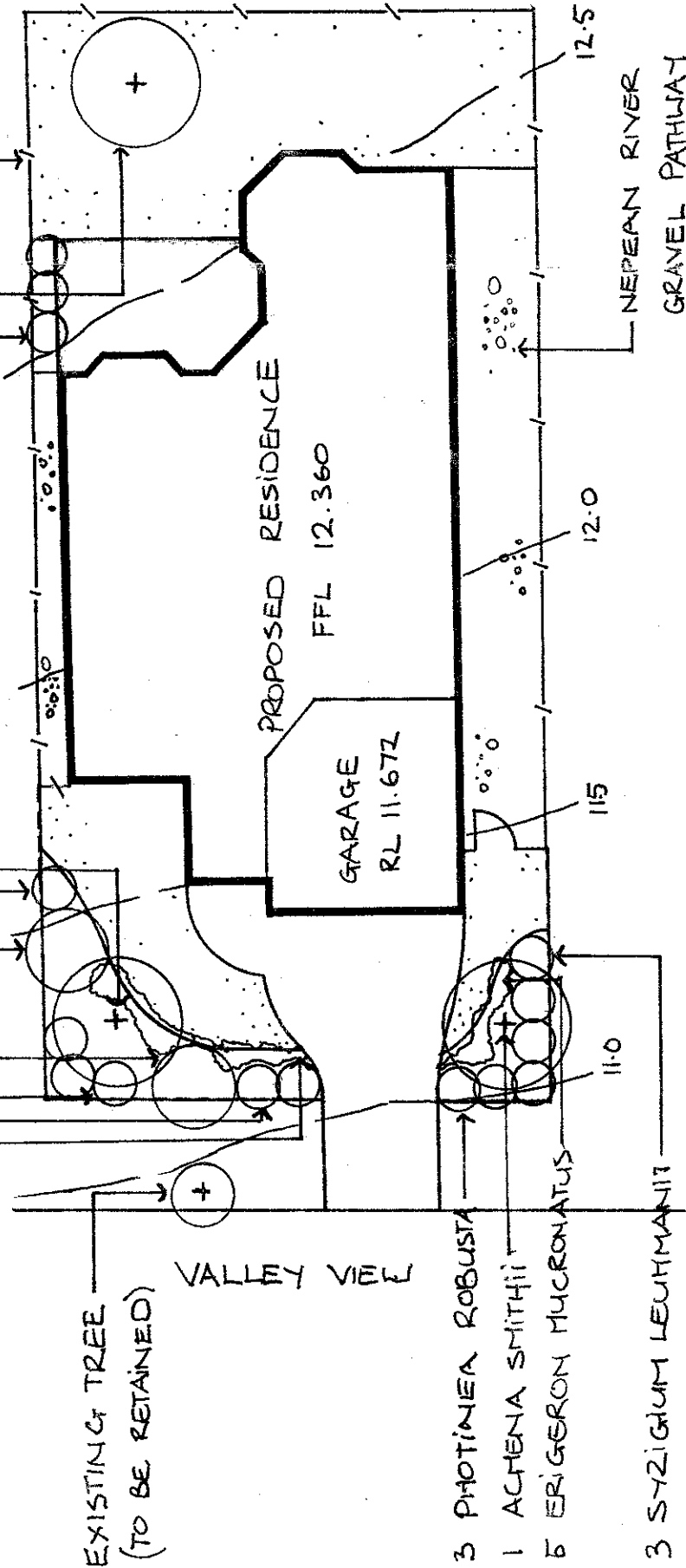
3 SYZIGIUM AUSTRALE 'HUNCHY'
1 MELALEUCA QUINQUENERVIA
1800mm HIGH LAPPED
AND CAPPED FENCE

3 PHOTINEA ROBUSTA
2 WATERHUSIA FLORIBUNDA
1 BANKSIA SPINULOSA
1 CORYMBIA MACULATA

2 SYZIGIUM LEUHMANNII
8 GREVILLEA LANIGERA

EXISTING TREE
(TO BE RETAINED)

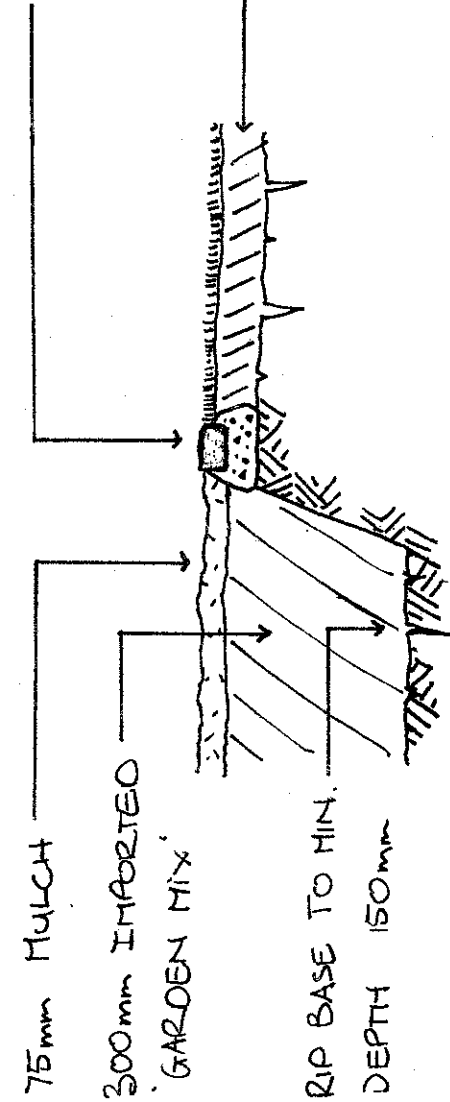
VALLEY VIEW



PLANT SCHEDULE Lot 2005

BOTANICAL NAME	POT SIZE	HEIGHT (approx. maturity)	WIDTH (approx. maturity)	QUANTITY
TREES				
Melaleuca quinquenervia	45 ltr	9	5	1
Acmena smithii	45ltr	12	5	1
Corymbia maculata	45ltr	12	6	1
Waterhousia floribunda	25ltr	12	6	2
SHRUBS				
Syzigium leuhamanii	300mm	2	2	3
Photinea robusta	300mm	2	2	6
Syzigium australe "hunchy"	200mm	2	2	3
Banksia spinulosa	200mm	1.5	1.5	1
GROUND COVERS				
Grevillea lanigera	200mm			8
Erigeron mucronatus	150mm			5

PAVER EDGING LAID ON 100mm
MORTAR BED. 10mm JOINTS



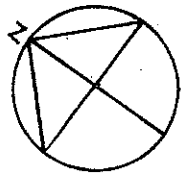
GARDEN BED EDGING TURF

For:

Date: June, 2002

Scale: 1:200

Drawn: LJP



Mr & Mrs Handley

TYPICAL SECTION

Prepared by:

Cherrybrook Landscaping Pty. Ltd.

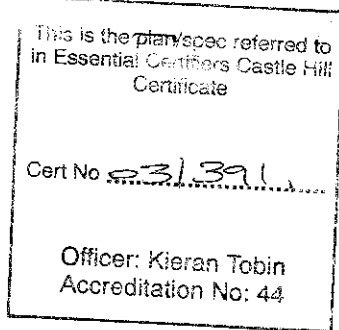
Lot 2005/ 23 Valley View Crt
WARRIEWOOD

3 Alleyne Ave North Narrabeen 2101

Mob. 0410 528 245

LANDSCAPE PLAN

COUNCIL COPY



Housing Industry
Association

ADDRESS OF PROPERTY: LOT 2005
VALLEY VIEW CIRCUIT, WARRIEWOOD

GENERAL HOUSING SPECIFICATIONS

between

MR JEFFREY HANDLEY AND
MRS LEANNE HANDLEY
OWNER

and

JANDSON PTY LTD
CONTRACTOR

CONTRACTOR LICENCE NO: 37957

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no portion of this agreement may be reproduced by any
process whatsoever without the written consent of the
Housing Industry Association (NSW) Division.

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GENERAL HOUSING SPECIFICATIONS

(Revised November 2000)

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1.0 INTRODUCTIONS

1.1 General

This Specification details the works to be executed and the materials to be used in carrying out those works at the Site.

This Specification shall be read as a general specification only. The extent of the works shall be governed by the Approved Plans and Special Details where applicable.

Any works not fully detailed shall, where appropriate, be sufficiently performed if carried out in accordance with applicable Manufacturer's Recommendations or Engineer's Recommendations.

1.2 Preliminary Use

This Specification forms part of the Building Contract Documents, and should be read in conjunction with the Building Agreement, Engineer's Reports, Plans and any other special details.

1.3 Prevailing Documents

Where there is a difference between Plan and Specification the Plan will take precedence. The Contractor must at all times maintain a legible copy of the plans and specification bearing the approval of the appropriate authorities.

1.4 Size and Dimensions

All sizes and dimensions given in this Specification are in millimetres unless otherwise stated and are nominal only.

1.5 Prime Cost Items

Prime cost items listed in this Specification are Contractors cost prices, they do not include Builders margins, cost of cartage and freight. Should any of these items not be required, credit will be made at the listed price in the contract's final progress claim.

1.6 Definitions

"Special Details" in respect of any item or part of the works means any drawings, plans, specifications, calculations or other documents (including Engineer's Recommendations) prepared in order to define or detail the work to be done and the materials to be used.

"Engineer's Recommendations" includes any Soil Classification Report, Preliminary Footing Report, Construction Footing Report and any other Report, Recommendation, site or other instruction, calculations or plans prepared by an Engineer in respect of the Works.

Where the words "Local Authority" are mentioned they shall mean the Local Council, or other Governing Authority, or Private Certifier with Statutory responsibility for the compliance of the work performed.

2.0 STATUTORY REQUIREMENTS

2.1 The Works

The Works shall be constructed in accordance with Australian Standards referred to in Section 1 of the BCA 96 Housing Provisions together with any amendment or replacement of those Standards.

2.2 Regulations, Notices and Fees

The Contractor is to comply with the requirements of all legally constituted authorities having jurisdiction over the Works including the provisions of the Home Building Act.

The Contractor is to give all notices, obtain all Permits and pay all fees required by such authorities.

Where referred to in these specifications, regulations shall mean the Building Regulations and Codes (including the Building Code of Australia, as amended) statutorily enforceable at the time application is made for a permit, consent or approval.

2.3 Insurance

Insurance cover of the Works against risk for Fire, Theft, Malicious Damage and Materials on Site are to be effected by the Contractor at the Contractor's expense. The Contractor shall also at his expense adequately insure Public Liability and arrange Worker's Compensation cover in respect of any liability under the Worker's Compensation Act of New South Wales.

2.4 Labour and Materials

The Contractor is to provide all labour and materials to construct and complete the Building to the stage as specified in the contract documents. Materials to be of the standard specified. Workmanship in each trade to be performed by licensed tradespeople in conformity with adequate building practice. Building materials surplus to requirements of the Works shall be and remain the property of the Contractor.

2.5 Electricity

The Contractor is to make arrangements for any electrical power to be used in the erection of the Works and is to pay fees and costs incurred therein. Should additional poles, wiring, service risers or underground wiring etc., be required by the Electricity Authority, this additional cost plus Builder's margin shall be borne by the Owner.

2.6 Sanitary Accommodation

Prior to the commencement of any Works, unless toilet facilities exist on Site, the Contractor shall provide temporary toilet accommodation for the tradespeople. Where the Authority requires the temporary toilet to be connected to sewer mains, the additional cost plus Builder's margin of such shall be borne by the owner. On completion the Contractor shall remove the convenience.

3.0 OWNER'S OBLIGATIONS

3.1 Surveyor's Certificate

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, obtain a certified survey of the Site. If no survey is required, the Owner hereby certifies that the placement of the existing survey pegs or fences on the Site is correct.

3.2 Engineer's Recommendations

If the Building Agreement so indicates, the Owner shall, at the Owner's expense, provide the Contractor with reports and recommendation (including soil classification) as to the foundations and/or footings requirements for the Works prepared by an Engineer.

If the Contractor instructs any party to provide such recommendations, the Contractor does so only as an agent for the Owner.

3.3 Trades Persons Engaged by Owner

The Owner shall not engage or employ any tradesperson, trade-contractor or any other person to work on the Site without the consent of the Contractor which consent may be subject to such terms and conditions as the Contractor may stipulate.

3.4 Items Supplied by Owner

For all items referred to in the Specification to be supplied by the Owner, it is the responsibility of the Owner to arrange payment for delivery of and protection against damage and theft of all these items.

Delivery is to be made when requested by the Builder to the Site. If not available when required the Owner shall be obliged to make an alternative selection.

3.5 Water Supply

The Owner shall, at the Owner's expense, supply adequate water to the Site for construction purposes. Unless otherwise specified, the Contractor shall pay the standard water metre connection fee to the Water Supply Authority providing this service is prelaid to the Site ready for use. The Owner shall be responsible for any fee to be paid in excess of the standard water metre connection fee.

3.6 Sanitation

Unless otherwise specified, the Owner shall, at the Owner's expense, supply sewerage connection riser or common effluent drainage connection riser on the Site. Unless otherwise specified, the Contractor shall pay the standard sewer connection fee to the Supply Authority providing this service is to prelaid to the Site and ready for use.

The Owner shall be responsible for any fee to be paid in excess of the Standard sewer connection fee.

3.7 Site Clearance

At the Owner's expense clear only the Site area of building work including vegetation stumps, boulders, rubble and the like to a minimum distance of 1,000mm outside the building or to the boundaries of the allotment, whichever is the less and fill any depressions within the area covered by the building.

4.0 PLANS, PERMITS AND APPLICATION FEES

4.1 Permits and Fees

Unless otherwise agreed, the Contractor shall lodge all necessary application notices, plans and details with the Local Authority for approval prior to commencement of construction.

4.2 Mines Subsidence

In areas affected by mines subsidence the appropriate authority to be consulted and work carried out in accordance with their requirements as a variation, any additional cost plus Builders Margin is to be borne by the Owner.

9.0 TIMBER FRAMING GENERALLY

9.1 Timber Framing

All timber framework sizes, spans, spacing, notching, checking and fixing shall comply with the provisions of AS 1684 or Part 3.4.3 BCA 96 Housing Provisions. Alternative structural framing to Structural Engineer's details and certification.

The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and acceptable trade practices.

9.2 Floor Framing

All floors not specified to be concrete are to be framed at the level shown. Span and spacing of bearers is to conform to the requirements of the span tables for the appropriate member size. Deep joists to upper floors, where shown are to be fitted with solid blocking or herringbone strutting as required. All sizes and stress grades of timber members and tie down methods are to be in accordance with AS 1684.

9.3 Wall Framing

Plates are to be trenched to a depth not exceeding 10mm to provide uniform thickness where studs occur. Where plates are machine gauged to a uniform thickness, trenching may be omitted. Wall framing is to be erected plumb and straight and securely fastened to floor framing. Provide a clear space of 40mm between outer face of wall frame and inner face of brick veneer walls. Tie brickwork to studs with approved veneer ties. Ties are to slope downwards towards the veneer wall.

Studs in each panel of walling shall be stiffened by means of solid noggings or bridging pieces at not more than 1,350mm centres over the height of the wall. Bottom plates shall be fixed to the concrete slab in accordance with AS 1684.

9.4 Heads Over Opening (Lintels)

All sizes, stress grade and bearing area shall conform to AS 1684 or NSW Timber Framing Manual. Heads exceeding 175mm in depth shall be seasoned or a low shrinkage timber species use. Plywood web lintels conforming to the requirements of Plywood Association of Australia may be used. Glue Laminated beams conforming with AS 1328. If approved by the Lending Authority, Laminated Veneer Lumber beams to manufacturer's specification and data sheets may be used.

9.5 Roof Trusses

Where roof truss construction is used, trusses shall be fabricated in a properly equipped factory and erected, fixed and braced in accordance with the fabricator's written instructions.

9.6 Bracing

Timber frames must be braced in accordance with Clause 3.4.3.8 BCA 96 Housing Provisions. Bracing units shall be determined as appropriate for the design wind velocity for the building or AS 1684. Bracing shall be evenly distributed throughout the building.

9.7 Flooring

Cover floor joists with strip or sheet flooring as shown on plan. Thickness of flooring to be appropriate for the floor joist spacing. With particular regard to ground clearance and installation in wet areas, structural sheet flooring shall be used strictly in accordance with the manufacturer's recommendations or Part 3.4.3 BCA 96 Housing Provisions.

Strip flooring shall be in accordance with AS 1684.

When listed in Schedule of Works, floors shall be sanded to provide an even surface and shall be left clean throughout.

9.8 Roof Framing

Roofs are to be pitched to the slope shown on plan and constructed in accordance with Clause 3.4.3.6 BCA 96 Housing Provisions or AS 1684. Provide tie-down as required for the appropriate design wind velocity and roof covering. Provide all rafters, ridges, hips, valleys, pulins, struts, collar ties and wind bracing as appropriate with all sizes and stress grades in accordance with AS 1684.

Metal fascias shall be installed in accordance with the manufacturer's recommendations.

9.9 Timber Posts

Posts supporting carports, verandas and porches shall be timber suitable for external use, or as otherwise specified, supported on galvanised or treated metal post shoes. Post shall be bolted to all adjoining beams as required by AS 1684 for the wind speed classification assessed for the Site.

9.10 Corrosion Protection

All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have appropriate corrosion protection.

9.11 Hot Water Storage Tank Platforms

Where a hot water storage tank is to be installed in the roof space, the tank platform shall be supported directly off the wall plates and must not be supported on ceiling joists.

All hot water services installed in the roof space shall be fitted with an appropriate spill tray and overflow drain pipe.

10.0 STEEL FRAMING GENERALLY

10.1 Steel Framing

Steel floor, wall or roof framing approved by the Local Authority shall be installed in accordance with the manufacturer's recommendations and AS 3623 or Part 3.4.2 BCA 96 Housing Provisions.

11.0 ROOFING

All roof cladding to comply with the relevant structural performance and weathering requirements of BCA 96 Housing Provisions and be installed as per the manufacturer's requirements.

11.1 Tiled Roofing

Concrete and terracotta tiles shall comply with AS 2049 and be installed in accordance with AS 2050. Cover the roof of the dwelling with first quality approved tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all capping and all necessary starters and apex caps. Capping and verge tiles are to be well bedded and neatly pointed. Roofing adjacent to valleys should be fixed so to minimise as far as practicable water penetration. As roof tiles are made of natural products slight variation in colour is acceptable.

14.0 JOINERY

14.1 General

All joinery work (metal and timber) shall be manufactured and installed according to good trade practices.

14.2 Door Frames

External door frames shall be a minimum of 32mm thick fitted with 10mm thick door stops. Internal jamb linings shall be a minimum of 18mm thick fit with 10mm thick door stops. Metal door frames shall be installed where indicated on drawings in accordance with the manufacturer's recommendations.

14.3 Door and Doorsets

All internal and external timber door and door sets shall be installed in accordance with AS 1909. Timber Doors and Door Sets and shall be manufactured in accordance with AS 2688 and AS 2689.

14.4 Window and Sliding Doors

Sliding and other timber windows and sliding doors shall be manufactured in accordance with AS 2146 and be installed in accordance with AS 2147.

Aluminium windows and sliding doors shall be installed in accordance with manufacturer's instructions.

All glazing shall comply with AS 1288 or Part 3.6 BCA 96 Housing Provisions.

14.5 Architraves and Skirting

Provide architraves and skirting as nominated on the drawings or listed on the Schedule of Works.

14.6 Cupboards/Kitchens/Bathroom

Units shall be installed to manufacturer's recommendations. Bench tops shall be in a water resistant material.

14.7 Stairs, Balustrades and other Barriers

Provide stairs or ramps to any change in levels, and balustrades or barriers to at least one side of ramps, landings and balconies as per BCA Housing Provisions, Part 3.9.1 for stair construction and 3.9.2 for balustrades.

15.0 SERVICES

15.1 Plumbing

All plumbing shall comply with the requirements of the Supply Authority and the work is to be carried out by a licensed plumber.

Fittings shall be supplied and installed as specified.

15.2 Electrical

Provide all labour and materials necessary for the proper installation of electricity service by a licensed electrician in accordance with AS 3000, AS 3006 and the requirements of the local Supply Authority. unless otherwise specified, the electrical service shall be 240 volt, single phase supply.

15.3 Gas

All installation (including LPG) shall be carried out in accordance with the rules and requirements of the Supply Authority.

15.4 Smoke Detectors

Provide and install smoke alarms manufactured in accordance with AS 3786 as specified or as indicated on plan and in accordance with Part 3.7.2 BCA 96 Housing Provisions.

16.0 TILING

16.1 Materials

Cement mortar and other adhesives shall comply with AS 3958.1 according to trade practices.

16.2 Installation

Installation of tiles shall be in accordance with AS 3958.

All vertical and horizontal joints between walls and fixtures e.g. benchtop, bath etc., to be filled with flexible mould resistant grout. Where practicable spacing between tiles should be even and regular. Provide expansion joints where necessary. As tiles are made of natural products a slight variation in colour is acceptable.

16.3 Walls

Cover wall faces where indicated on the drawings with selected neatly grouted tiles. Tiles are to be fixed to wall sheeting with approved adhesives. Provide all necessary strips, vent tiles and recess fittings.

16.4 Floors

Lay selected floor tiles in sand and cement mortar or approved adhesive to areas indicated on the drawings. If required, fit approved edge strips or metal angle to exposed edges in doorways or hobless showers as per AS 3740. Provide adequate and even fall to wastes where necessary.

17.0 PAINTING

17.1 General

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

18.0 PRIME COST ITEMS

List hereunder all P.C. Allowances

Kitchen and Vanity Cupboards (kitchen sink included)		\$.....
Stove/Wall Oven/Hot Plates		\$.....
Bath per item	per item	\$.....
W.C. Suites	per item	\$.....
Laundry Tub		\$.....
Entry Door		\$.....
Door Furniture		\$.....
Garage Door		\$.....
Hot Water System		\$.....
Shower Screen		\$.....
Wall and Floor Tiles supply only		\$...../m
Bricks		\$...../ ,000

19.0 SIGNATURES

This is the specification referred to in the Building Agreement No. Date:

Signed by the said

Owner in the

Presence of

Witness

Owner's Signature

Date

Witness

Owner's Signature

Date

Signed by the said

Contractor in the

Presence of

Witness

Contractor's Signature

Date

THE BELONGING HOMES

ph: (02) 9629 3078
fax: (02) 9629 3872

Builder's Licence No. 89678C
ER ACN 080 941 948
ABN 16 749 190 120

COUNCIL COPY

THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

REGISTER COPY

'D' RESTRICTION ON USE OF LAND 'D' (ON-SITE DETENTION-APPROX. POSITION)
'E' POSITIVE COVENANT 'E' (ON-SITE DETENTION-APPROX. POSITION)
'F' COVENANT - 5972995
'G' COVENANT - 5973006

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PLANS ARE NOT TO BE SCALED.

Issue	Revision	Date
'A'	FOR COUNCIL	13-03-02

The ALBERTINE

For

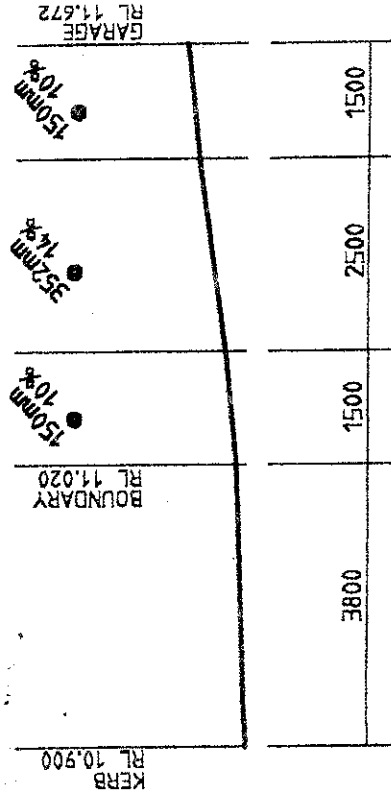
Mr & Mrs HANDLEY
Lot 2055/ 23 Valley View Crt
WARRIEWOOD

(PITTSWATER COUNCIL)

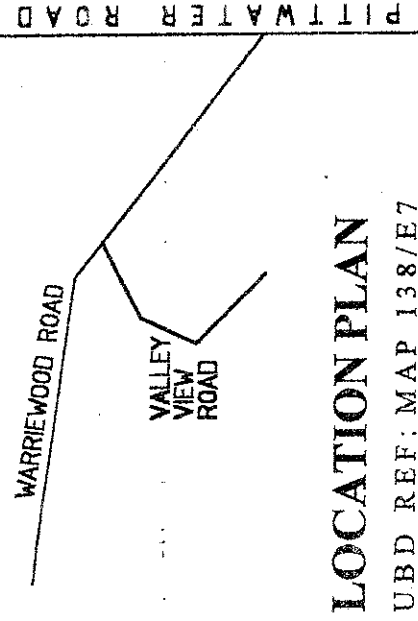
SITE PLAN

Drawn	Scale
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1/10



SCALE 1:100 (652mm Gradient)

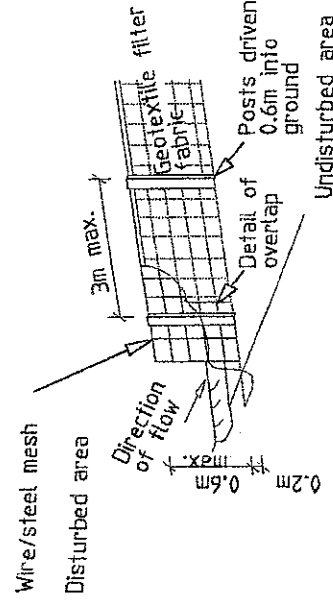


UBD REF: MAP 138/E7

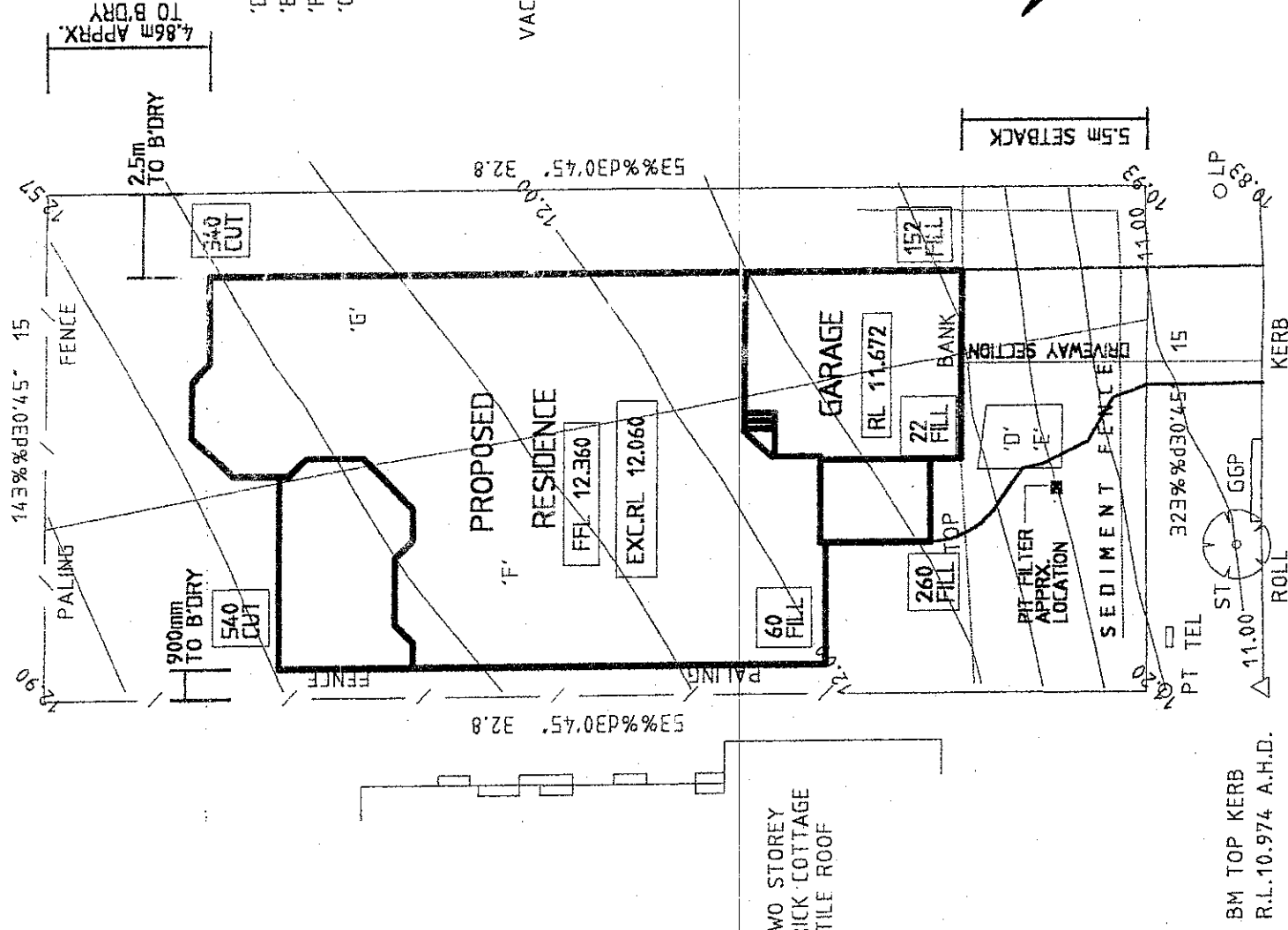
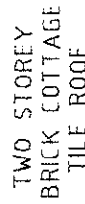
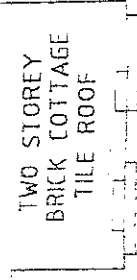
GROUND FLOOR LIVING: 168.00
FIRST FLOOR LIVING: 155.17
DOUBLE GARAGE: 35.86
PATIO/S: 29.39
BALCONY: 6.88
DRIVEWAY APPROX.: 45.00 approx.

(not including 5% for rear patio per council requirements)

Drainage area 0.6ha max. Slope gradient 1:2 max.
Slope length 60m max.



DETAIL NOT TO SCALE

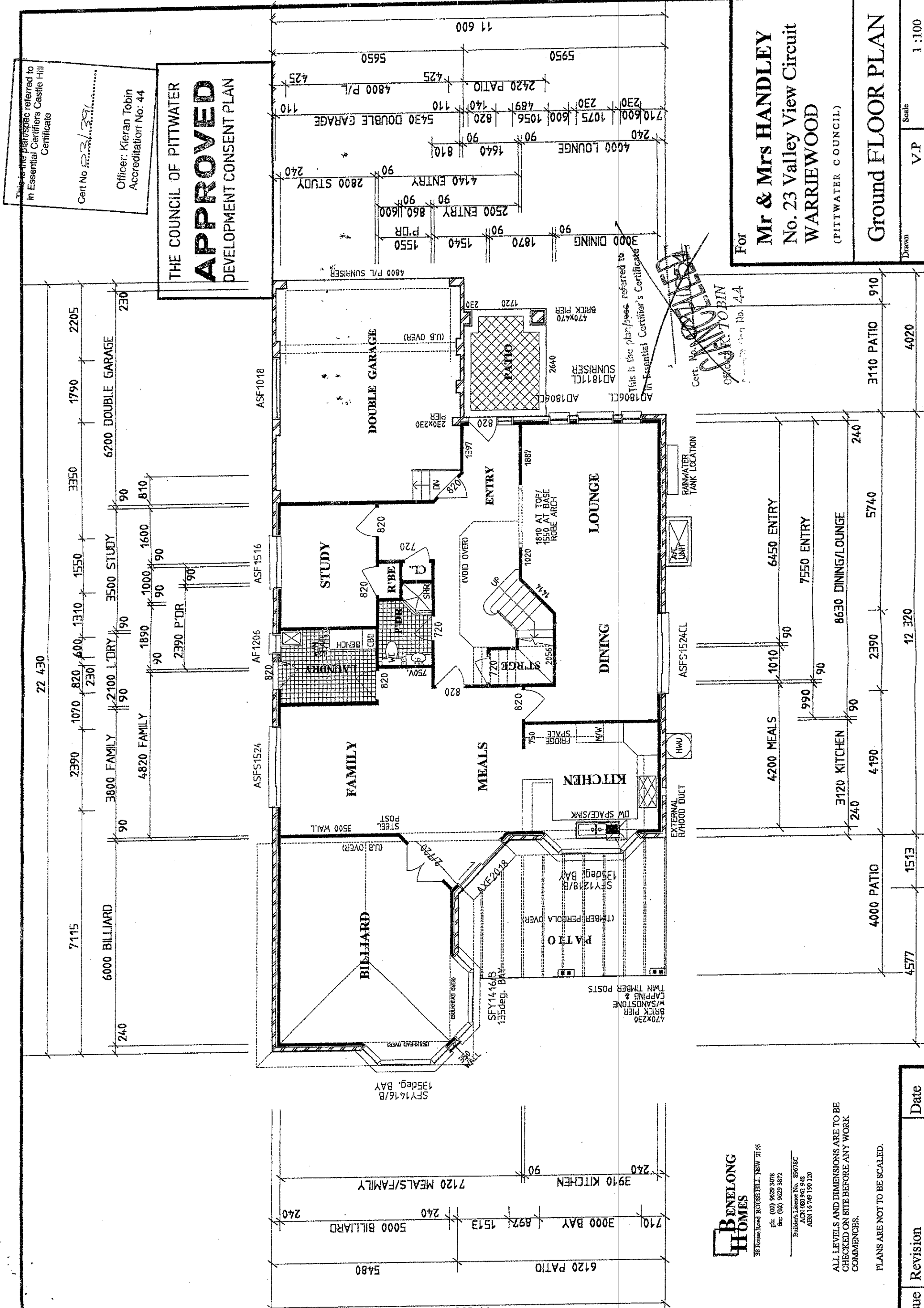


VACANT

TWO STOREY
BRICK COTTAGE
TILE ROOF

BM TOP KERB
R.L. 10.974 A.H.D.

VALLEY VIEW CIRCUIT



This is the plan/spec referred to in Essential Certifiers Castle Hill Certificate
Cert No. 23/39/

Officer: Kieran Tobin
Accreditation No: 44

THE COUNCIL OF PITTSBURGH
APPROVED
DEVELOPMENT CONSENT PLAN

For
Mr & Mrs HANDLEY
No. 23 Valley View Circuit
WARRIEWOOD
(PITTSBURGH COUNCIL)
Ground FLOOR PLAN
Scale 1:100
V.P.
2/10

BENELONG HOMES
30 Rouse Road ROUSE HILL NSW 2155
ph: (02) 9629 3078
fax: (02) 9629 3872
Builder's License No. 88678C
ACN 880 941 948
ABN 16 746 150 120

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'A'	FOR COUNCIL	13-03-02

The ALBERTINE

For
Mr & Mrs HANDLEY
No. 23 Valley View Circuit
WARRIEWOOD
(PITTWATER COUNCIL)

ELEVATION /S

Drawn	V.P.	Scale	1:100	4/10
-------	------	-------	-------	------

RIDGE RL 20.180

FCL 17.690

EAVE
RL 17.590

FFL 15.250

FCL 15.000

FFL 12.360

This is the plan/spec referred to
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Officer: Kieran Tobin
Accreditation No: 44

North - Western ELEVATION

- ROOF TILES AS SELECTED
- GUTTER AND FASCIAS AS SELECTED
- ALUMINIUM WINDOWS AS SELECTED
- BRICKWORK AS SELECTED
- BRICKWORK CORBELLING UNDER GUTTER TO GARAGE
- GARAGE SUNRISE PANEL-LIFT DOORS AS SELECTED

RIDGE RL 20.180

EAVE
RL 17.590

FCL 17.690

FFL 15.250

FCL 15.000

FFL 12.360

South - Western ELEVATION



38 Rouse Road ROUSE HILL NSW 2155

ph: (02) 9629 3078
fax: (02) 9629 3872

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ABN 16 749 190 120

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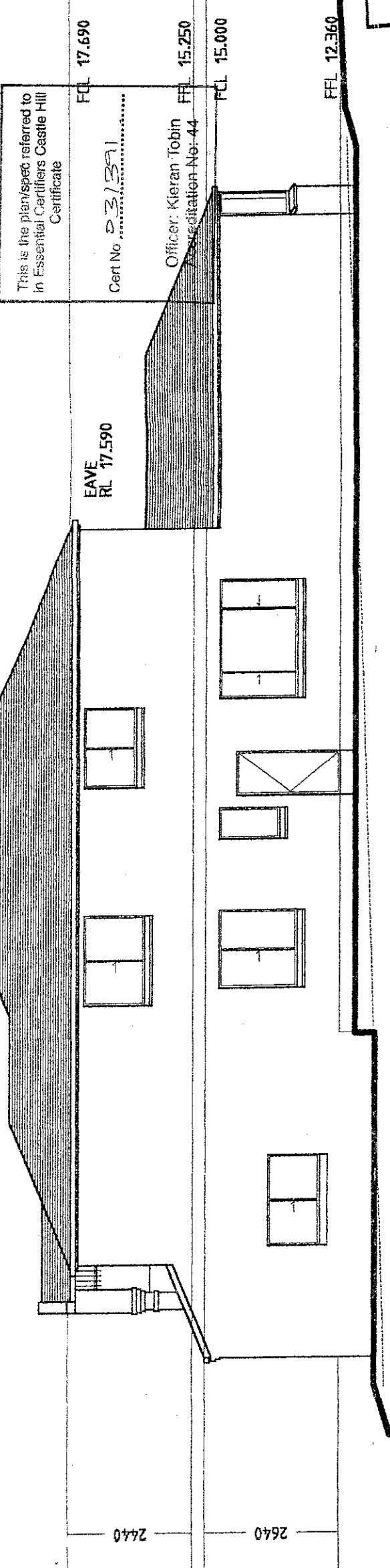
Issue	Revision	Date
'A'	FOR COUNCIL	13-03-02

The ALBERTINE

For
Mr & Mrs HANDLEY
No. 23 Valley View Circuit
WARRIEWOOD
(PITTWATER COUNCIL)

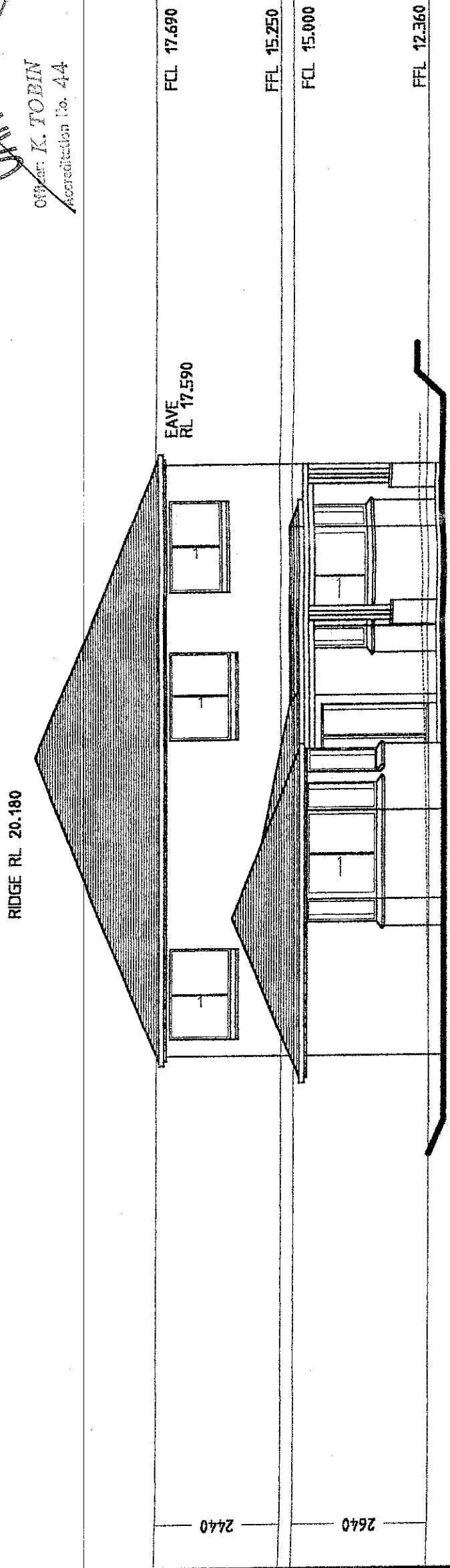
ELEVATION /S

Drawn	V.P.	Scale	1:100	5/10
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South-Eastern ELEVATION

ROOF TILES AS SELECTED
GUTTER AND FASCIAS AS SELECTED
ALUMINIUM WINDOWS AS SELECTED
BRICKWORK AS SELECTED
BRICKWORK CORBELLING UNDER GUTTER TO GARAGE



North-Eastern ELEVATION



38 Rouse Road ROUSE HILL NSW 2155

ph: (02) 9629 3078
fax: (02) 9629 3872

Builder's Licence No. 89678C
ACN 080 941 948
ABN 16 749 190 120

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'A'	FOR COUNCIL	13-03-02

The ALBERTINE

For
Mr & Mrs HANDLEY
No. 23 Valley View Circuit
WARRIEWOOD
(PITTWATER COUNCIL)

CROSS - SECTION

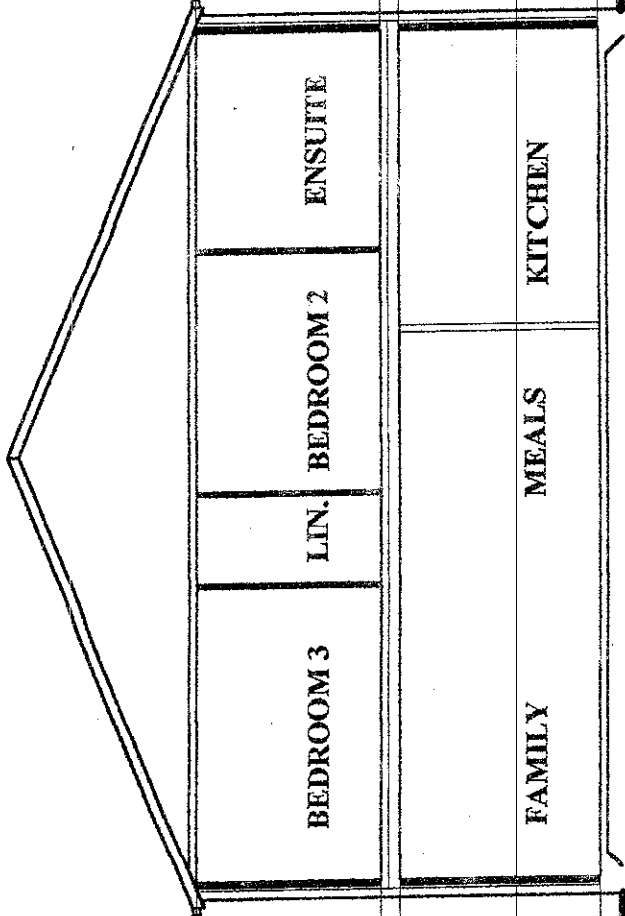
Drawn	VP	Scale
		1 : 100

ROOF TRUSSES AT 22.5 degrees PITCH TO
MANUFACTURER'S SPECIFICATIONS

100mm OVERALL EAVES
TO FIRST FLOOR ROOF ONLY

450mm OVERALL EAVES
TO REAR GROUND FLOOR ROOF ONLY

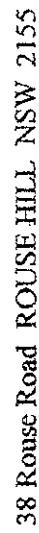
CONCRETE SLAB TO ENGINEER'S DETAILS



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CANCELLED
CHUCK K. TOBIN
13/03/02

8.12m APPROX. OVERALL HEIGHT



ph: (02) 9629 3078
fax: (02) 9629 3872

Builder's Licence No. 89678C
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Issue	Revision	Date
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The ALBERTINE

For

Mr & Mrs HANDLEY
No. 23 Valley View Circuit
WARRIEWOOD

(PITWATER COUNCIL)

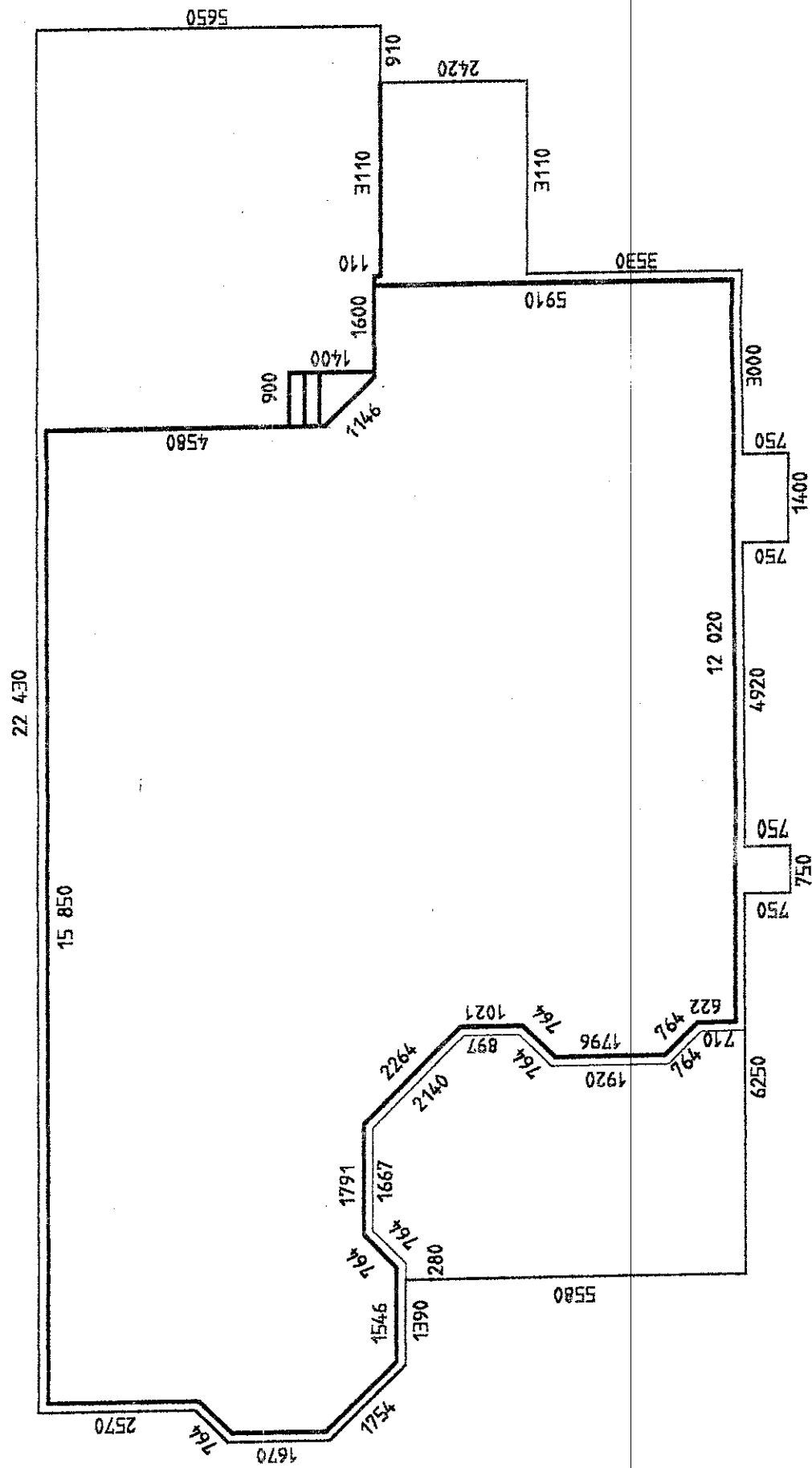
SLAB LAYOUT

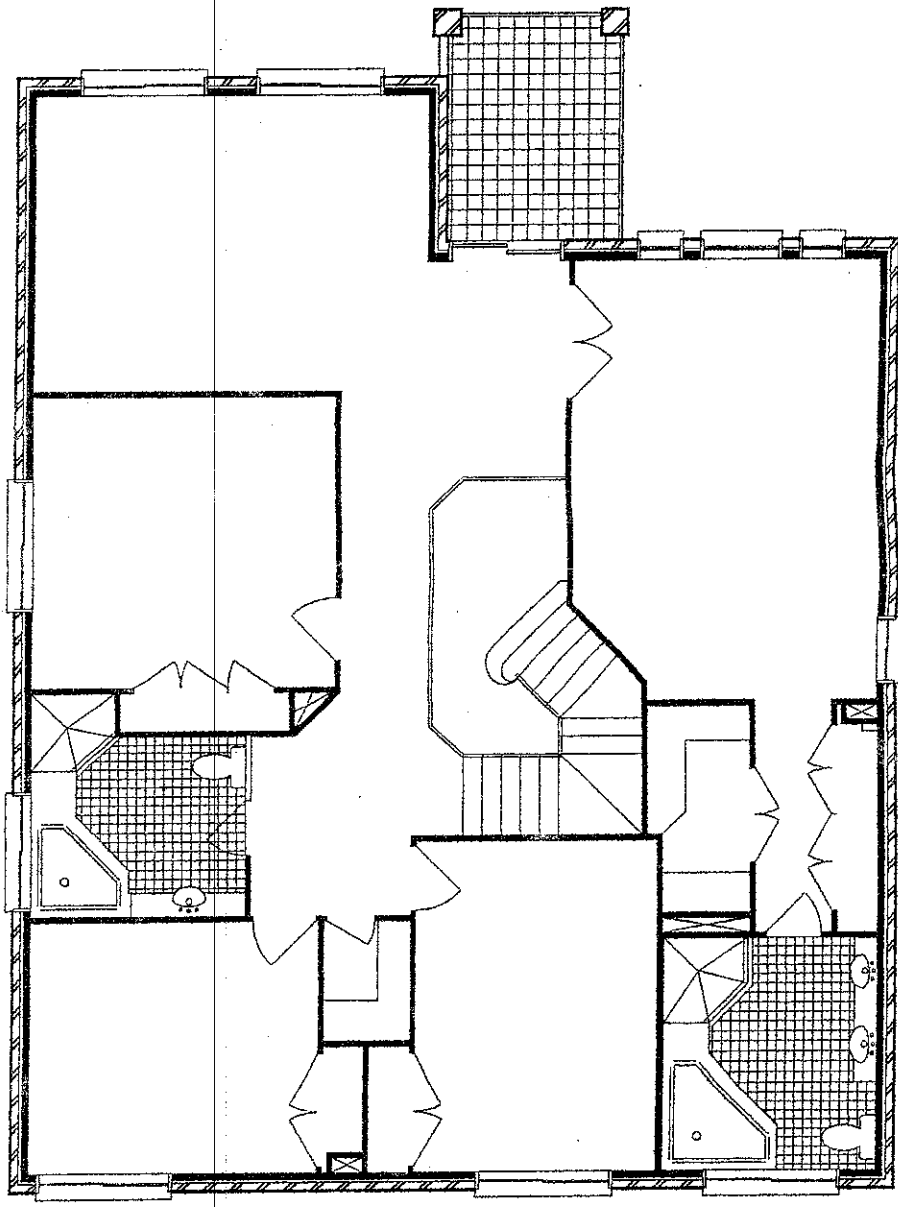
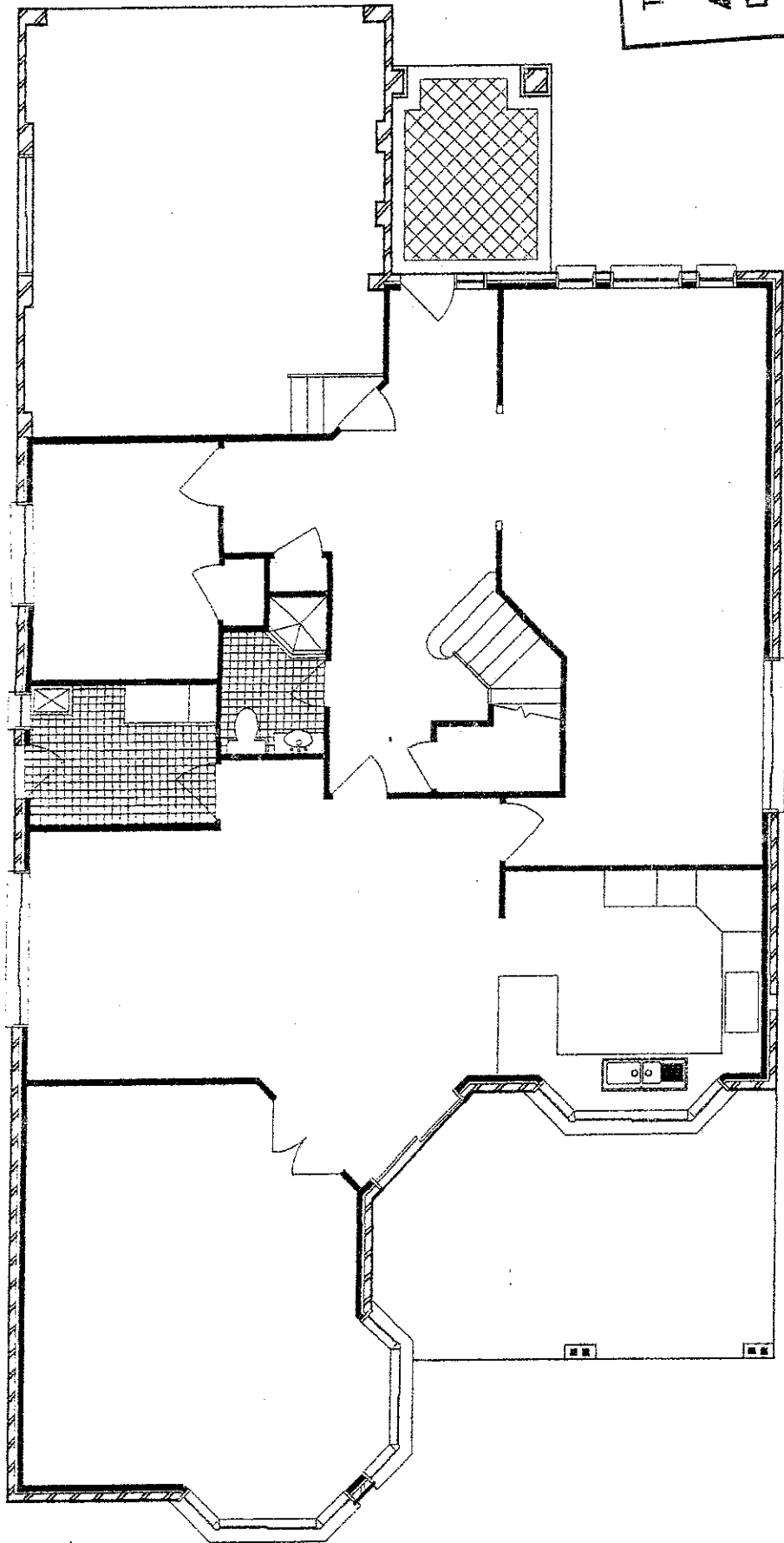
Drawn

VP

1:100

7/10





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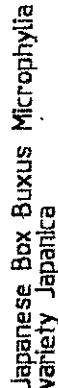
THE COUNCIL OF PITTWATER
APPROVED
DEVELOPMENT CONSENT PLAN

BENELONG HOMES
38 Ross Road ROUSE HILL NSW 2155
ph: (02) 9629 3078
fax: (02) 9629 3872
Builder's Licence No. B5678C
ACN 080 941 948
ABN 16 749 150 120

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For	Mr & Mrs HANDLEY No. 23 Valley View Circuit WARRIEWOOD (PITTWATER COUNCIL)	
Drawn	V.P.	Scale 1:100
ELECTRICAL PLAN		
		8/10

Issue	Revision	Date
'A'	FOR COUNCIL	13-03-02



BENELONG HOMES

38 Rouse Road ROUSE HILL NSW 2155

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fax: (02) 9629 3872

Builder's Licence No. 89678C
ACN 080 941 948
ABN 16 749 190 120

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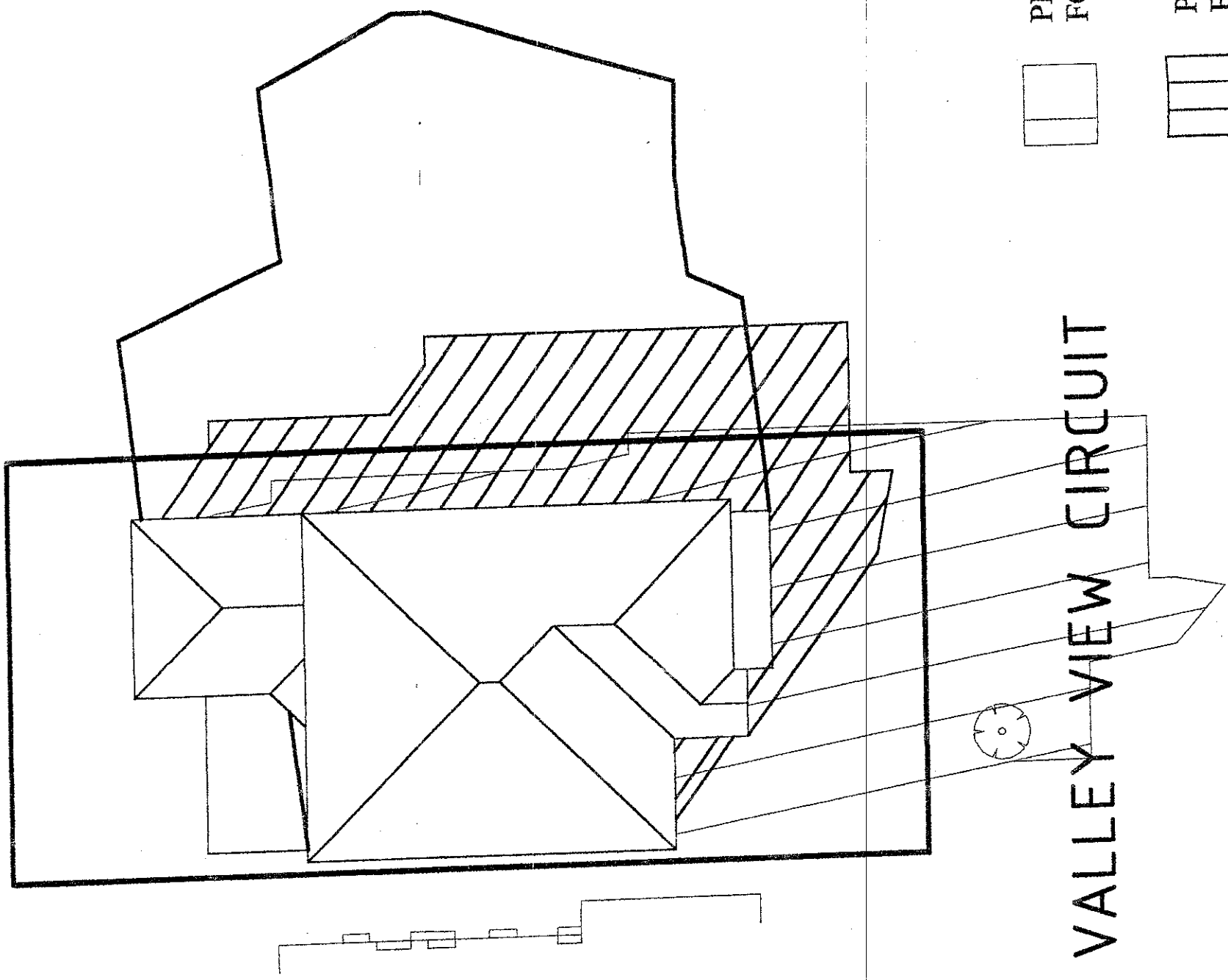
Issue	Revision	Date
'A'	FOR COUNCIL	13-03-02

The ALBERTINE

For
Mr & Mrs HANDLEY
Lot 2005/ 23 Valley View Crt
WARRIEWOOD
(PITTWATER COUNCIL)

June 21:
SHADOW DIAGRAM

Drawn	V.P	Scale	1: 200
			10/10



PROPOSED SHADOW
FOR 9AM

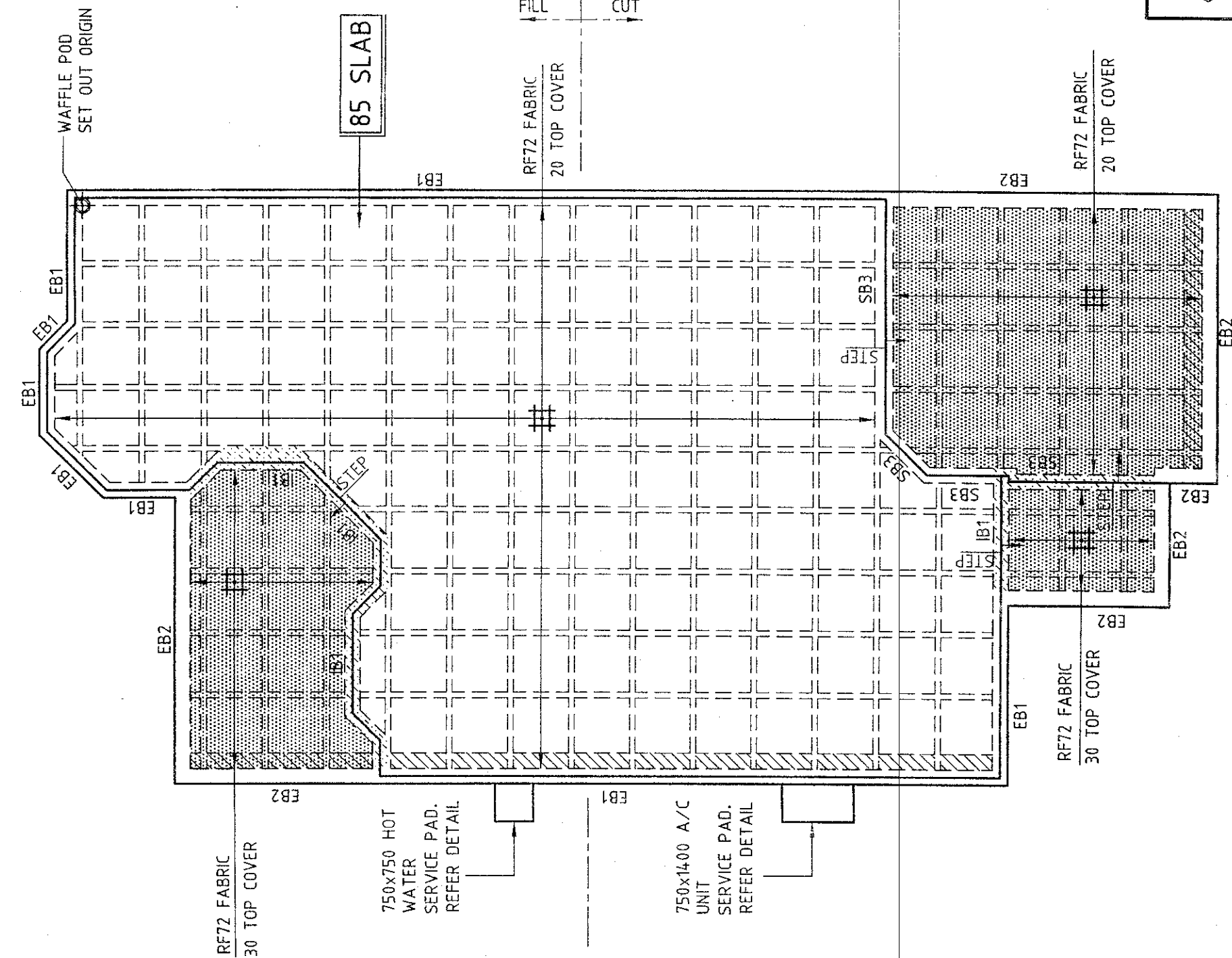
PROPOSED SHADOW
FOR 12NOON

PROPOSED SHADOW
FOR 3PM

VALLEY VIEW CIRCUIT

TRIM PODS WHERE INDICATED INTERNALLY TO ALLOW 450 x 450 WIDE PAD UNDER LOAD BEARING COLUMNS

☒ DENOTES AREA WHICH MAY BE TAPED TOGETHER IF REQUIRED - REFER SHEET 4



EASEMENT NOTE

DOCUMENTATION ON DEPTH AND LOCATION OF THE EASEMENT(S) ADJACENT TO THIS RESIDENCE IS NOT CURRENTLY AVAILABLE.

FULL EVALUATION OF THE EFFECTS OF THE EASEMENT(S) WILL BE COMPLETED UPON RECEIPT OF FURTHER INFORMATION. THIS INFORMATION WILL BE DOCUMENTED AS AN AMENDMENT TO THIS DETAIL (IF REQUIRED)

ALL CONCRETE FOR THE SLAB CONSTRUCTION TO BE COMPACTED WITH A MECHANICAL VIBRATOR

PATIO PIERING REQUIREMENTS:

☒ DENOTES LOAD BEARING AREA - TO BE PIERED IN ACCORDANCE WITH PIERING NOTES - PATIO EDGE BEAM TO BE PIERED UNDER LOAD BEARING POINTS - REFER ARCHITECTURAL DETAILS

PROVIDE 225 PODS THROUGHOUT. EXCAVATE SHADED AREA TO ACHIEVE REQUIRED STEP.

REFER FILL & PIERING NOTES - SHEET 2

GARAGE FLOOR SLAB CONSTRUCTION:

REDUCE BAR CHAIR SPACING TO 600mm CENTRES

PRINT ISSUED
10 APR 2002

ESSENTIAL CERTIFIERS

Structural Details C.C. No: 03/391.

WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

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SITE CLASSIFICATION PURSUANT TO CLAUSE 2.1.1 OF AS 2870-1996

Classification by: L.D. APPELYARD M.I.E. AUST. CPENG
Site Classification: M Dated: 15 MARCH 2002

THE FOOTING SYSTEM SPECIFIED ON THESE DRAWINGS WILL MEET THE PERFORMANCE REQUIREMENTS SET OUT IN CLAUSE 1.3 OF AS2870-1996 (RESIDENTIAL SLABS AND FOOTINGS CODE). THE FOOTINGS SYSTEM IS INTENDED TO ACHIEVE ACCEPTABLE PROBABILITIES OF SERVICEABILITY AND SAFETY OF THE BUILDING DURING ITS DESIGN LIFE. APPENDIX B OF AS2870-1996 PROVIDES INFORMATION AND GUIDANCE ON THE MAINTENANCE OF FOUNDATION SITE CONDITIONS. SUBJECT TO ADOPTION OF THESE RECOMMENDATIONS THE BUILDING MAY EXPERIENCE MINOR DAMAGE BUT OF A SEVERITY NOT EXCEEDING THE LEVELS DEFINED IN APPENDIX C OF AS2870-1996.

Appleyard Forrest Consulting Engineers Pty. Ltd. ACN No. 002 610 522 58 HILLS STREET, GOSFORD NSW 2250 UNIT 35, 7 ANELLA AVENUE, CASTLE HILL NSW 2154 SUITE 1, 407-409 BONG BONG STREET, BOWRAL NSW 2576 TEL (02) 4324 3499 FAX (02) 4324 2951 TEL (02) 9634 6311 FAX (02) 9634 6544 TEL (02) 4862 1507 FAX (02) 4862 1568		JOB NO. 323562	SHEET 1	REVISION 0
PROJECT PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEYVIEW CIRCUIT, WARRIEWOOD L.D. APPELYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)		DRAWN OFF	CHECKED J.P.	SCALE 1:100
		DESIGNED LDA	DATE 08.04.02	SHEET 1 SET OF 8



SLAB LAYOUT PLAN
1:100
DESIGN : ALBERTINE

A. GENERAL

- A.1 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE ARCHITECT'S DRAWING.
- A.2 ALL SET OUT DIMENSIONS ARE TO BE OBTAINED FROM THE ARCHITECT'S DRAWING UNLESS SPECIFIC DIMENSIONS ARE GIVEN ON THE ENGINEERING DRAWINGS.
- A.3 THIS DRAWING SHOULD NOT BE SCALED.
- A.4 ALL MATERIALS AND WORKMANSHIP ARE TO BE OF THE HIGHEST STANDARD AND IN ACCORDANCE WITH ANY RELEVANT S.A.A CODE RELATING TO THEIR APPLICATION. CERTIFICATES TO THIS EFFECT FROM A N.A.T.A APPROVED TESTING LABORATORY SHALL BE FURNISHED ON REQUEST.
- A.5 DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART OF THE STRUCTURE SHALL BE OVER STRESSED.
- A.6 STRUCTURAL ELEMENTS HAVE BEEN DESIGNED FOR THE FOLLOWING SUPERIMPOSED LIVE LOADINGS:

RESIDENCE __1.5 kPa GARAGE __3.0kPa

B. EXCAVATOR

- B.1 ALL EXCAVATION AND BACKFILL SHALL BE CARRIED OUT NEATLY TO THE LINES, LEVELS AND GRADES SPECIFIED.
- B.2 ANY BACKFILL MATERIAL REQUIRED OR SPECIFIED SHALL BE COMPACTED GENERALLY TO A DENSITY EQUIVALENT TO AT LEAST 95% OF ITS MAXIMUM DRY DENSITY (TEST METHOD IN ACCORDANCE WITH AS1289-E1.1- STANDARD COMPACTIVE EFFORT).
- B.3 FILL MATERIAL BENEATH EDGE BEAMS TO BE COMPACTED IN ACCORDANCE WITH CLAUSE 6.4.2 OF AS2870-1996 & AS SPECIFIED IN NOTE B2.
- B.4 ALL TOP SOIL, VEGETATION AND DELETERIOUS MATERIAL SHALL BE STRIPPED FROM THE BUILDING PLATFORM PRIOR TO THE COMMENCEMENT OF EARTHWORKS.

C. FOOTINGS

- C.1 FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 150 kPa ON CLAY FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION PROCEEDING.
- C.2 IF THE SITE HAS BEEN THE SUBJECT OF A GEOTECHNICAL INVESTIGATION REQUIRING ADHERENCE TO PARTICULAR CONSTRUCTION PROCEDURES AND/OR TECHNIQUES, THE REQUIREMENTS OF THE APPROPRIATE GEOTECHNICAL ENGINEER'S REPORT SHALL BE COMPLIED WITH IN FULL.
- C.3 IF THE SITE CONDITIONS ENCOUNTERED APPEAR TO DIFFER SUBSTANTIALLY FROM THE CONDITIONS DEPICTED ON THIS PLAN OR REPORTED IN THE GEOTECHNICAL REPORT, THE STRUCTURAL ENGINEER AND/OR THE GEOTECHNICAL ENGINEER SHOULD BE NOTIFIED IMMEDIATELY.
- C.4 STRIP FOOTING AND EDGE BEAM DEPTHS ARE MINIMUM REQUIREMENTS ONLY AND SHOULD BE INCREASED AS REQUIRED TO PENETRATE TOP SOIL COVER AND PROVIDE A MINIMUM PENETRATION OF 100mm INTO FIRM AND UNIFORM NATURAL MATERIAL.

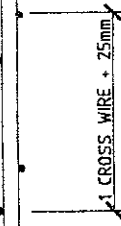
D. STEEL FIXER

- D.1 ALL REINFORCING BAR AND FABRIC SHALL BE DESIGNATED AS SHOWN IN THE FOLLOWING TABLE AND SHALL COMPLY WITH THE APPROPRIATE CODES AS NOTED:

SYMBOL	TYPE
R	STRUCTURAL GRADE ROUND BARS TO AS1302-1991 (230MPa)
S	STRUCTURAL GRADE DEFORMED BARS TOAS1302-1991 (230MPa)
Y	TEMPCORE DEFORMED BARS TO AS1302-1991 (410MPa)
F	FABRIC TO AS1304-1991 (450MPa)

NOTE: THE NUMBER FOLLOWING THE SYMBOL IS THE BAR DIAMETER IN MILLIMETRES.

- D.2 MINIMUM LAP TO FABRIC TO BE AS SHOWN IN THE DIAGRAM BELOW:



- D.3 TRENCH MESH SHALL BE SPLICED WHERE NECESSARY BY A LAP OF 500mm. ALL CROSS WIRES TO TRENCH MESH SHALL BE CUT FLUSH WITH OUTER MAIN WIRES.
- D.4 SPLICES IN REINFORCEMENT SHALL BE MADE IN ACCORDANCE WITH THE PROVISIONS OF TABLE 13.1.2.2.A OF AS3600-1994 OR IN ACCORDANCE WITH THE FOLLOWING TABLE:-

BAR SIZE	Y12	Y16	Y20	Y24	Y28	Y32
SPLICE LENGTH	400	600	800	1200	1200	1200

- D.5 ALL REINFORCEMENT SHALL BE SUPPORTED AT 1000mm MAXIMUM CENTRES TO MAINTAIN THE NOMINATED POSITION AND COVER.

- D.6 WELDING OF REINFORCEMENT OTHER THAN TACK WELDING FOR PURPOSE OF MAINTAINING BARS IN CORRECT POSITION IS NOT PERMITTED UNLESS SPECIFICALLY NOMINATED ON THE DRAWINGS OR AS DIRECTED BY THE ENGINEER.

E. CONCRETE

- E1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
- E2. CONCRETE QUALITY:
- | ELEMENT | SUMP | MAX. SIZE AGG. | CEMENT TYPE | AS3600 FC | AD MIXTURE | MIN. CEMENT CONTENT PER M³ |
|---------|------|----------------|-------------|-----------|------------|----------------------------|
| ALL | 80 | 20 | GP/GB | 20MPa | NIL | 250 Kg |
- E3. DESIGN COVER TO THE REINFORCEMENT SHALL BE 40mm TO UNPROTECTED GROUND, 40mm TO EXTERNAL EXPOSURE, 30mm TO THE MEMBRANE IN CONTACT WITH THE GROUND AND 20mm TOWARDS THE TOP OF THE SLAB WITHIN THE ZONE DEFINED TO THE INTERNAL SURFACE. THE SLAB FABRIC SHALL BE PLACED BY THESE LIMITS.



H. RESIDENTIAL STRUCTURAL STEELWORK

- H.1 ALL STRUCTURAL STEELWORK SHALL COMPLY WITH AS 1111, AS 1112, AS 1163, AS 1554, AS 4100, AND THE A.C.S.E. STRUCTURAL STEEL FABRICATION & ERECTION SPECIFICATIONS WHERE DEEMED APPROPRIATE BY THE CONTRACT DOCUMENTS.

- H.2 ABBREVIATIONS USED ARE AS FOLLOWS:

UB - UNIVERSAL BEAM
UC - UNIVERSAL COLUMN
PFC - PARALLEL FLANGE CHANNEL
EA - ROLLED STEEL EQUAL ANGLE
UA - ROLLED STEEL UNEQUAL ANGLE
RHS - RECTANGULAR HOLLOW SECTION
SHS - SQUARE HOLLOW SECTION
B.W. - BUTT WELD
F.W. - FILLET WELD

- H.3 THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE BUILDER'S RESPONSIBILITY. ADEQUATE TEMPORARY BRACING SHALL BE PROVIDED WHERE NECESSARY AND AS DIRECTED BY THE SUPERVISING ENGINEER.

- H.4 ALL SHOP CONNECTIONS SHALL BE FULLY WELDED UNLESS NOTED OTHERWISE.

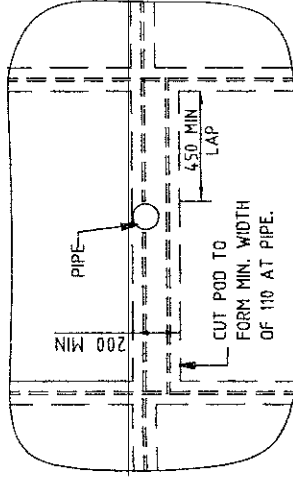
- H.5 PROVIDE 6mm MINIMUM FILLET WELDS, M20 BLACK BOLTS & 10mm CONNECTION PLATES UNLESS SPECIFICALLY NOTED OTHERWISE.

- H.6 ALL BOLTS SHALL BE IN 2mm CLEARANCE HOLES UNLESS NOTED OTHERWISE.

- H.7 SURFACE TREATMENT AND COATINGS SHALL BE AS SPECIFIED IN THE TABLE:

MEMBER	MARK	SURFACE PREPARATION	COATING
INTERNAL	---	ABRASIVE BLAST CLASS 2.5	R.O.Z.P. (2 COATS)
EXTERNAL LINTELS	---	REFER EXPOSURE GRADE MASONRY NOTE ON DRAWING No 1	

- H.8 CONCRETE ENCASED STEELWORK SHALL BE WRAPPED WITH 10 S.W.G WIRE AT 100mm PITCH AND SHALL HAVE A MINIMUM CONCRETE COVER OF 150mm UNLESS NOTED OTHERWISE.



PIPE PENETRATION THROUGH RIB

PIERING WORKS NOTES
(BRICK VENEER CONSTRUCTION)

- P1 FINAL DEPTH & EXTENT OF PIERING WORKS TO BE DETERMINED ON SITE SUBJECT TO THE RESULTS OF THE TEST HOLE/INITIAL EXCAVATION AND VERIFICATION BY THE STRUCTURAL ENGINEER.

- P2 WHERE REQUIRED, ALL PIERING IS TO CONFORM TO THE FOLLOWING TABLE:

BEARING STRATA	DESIGN BEARING CAPACITY	SINGLE STOREY	DOUBLE STOREY
SAND	100 kPa	800mm x 300mm BUCKET PIERS @ 1800mm MAX. C/C.	CONTINUOUS EDGE BEAM DEEPENING.
CONTROLLED CLAY FILL	150 kPa	700mm x 300mm BUCKET PIERS @ 1800mm MAX. C/C.	CONTINUOUS EDGE BEAM DEEPENING OR 800mm x 300mm BUCKET PIERS @ 1200mm MAX. C/C.
STIFF NATURAL CLAY	250 kPa	400mmØ BORED PIERS @ 1800mm MAX. C/C.	400mmØ BORED PIERS @ 1500mm MAX. C/C.
SHALE/ROCK	450 kPa	300mmØ BORED PIERS @ 1800mm MAX. C/C.	400mmØ BORED PIERS @ 1800mm MAX. C/C.

- P3 PIER REINFORCEMENT TO BE DIRECTED BY ENGINEER ON SITE. TOP OF PIERS TO BE FINISHED SMOOTH & LEVEL. CLEAN TOP OF PIERS PRIOR TO PLACEMENT OF PLASTIC. TERMINATE PIER REINFORCEMENT (IF REQUIRED) 65mm FROM TOP OF PIERS.

- P4 WHERE SHALE OR ROCK STRATA ENCOUNTERED LESS THAN 600mm BELOW FINISHED GROUND LEVEL, PROVIDE PIERS TO SHALE OR ROCK STRATA IN ACCORDANCE WITH PIERING WORKS NOTES SCHEDULE.

- P5 WHERE PIERS ARE REQUIRED ADJACENT TO SERVICE TRENCHES, THE STRATA ENCOUNTERED ADJACENT TO THESE SERVICE TRENCHES MUST BE ENCOUNTERED THROUGHOUT THE REMAINDER OF THE DWELLING.

NOTE:

THESE DETAILS CONFORM WITH THE RECOMMENDED DESIGN PROVIDED IN AS2870-1996 AUSTRALIAN STANDARD FOR RESIDENTIAL SLABS & FOOTINGS FOR THE SPECIFIC SITE ON THIS DRAWING.

PLUMBING PLACEMENT:

PIPES SHALL BE PLACED MINIMUM 450mm TOP OF SLAB TO TOP OF PIPE, WITH EXCEPTION OF EB3. ALTERNATIVELY, PENETRATIONS OF EDGE OR STIFFENING BEAMS SHALL BE PERMITTED THROUGH THE MIDDLE THIRD.

PODS MAY BE CUT AROUND EXPOSED PLUMBING AND ANY OTHER RESULTING GAPS MAY BE TAPED AND SEALED.

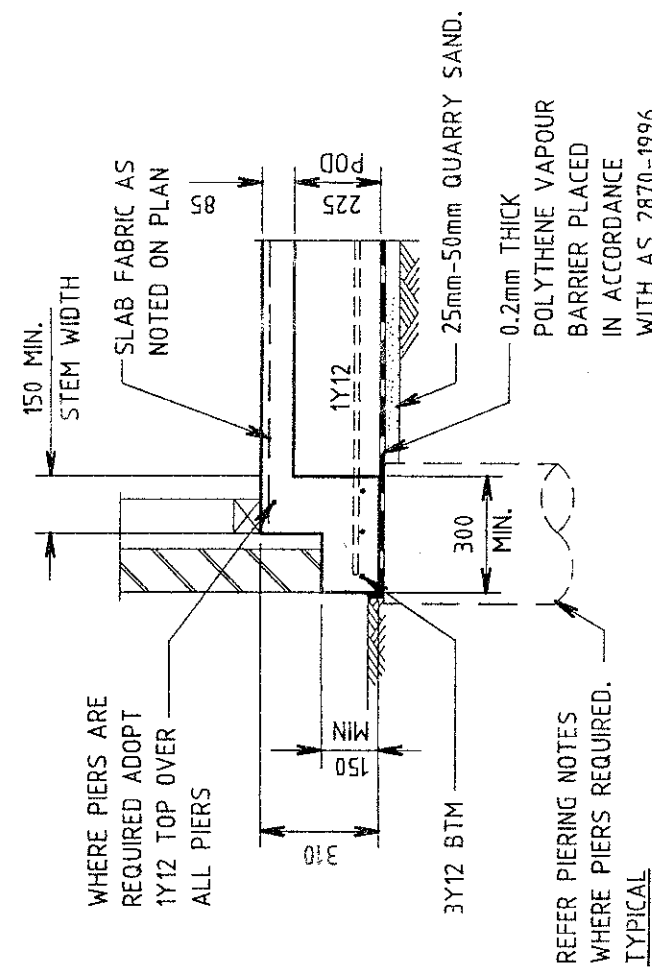
CURING:

THE CONCRETE SLAB SHALL BE CURED USING AN APPROVED COMMERCIAL CURING COMPOUND IN ACCORDANCE WITH CLAUSE 19.1.5 OF AS3600-1994. CURING OF THE CONCRETE SHALL BE THE RESPONSIBILITY OF THE FINISHING.

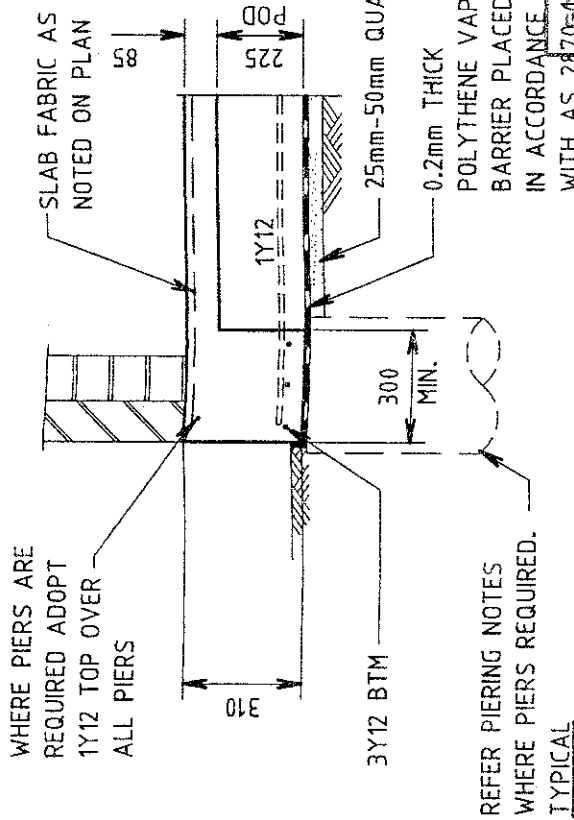
ESSENTIAL CERTIFIERS:

THE CONCRETE SLAB SHALL BE CURED USING AN APPROVED COMMERCIAL CURING COMPOUND IN ACCORDANCE WITH CLAUSE 19.1.5 OF AS3600-1994. CURING OF THE CONCRETE SHALL BE THE RESPONSIBILITY OF THE FINISHING.

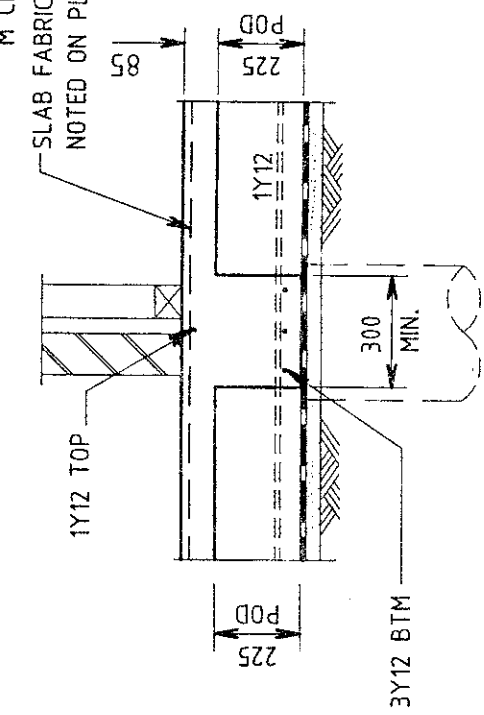
PROJECT PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD L.D. APPEYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)	JOB NO.	323562	SHEET	2	REVISION	0
	DRAWN	OFF	CHECKED	1/1/02	SCALE	
	DESIGNED	LDA	DATE	08.04.02		N/A
	SHEET	2	SET OF	8		



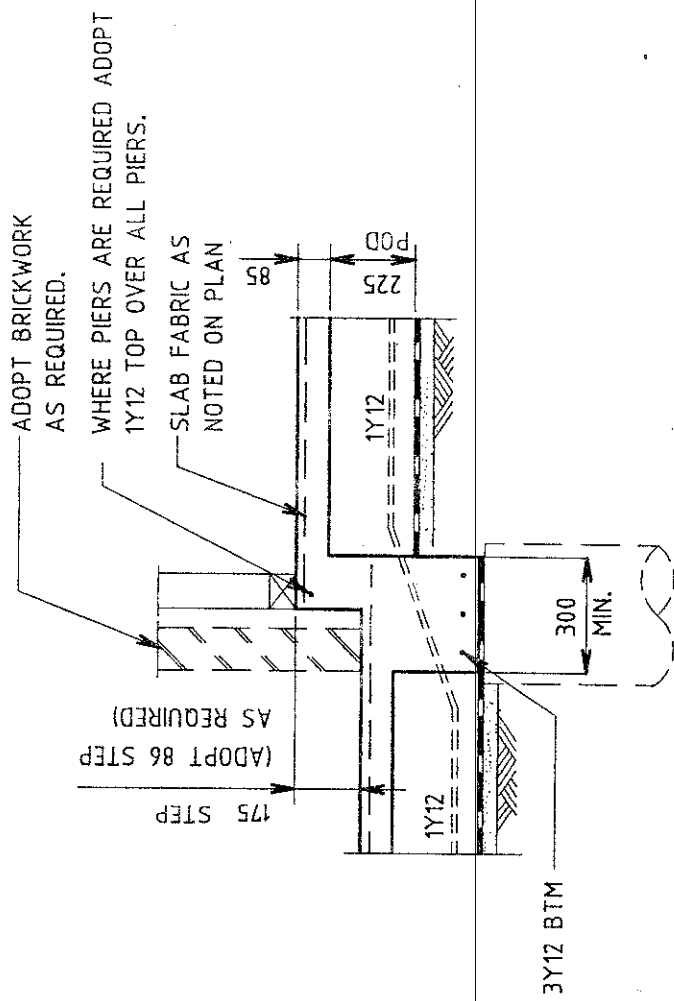
EDGE BEAM DETAIL (EB1)



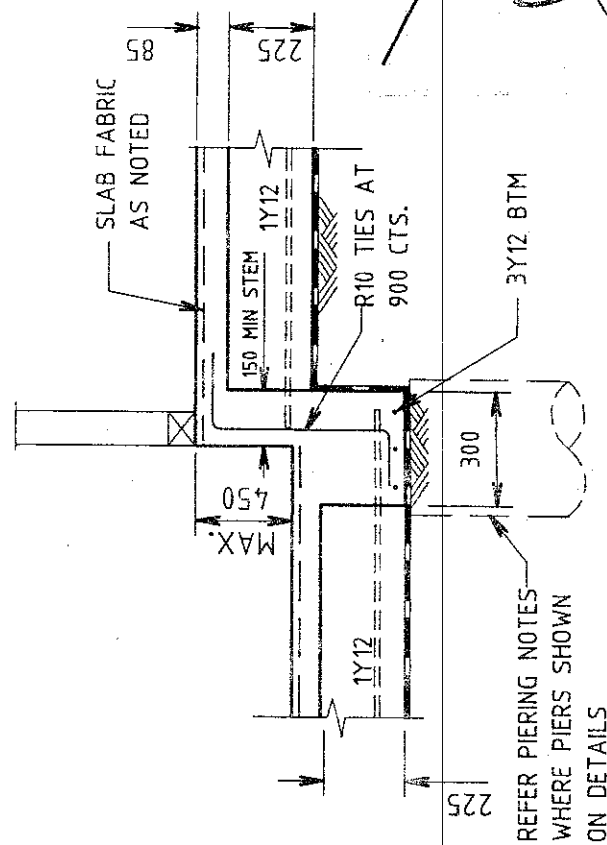
GARAGE/PATIO EDGE
BEAM DETAIL (EB2/PEB2)



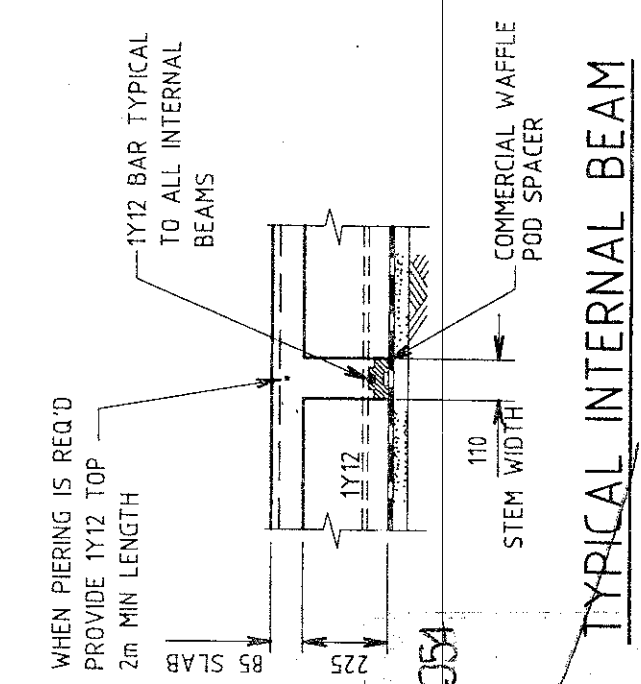
STIFFENING BEAM DETAIL
(SB1)



STEP DETAIL (IB1)



STEP DETAIL
(IB2)



TYPICAL INTERNAL BEAM
DETAIL

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10 APR 2002

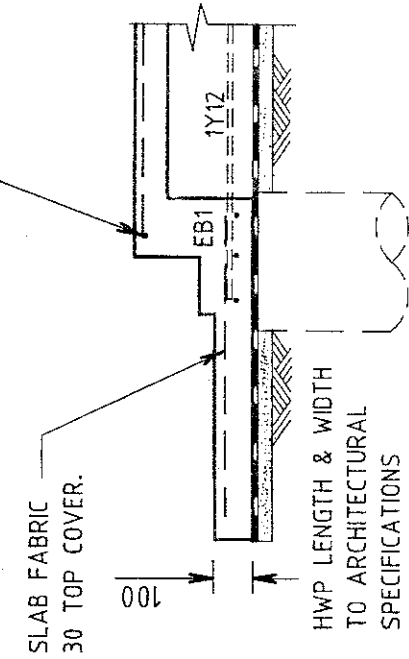
TOTAL REINFORCEMENT FOR EXTERNAL EDGE BEAMS GREATER THAN 270mm.			
BEAM BEAM BASE	TOP STEEL	BTM. STEEL	
271 - 330	1/Y12	3/Y12	
331 - 440	2/Y12	4/Y12	
441 - 550	3/Y12	5/Y12	

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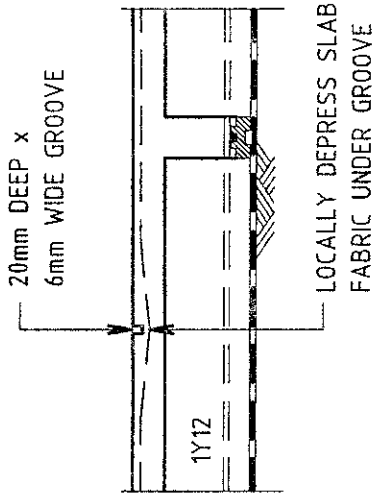
Appleyard Forrest Consulting Engineers Pty. Ltd. ACN No. 002 610 522 58 HILLS STREET, GOSFORD NSW 2250 UNIT 35, 7 ANELLA AVENUE, CASTLE HILL NSW 2154 SUITE 1, 407-409 BONG BONG STREET, BOWRAL NSW 2576 TEL (02) 4324 3499 FAX (02) 4324 2951 TEL (02) 9634 6311 FAX (02) 9634 6544 TEL (02) 4862 1507 FAX (02) 4862 1568	JOB NO.	SHEET	REVISION
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	DRAWN DFF	CHECKED LDA	SCALE 1:20
	DESIGNED LDA	DATE 08.04.02	SHEET 3 SET OF 8
PROJECT PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD L.D. APPELYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)			

REFER PLAN AND
APPROPRIATE SECTIONS
FOR EDGE BEAM (EB1)
CONSTRUCTION REQUIREMENTS



TOOLED JOINT DETAIL

(TJ ON PLAN)

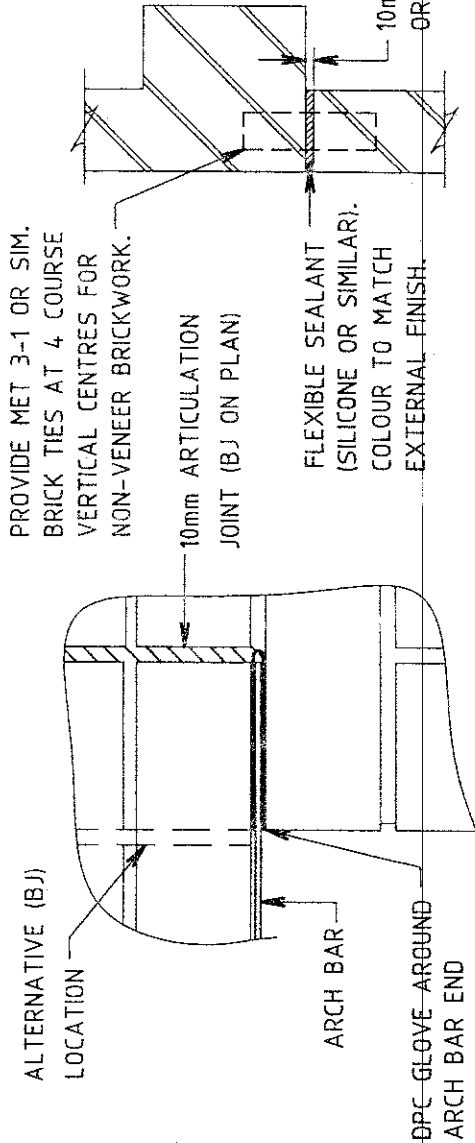


HOT WATER & A/C PAD DETAIL

(EB1)

ESSENTIAL CERTIFIERS
03/31.
Structural Details C.C. No:

WARNING: A comprehensive check of the Structural Design has not been carried out to the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.



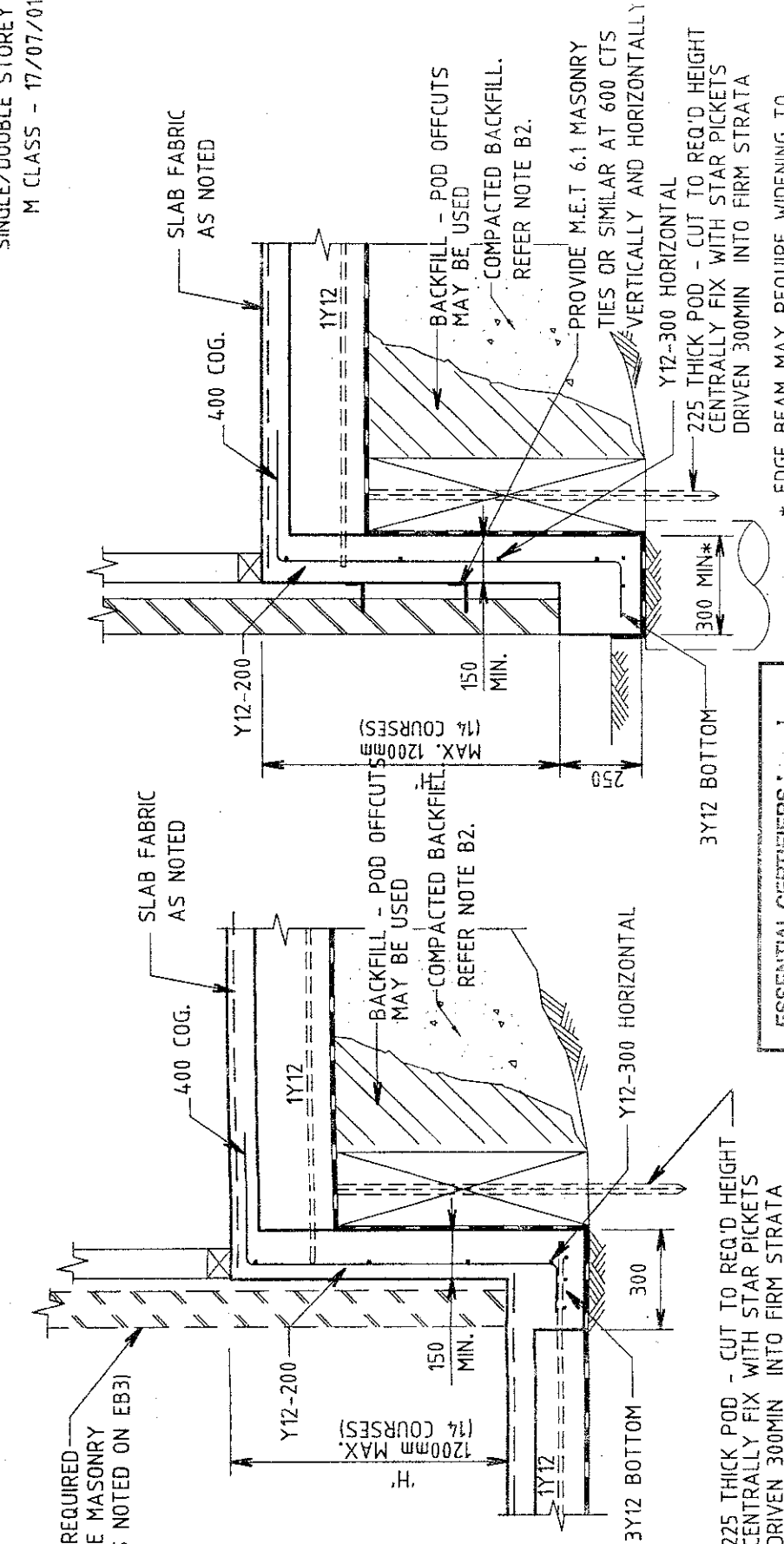
TYPICAL SLIP JOINT ELEVATION
ADOPT WHERE BJ IS LOCATED AT OPENINGS.

ALTERNATIVE BRICK JOINT DETAILS

1:10

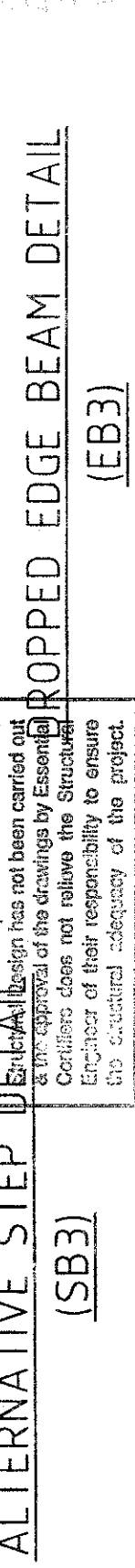
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	58 HILLS STREET, GOSFORD NSW 2250 UNIT 35, 7 ANELLA AVENUE, CASTLE HILL NSW 2154 SUITE 1, 407-409 BONG BONG STREET, BOWRAL NSW 2576	TEL (02) 4324 3499 TEL (02) 9634 6311 TEL (02) 4862 1507	FAX (02) 4324 2951 FAX (02) 9634 6544 FAX (02) 4862 1568	DRAWN DFF	DESIGNED LDA	CHECKED 10/1	DATE	08.04.02
	PROJECT PROPOSED RESIDENCE FOR MR ND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD		SHEET		4	SET OF	8	SCALE
	L.D. APPLEYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL) 10/1						1:20	1:10



ESSENTIAL CERTIFIERS' WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the structural adequacy of the project.

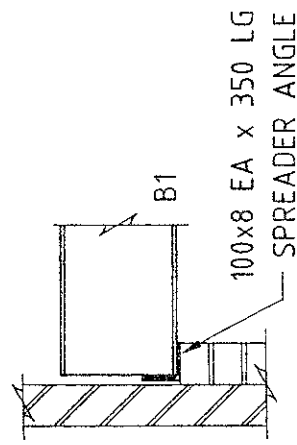
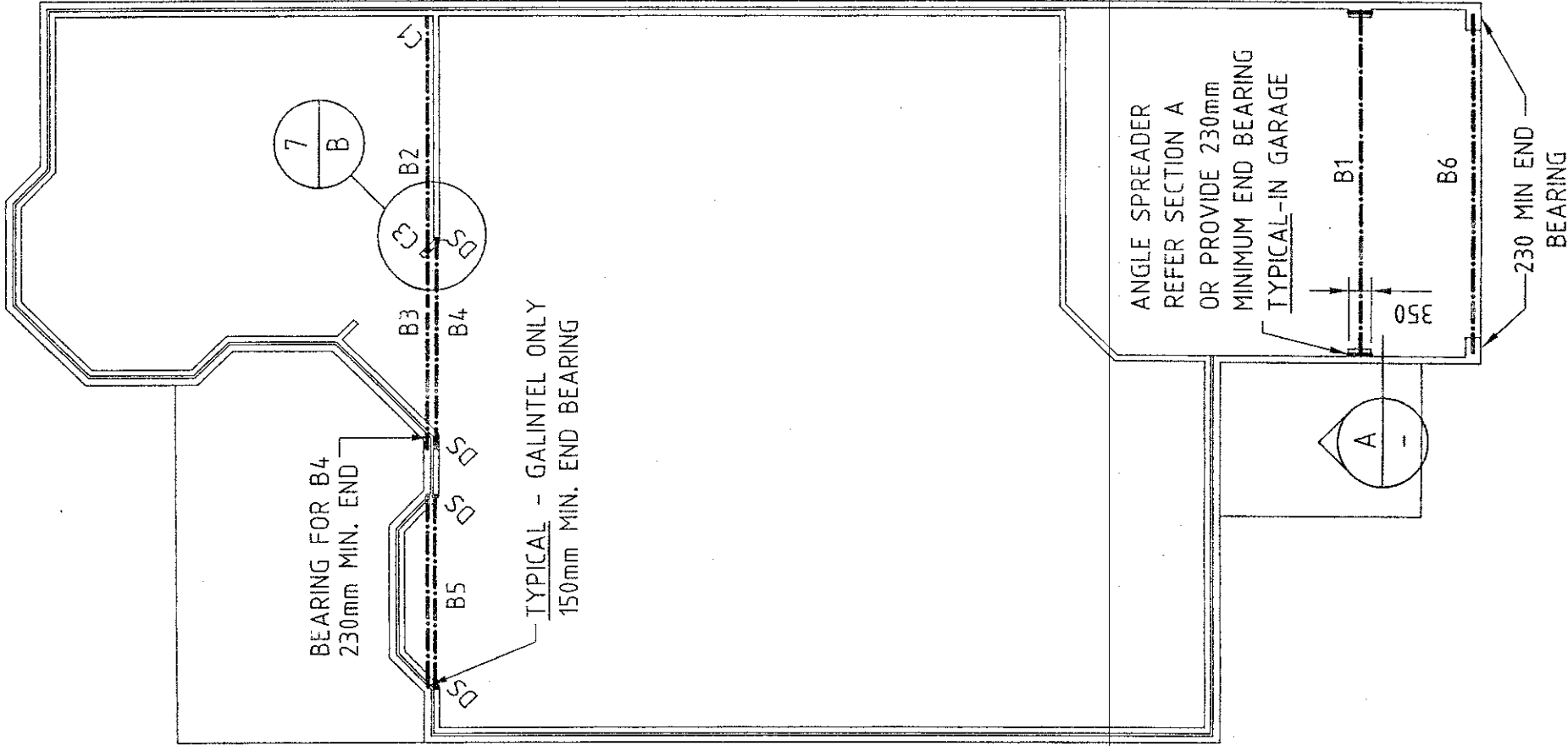
03/391-
Structural Details C.C. No.:



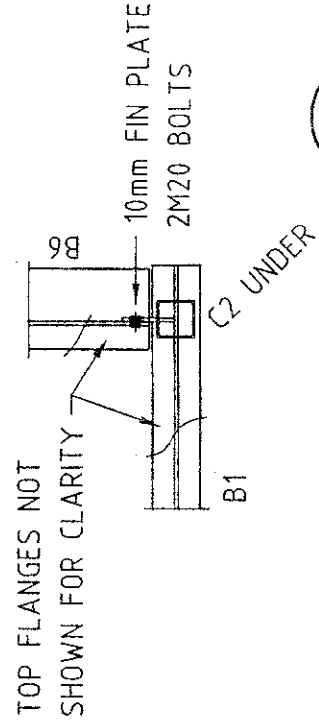
PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD	DESIGNED LDA	DATE 08.04.02
L.D. APPLEYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)	SHEET 5	SET OF 8

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		323562	5	0
		DRAWN OFF	CHECKED <i>[Signature]</i>	SCALE
		DESIGNED LDA	DATE 08.04.02	1:20
PROJECT PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD		SHEET 5	SET OF 8	
L.D. APPLEYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL) <i>[Signature]</i>				



SECTION
1:20



DETAIL
1:20

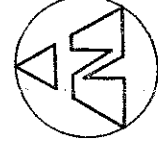
ESSENTIAL CERTIFIERS
 Structural Details C.C. No: 03/391
 WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Structural Engineer of their responsibility to ensure the accuracy of the project.

SCHEDULE OF SECTIONS

- B1 - 310 UB 40
- B2 - 250 UB 26 SUPPORTING BRICKWORK ONLY
- B3 - 150x100x10 UA & 250x10 VERTICAL PLATE SUPPORTING BRICKWORK ONLY, UP TO 3.5m MAX. CLEAR SPAN.
- B4 - 230 PFC SUPPORTING TIMBER FRAME ONLY
- B5 - 150 PFC SUPPORTING TIMBER FRAME & 150x100 GALINTEL SUPPORTING BRICKWORK
- B6 - 180 PFC & 200x10 PLATE
- C1 - 75x5.0 SHS COLUMN
- C2 - 100x5.0 SHS COLUMN
- C3 - 75x5.0 SHS COLUMN, ON SKEW
- DS - DOUBLE STUDS

STEEL BEAM MARKING PLAN

DESIGN : ALBERTINE



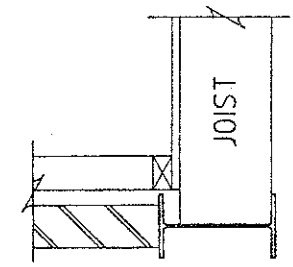
CANCELLED

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TEL (02) 4324 3499 FAX (02) 4324 2951 TEL (02) 9634 6311 FAX (02) 9634 6544 TEL (02) 4862 1507 FAX (02) 4862 1568		DRAWN	CHECKED	SCALE
PROJECT		DIFF	DATE	1:100
PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD		LDA	08.04.02	1:20
L.D. APPELYARD M.I.E. AUST. NPER-3 (CIVIL AND STRUCTURAL)		SHEET	6	SET OF 8

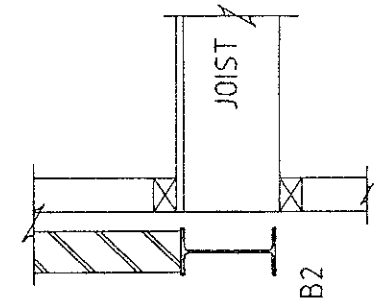




B1

B1 DETAIL

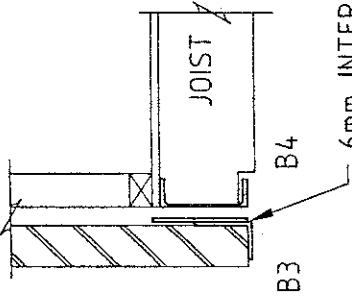
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B2

B2 DETAIL

1:20

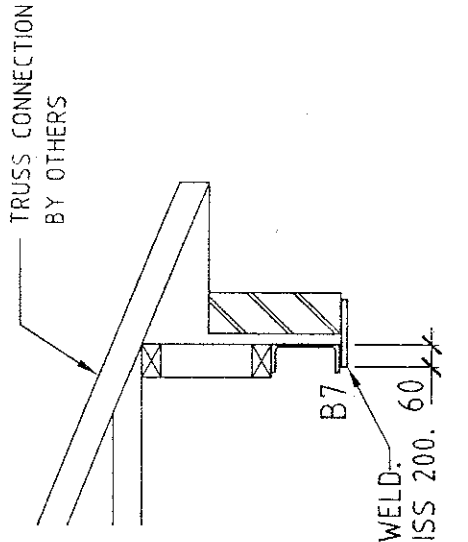


B3
B4

B3/B4 DETAIL

1:20

FOR 240mm DEEP FLOOR JOISTS



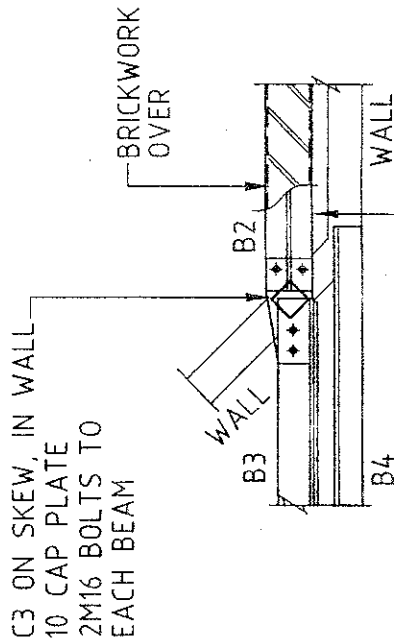
B6

B6 DETAIL

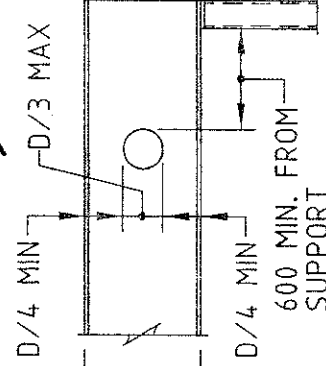
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ESSENTIAL CERTIFIERS
03/391
WARNING: A comprehensive check of the Structural Design has not been carried out & the approval of the drawings by Essential Certifiers does not relieve the Engineer of their responsibility for the structural adequacy of the design.

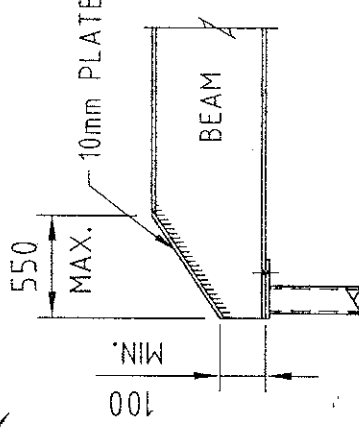
CANCELLED
02/1054



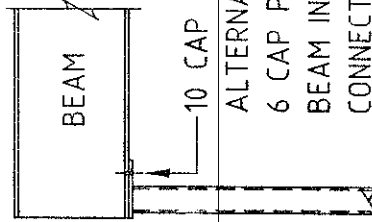
C3 ON SKEW, IN WALL
10 CAP PLATE
2M16 BOLTS TO
EACH BEAM



D/4 MIN
D/3 MAX
D/4 MIN
600 MIN. FROM
SUPPORT

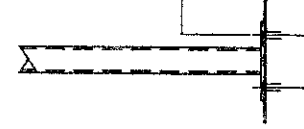


550
MAX.
10mm PLATE
MIN.



BEAM

10 CAP PLATE, 2M16 BOLTS
ALTERNATELY, PROVIDE
6 CAP PLATE WELDED TO
BEAM IN LIEU OF BOLTED
CONNECTION



10 BASE PLATE
2M16 DYNABOLTS OR
EQUIVALENT

TYPICAL CHAMFER

1:20

DETAIL

(ADOPT AS REQUIRED)

BEAM PENETRATION DETAIL

1:20

(NOTE: UNIVERSAL BEAM OPTION SHOWN,
CHANNEL OPTION SIMILAR)

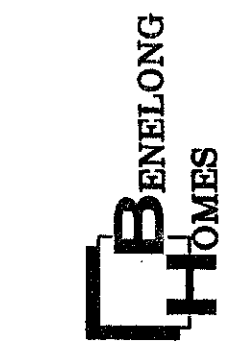
B
6

DETAIL

1:20

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TEL (02) 9634 6311
TEL (02) 4862 1507

FAX (02) 4324 2951
FAX (02) 9634 6544
FAX (02) 4862 1568

TYPICAL COLUMN

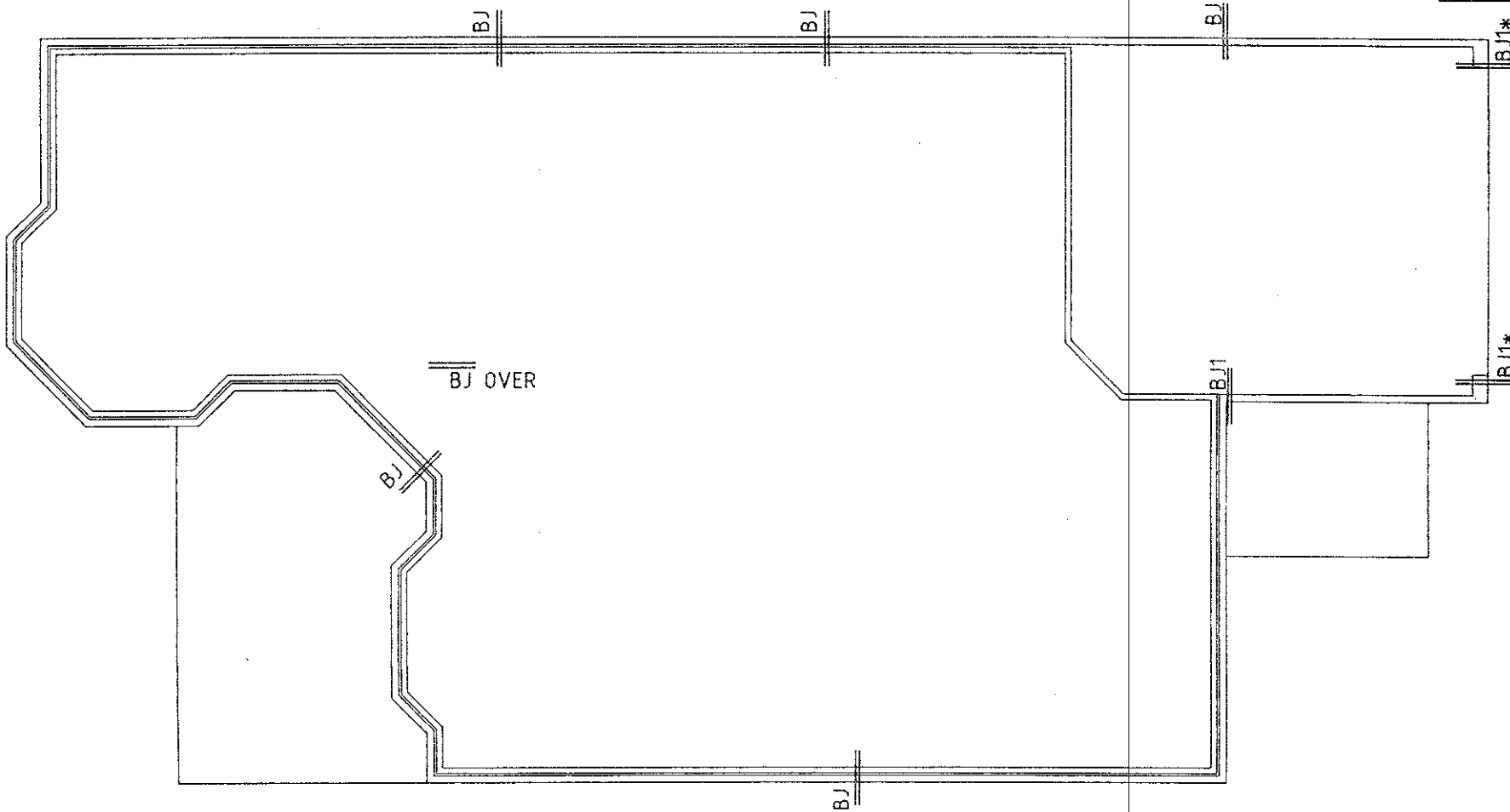
DETAIL U.N.O.

1:20

PROJECT
PROPOSED RESIDENCE FOR MR AND MRS HANDLEY
AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD

L.D. APPELYARD M.I.E. AUSTRALIAN NPER-3 (CIVIL AND STRUCTURAL)

JOB NO.	SHEET	REVISION
323562	7	0
DRAWN DFF	CHECKED %	SCALE 1:20
DESIGNED LDA	DATE 08.04.02	
SHEET 7	SET OF 8	

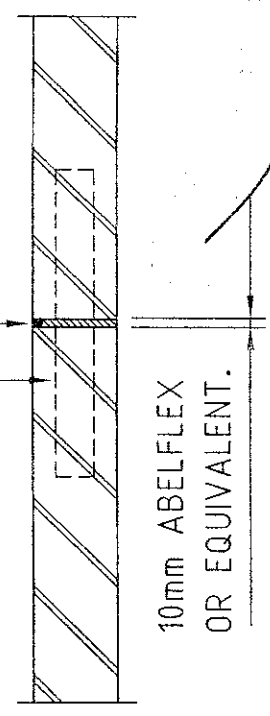


BRICK ARTICULATION DETAIL
1:100
DESIGN : ALBERTINE

REFER ARCHITECTURAL DETAILS FOR ELEVATION AND SECTION LOCATIONS.

PROVIDE MET 3-1 OR EQUIV.
BRICK TIES AT 4 COURSE
VERTICAL CENTRES FOR
NON-VENEER BRICKWORK
(IE. BJ1 ONLY).

FLEXIBLE SEALANT
(SILICONE OR EQUIV).
COLOUR TO MATCH
EXTERNAL FINISH.



ESSENTIAL CERTIFIERS
03/351
Structural Details C.C. No:
WARNING: A comprehensive check of the
Structural Design has not been carried out
the approval of the drawings by Essential
Certifiers does not relieve the Structural
Engineer of their responsibility to ensure
the adequacy of the project.

02/11054
~~CANCELLED~~

BRICK JOINT DETAIL (BJ/BANCELLED)

SCALE 1:10

DENOTED BY BJ1 ON PLAN (BJ SIMILAR BUT OMIT TIES).
REFER SHEET 4 FOR ALTERNATIVE BRICK JOINT DETAILS.

- BJ
DENOTES TYPICAL BRICK JOINT LOCATION - CONSTRUCT AS PER ARTICULATION NOTE DETAILS.
TECHNICAL NOTE TN61.
- BJ1
DENOTES BRICK JOINT LOCATION WITHIN GARAGE AREAS - PROVIDE 3.1 OR 3.3 MET BRICK TIES
OR SIMILAR APPROVED TIES AT EVERY FOURTH COURSE VERTICALLY.
- BJ1*
DENOTES BRICK JOINT LOCATION ABOVE GARAGE OPENINGS - PROVIDE MET TIES AS ABOVE IF
BRICKWORK CONTINUES ABOVE LINTEL. IF PANELLING ABOVE - MET TIES NOT REQUIRED.

BRICKWORK ARTICULATION NOTE

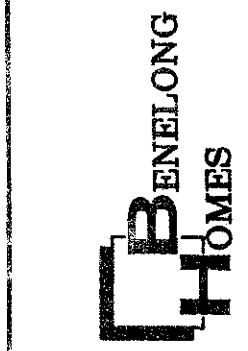
BRICKWORK IS TO BE ARTICULATED IN ACCORDANCE WITH CEMENT AND CONCRETE ASSOCIATION
TECHNICAL NOTE TN61.

THE BRICK VENEER WALLS ARE TO BE PROVIDED WITH REGULAR FULL HEIGHT 10mm WIDE BRICK
CONTROL JOINTS. PROVIDE MASTIC SEALANT TO MATCH THE COLOUR OF MORTAR TO BRICK
VERTICAL JOINTS LOCATED WITHIN THE FRONT OF THE PROPOSED RESIDENCE.

ALL OTHER JOINTS TO THE RESIDENCE ARE TO BE FILLED WITH JOINTEX AND NO SEALANT.

PRINT ISSUED
10 APR 2002

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PROJECT PROPOSED RESIDENCE FOR MR AND MRS HANDLEY AT LOT 2005 (No.23) VALLEY VIEW CIRCUIT, WARRIEWOOD		DRAWN DFF		CHECKED 10/12		SCALE	
		DESIGNED LDA		DATE 08.04.02		1:100	
		SHEET 8		SET OF 8		1:10	