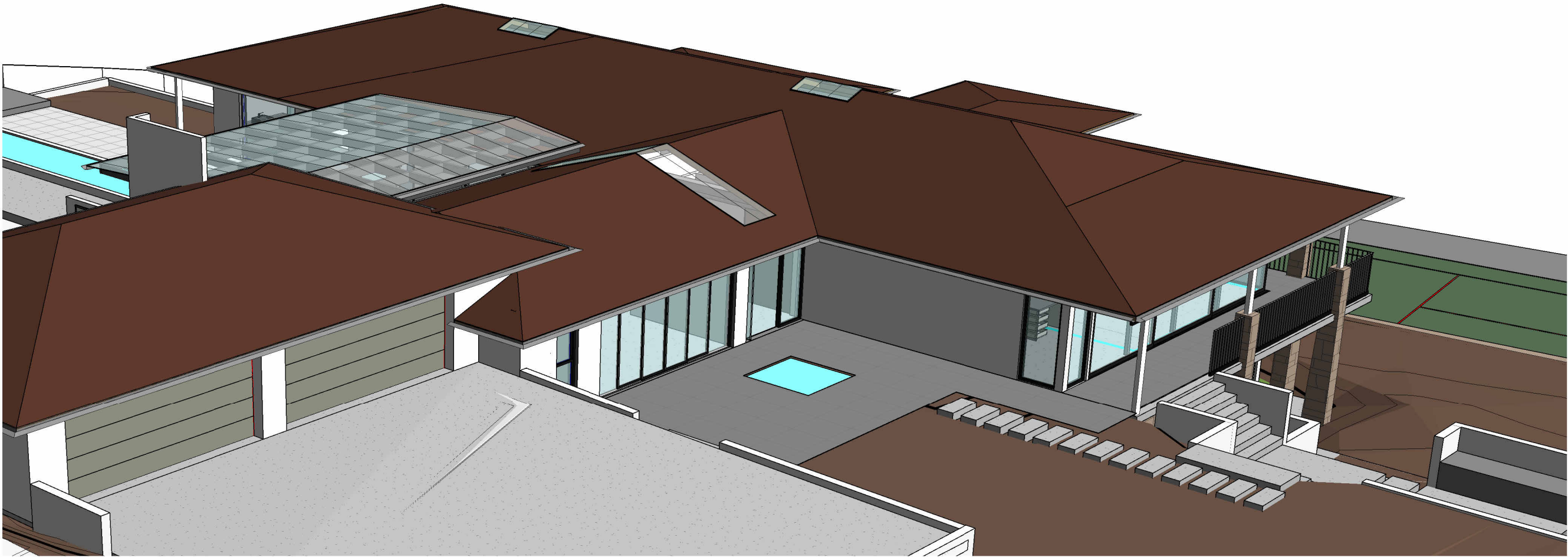


# LAKEHOUSE - WHEELER HEIGHTS



LOCATION PLAN

NOT TO SCALE

#### SCHEDULE OF BASIX COMMITMENTS

- A RAINWATER TANK WITH A MINIMUM CAPACITY OF 10,000 L TO BE INCLUDED IN DEVELOPMENT
- RAINWATER TANK TO BE CONNECTED TO A TAP WITHIN 10m OF THE POOL / SPA
- SWIMMING POOL TO BE LOCATED OUTDOORS AND HAVE A MAXIMUM CAPACITY OF 85 kL
- SPA TO BE LOCATED OUTDOORS AND HAVE A MAXIMUM CAPACITY OF 12 kL
- POOL AND SPA TO HAVE COVERS, HAVE TIMERS FOR THEIR PUMPS, AND BE HEATED BY ELECTRIC HEAT PUMP
- HOT WATER SYSTEM TO BE OF HEAT PUMP TYPE ELIGIBLE TO CREATE RECS
- ALTERATIONS OR ADDITIONS TO FLOORS, WALLS, AND CEILINGS/ROOFS TO BE IN ACCORDANCE WITH BASIX CERTIFICATE
- WINDOWS AND DOORS TO BE INSTALLED IN ACCORDANCE WITH THE MINIMUM SPECIFICATION FOR FRAME AND GLAZING AS INDICATED IN THE BASIX CERTIFICATE. WINDOWS AND DOORS MAY BE INSTALLED WITH THERMAL VALUES BETTER THAN INDICATED IN THE CERTIFICATE
- GLAZED ROOFS TO BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS CONTAINED IN THE BASIX CERTIFICATE. GLAZED ROOFS MAY BE INSTALLED WITH THERMAL VALUES BETTER THAN INDICATED IN THE CERTIFICATE

#### SCHEDULE OF BUSHFIRE PLANNING COMMITMENTS

- NEW CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 3 OF AUSTRALIAN STANDARD AS3959-2018 "CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS"
- NEW CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF BAL-40 AUSTRALIAN STANDARD AS3959-2018 "CONSTRUCTION OF BUILDINGS IN BUSH FIRE-PRONE AREAS" OR NASH STANDARD NATIONAL STANDARD STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS AND ANY ADDITIONAL CONSTRUCTION REQUIREMENTS CONTAINED WITHIN SECTION 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (WHERE APPLICABLE) OF THE RURAL FIRE SERVICES DOCUMENT "PLANNING FOR BUSHFIRE PROTECTION 2019".
- NEW ROOFING VALLEYS AND GUTTERING TO BE FITTED WITH A NON-COMBUSTIBLE LEAF PROTECTION TO STOP THE ACCUMULATION OF DEBRIS
- THE NEW CLASS 10 STRUCTURE TO BE BUILT FROM NON-COMBUSTIBLE EXTERNAL MATERIALS

DRAWING	SHEET NAME	REV
0001	COVER SHEET	C
0002	COLOURS AND MATERIALS	A
0101	SITE PLAN	L
0102	SITE ANALYSIS PLAN	C
0103	SITE DEMOLITION PLAN	A
0104	SHADOW DIAGRAMS - 21 JUNE	A
0105	WASTE MANAGEMENT PLAN	A
0106	SOIL DISTURBANCE PLAN	C
0107	STORMWATER PLAN	C
0108	ROOF PLAN	F
0109	EXCAVATION AND FILL PLAN	F
0110	IMPERVIOUS SURFACES PLAN	A
0201	UPPER FLOOR PLAN (EXISTING)	B
0202	LOWER FLOOR PLAN (EXISTING)	B
0211	UPPER FLOOR PLAN (PROPOSED)	L
0212	UPPER FLOOR PLAN - DEMOLITION	B
0221	LOWER FLOOR PLAN (PROPOSED)	L
0222	LOWER FLOOR PLAN - DEMOLITION	B
0401	EXTERNAL ELEVATIONS	C
0402	EXTERNAL ELEVATIONS	A
0501	SECTIONS	C
0901	EXTERNAL GLAZING AND DOOR SCHEDULE	D
1201	PAVILION (PLAN, ELEVATIONS)	A

NOT FOR CONSTRUCTION



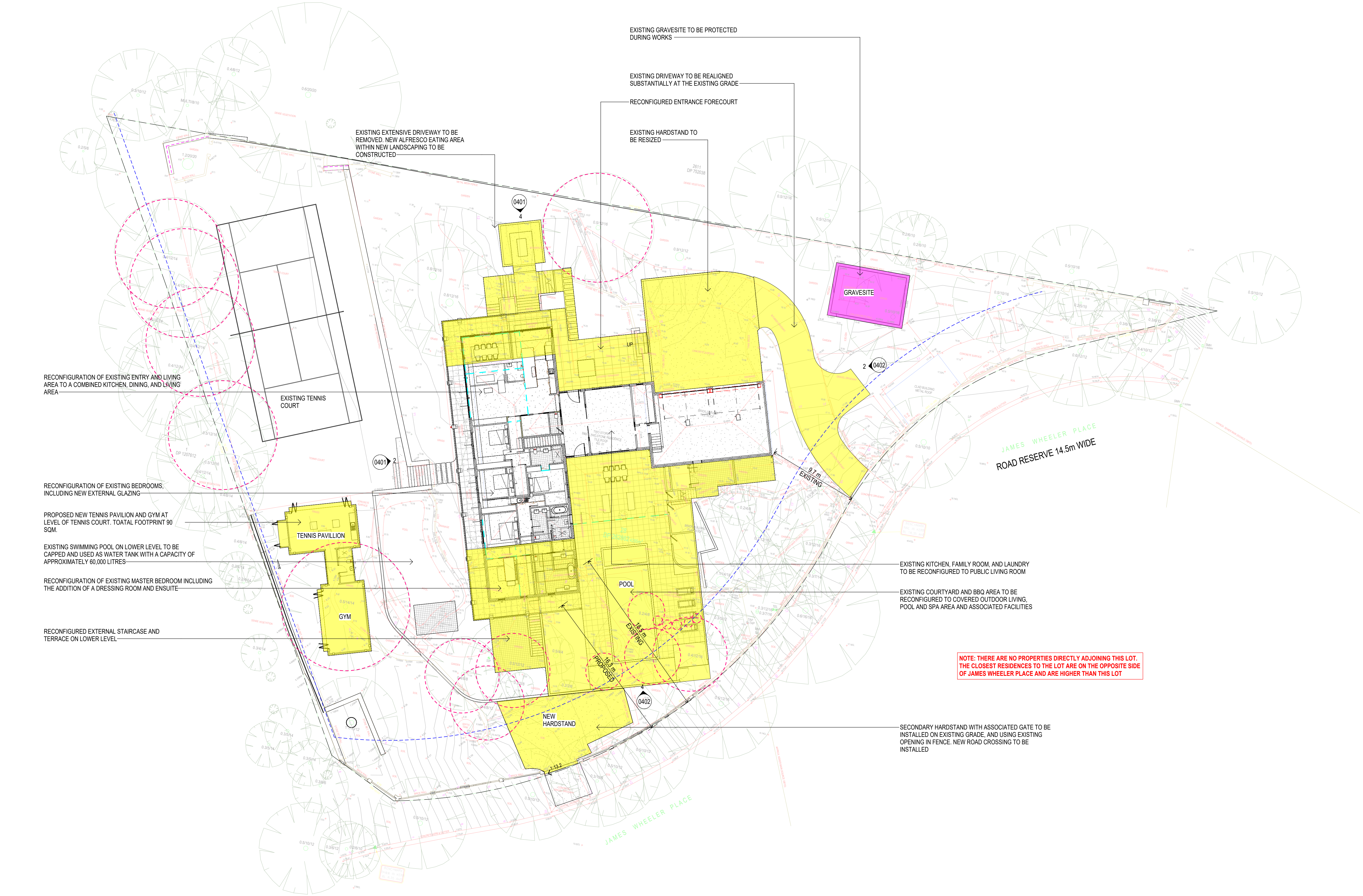


SCHEDULE OF COLOURS AND MATERIALS

- SANDSTONE
- MUTED WALL COLOURS, TYPICALLY DARK GREYS
- EXISTING ROOFING TO BE EXTENDED AND NEW ROOFS TO MATCH
- LIGHTER COLOURED TERRACE TILING
- INTEGRATION INTO NATIVE AND EXOTIC LANDSCAPING - REFER LANDSCAPE PLAN

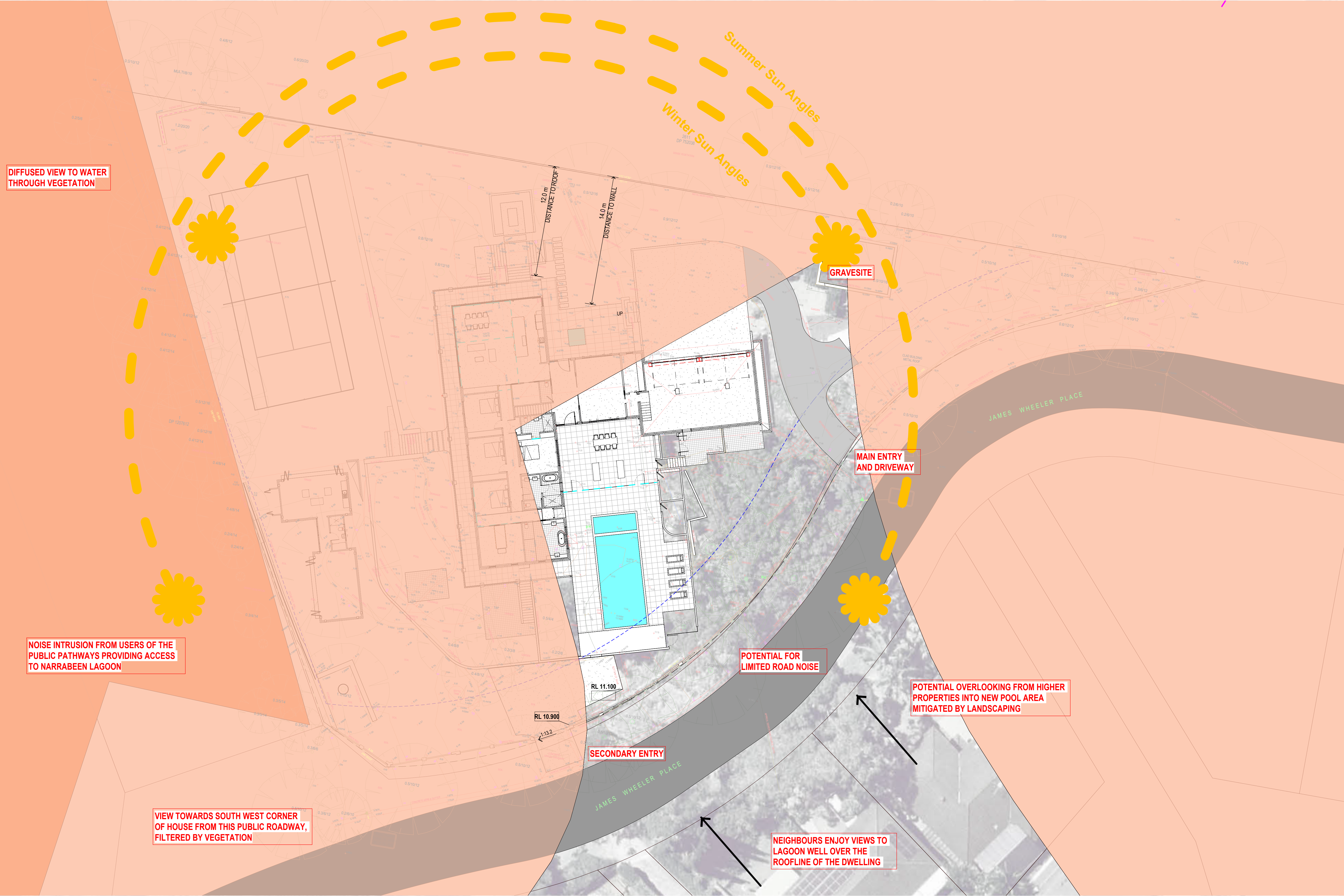
NOT FOR CONSTRUCTION





NOT FOR CONSTRUCTION





- BUSHFIRE CATEGORIES
- VEGETATION BUFFER
  - CATEGORY 2 VEGETATION

NOT FOR CONSTRUCTION



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0 2 4 6 8 10m  
1:200

SITE ADDRESS  
1 JAMES WHEELER PLACE  
WHEELER HEIGHTS

CLIENT  
ALEX AND ASHLEE SMITH

#	DATE	DESCRIPTION
A	06/06/25	UPDATE FOR BASIX
B	16/06/25	UPDATE FOR BUSHFIRE PROTECTION
C	09/07/25	ISSUE FOR APPROVAL

PROJECT  
SMITH - WHEELER HEIGHTS

TITLE  
SITE ANALYSIS PLAN

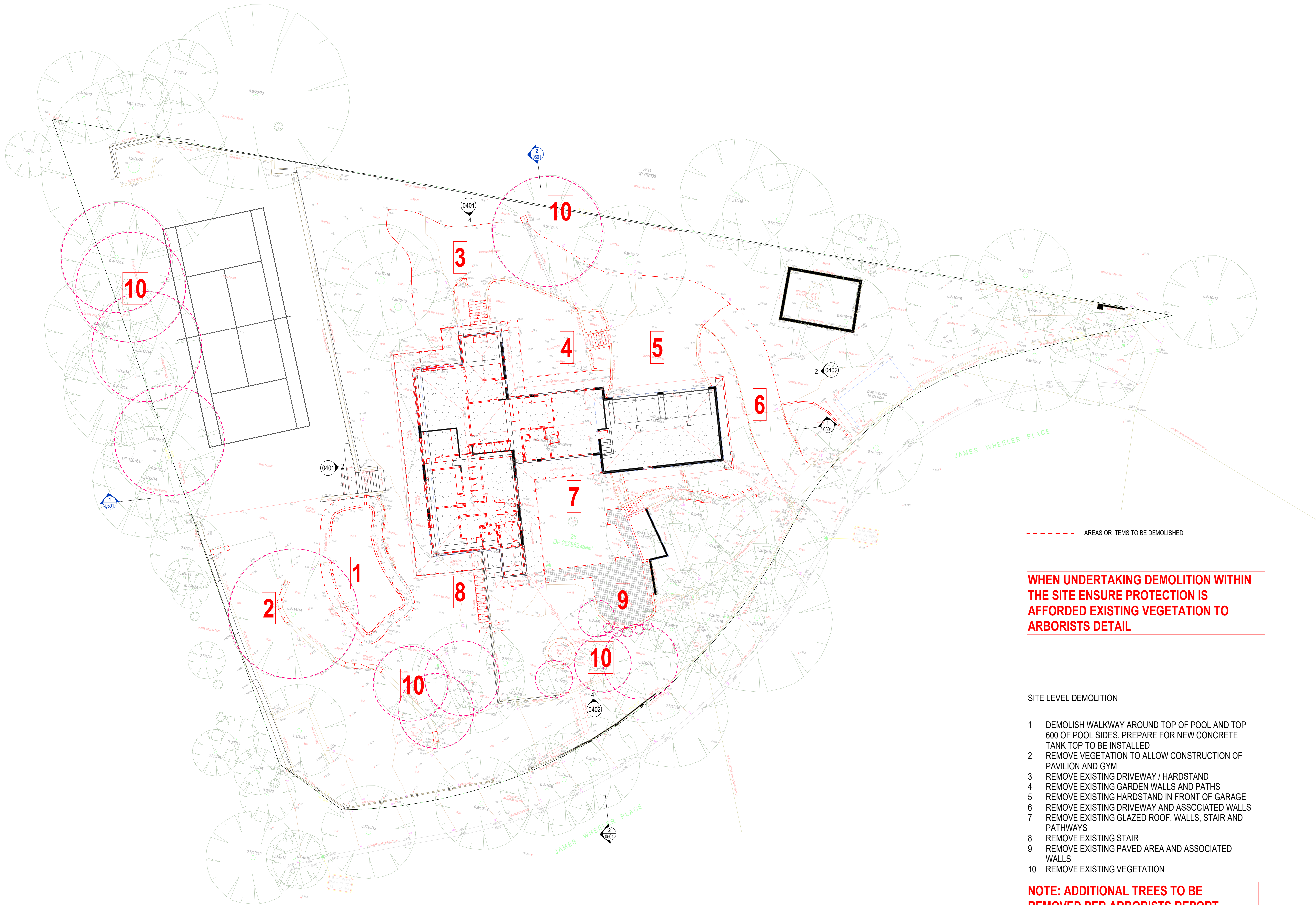
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As indicated @A1

DRAWING No  
CD-0102\_C



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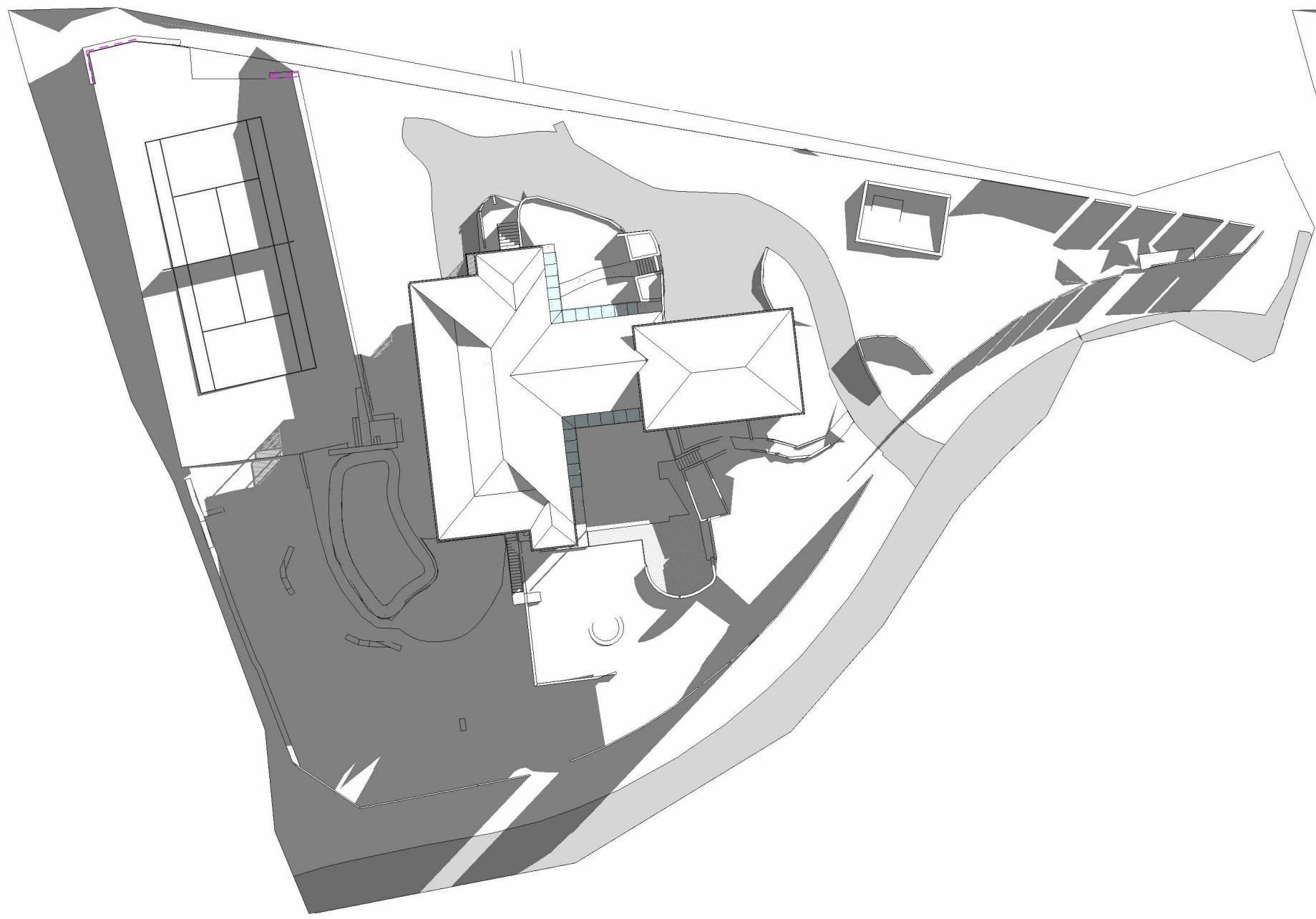


SITE LEVEL DEMOLITION

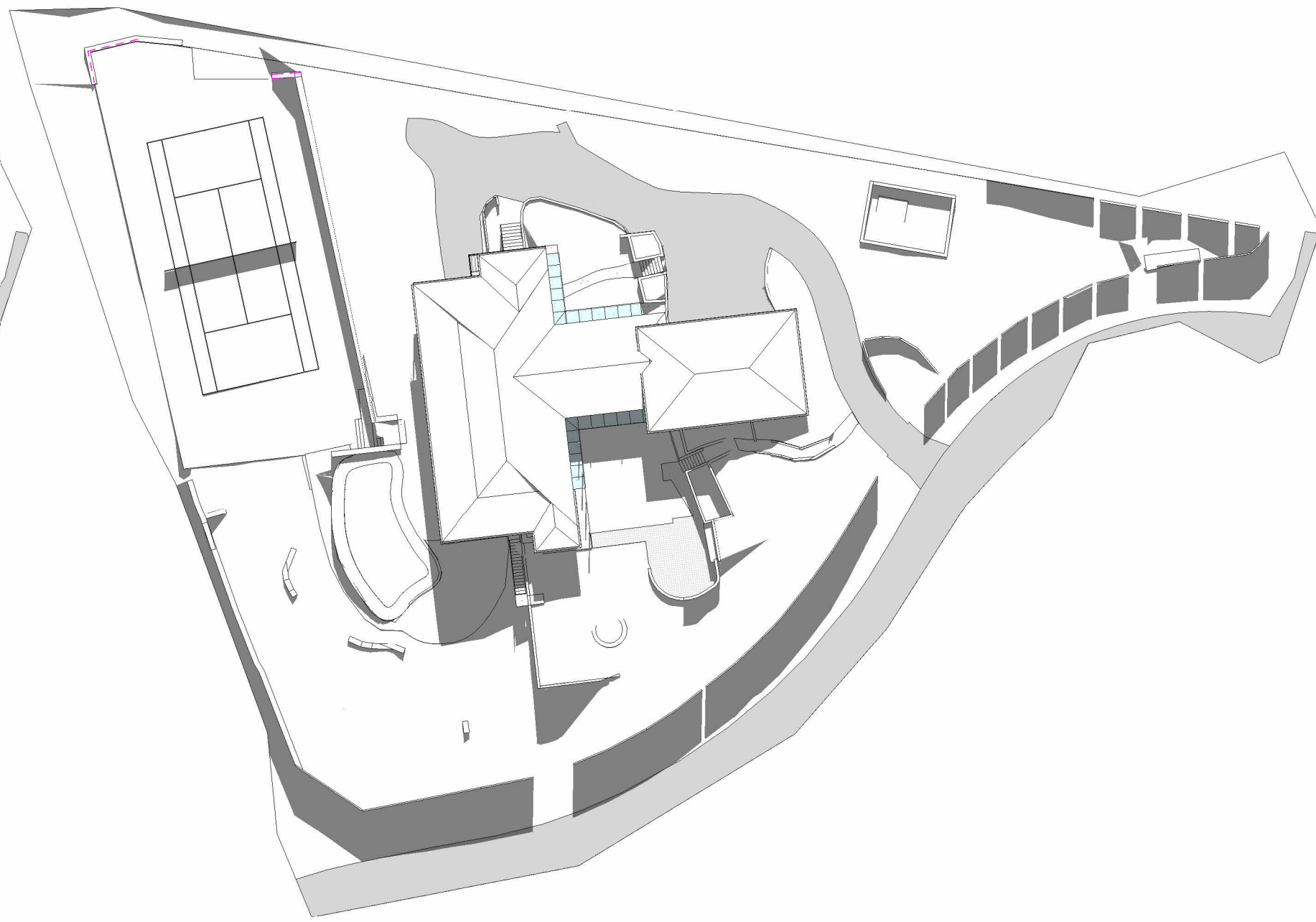
- 1 DEMOLISH WALKWAY AROUND TOP OF POOL AND TOP 600 OF POOL SIDES. PREPARE FOR NEW CONCRETE TANK TOP TO BE INSTALLED
- 2 REMOVE VEGETATION TO ALLOW CONSTRUCTION OF PAVILION AND GYM
- 3 REMOVE EXISTING DRIVEWAY / HARDSTAND
- 4 REMOVE EXISTING GARDEN WALLS AND PATHS
- 5 REMOVE EXISTING HARDSTAND IN FRONT OF GARAGE
- 6 REMOVE EXISTING DRIVEWAY AND ASSOCIATED WALLS
- 7 REMOVE EXISTING GLAZED ROOF, WALLS, STAIR AND PATHWAYS
- 8 REMOVE EXISTING STAIR
- 9 REMOVE EXISTING PAVED AREA AND ASSOCIATED WALLS
- 10 REMOVE EXISTING VEGETATION

**NOTE: ADDITIONAL TREES TO BE REMOVED PER ARBORISTS REPORT**

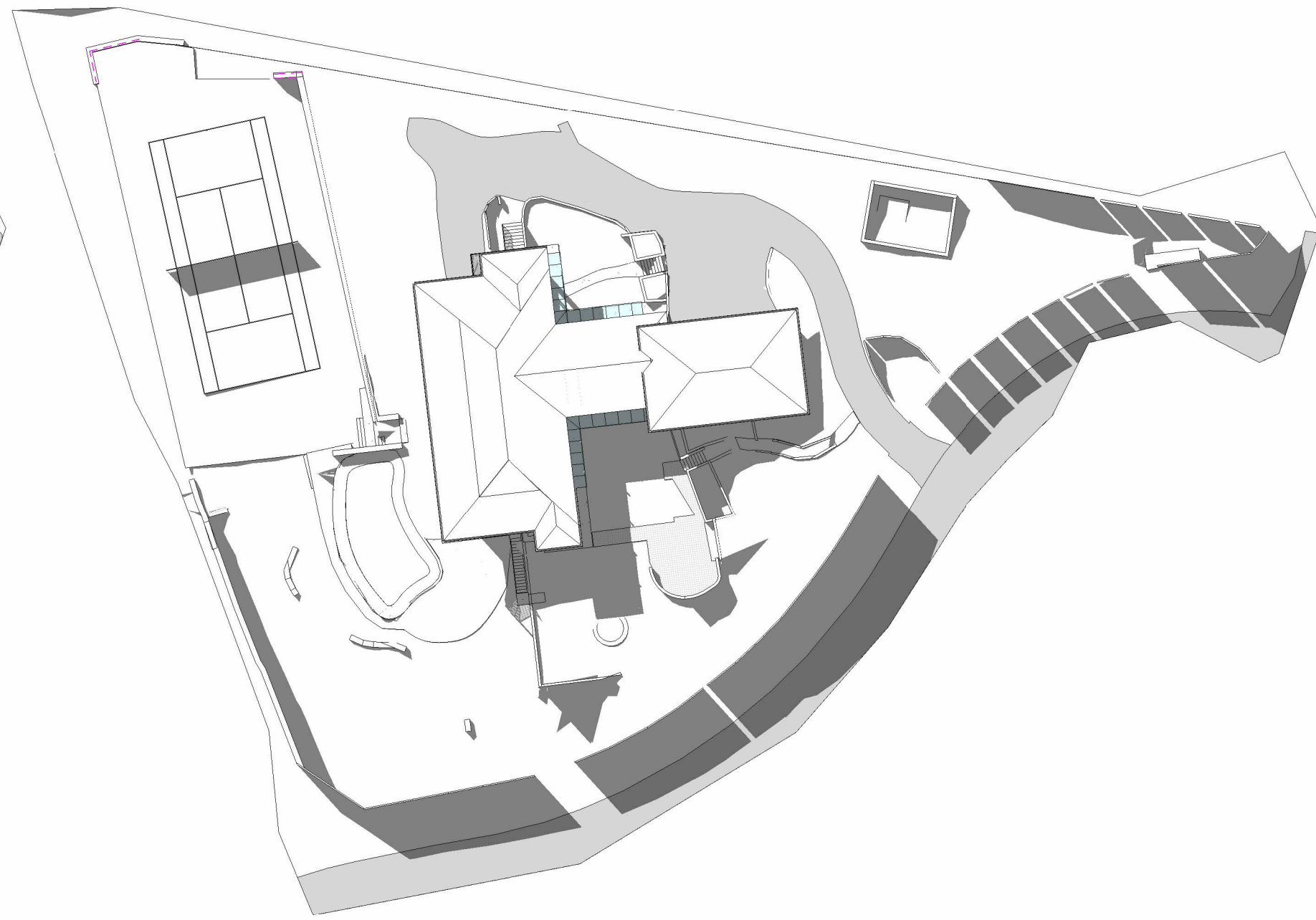




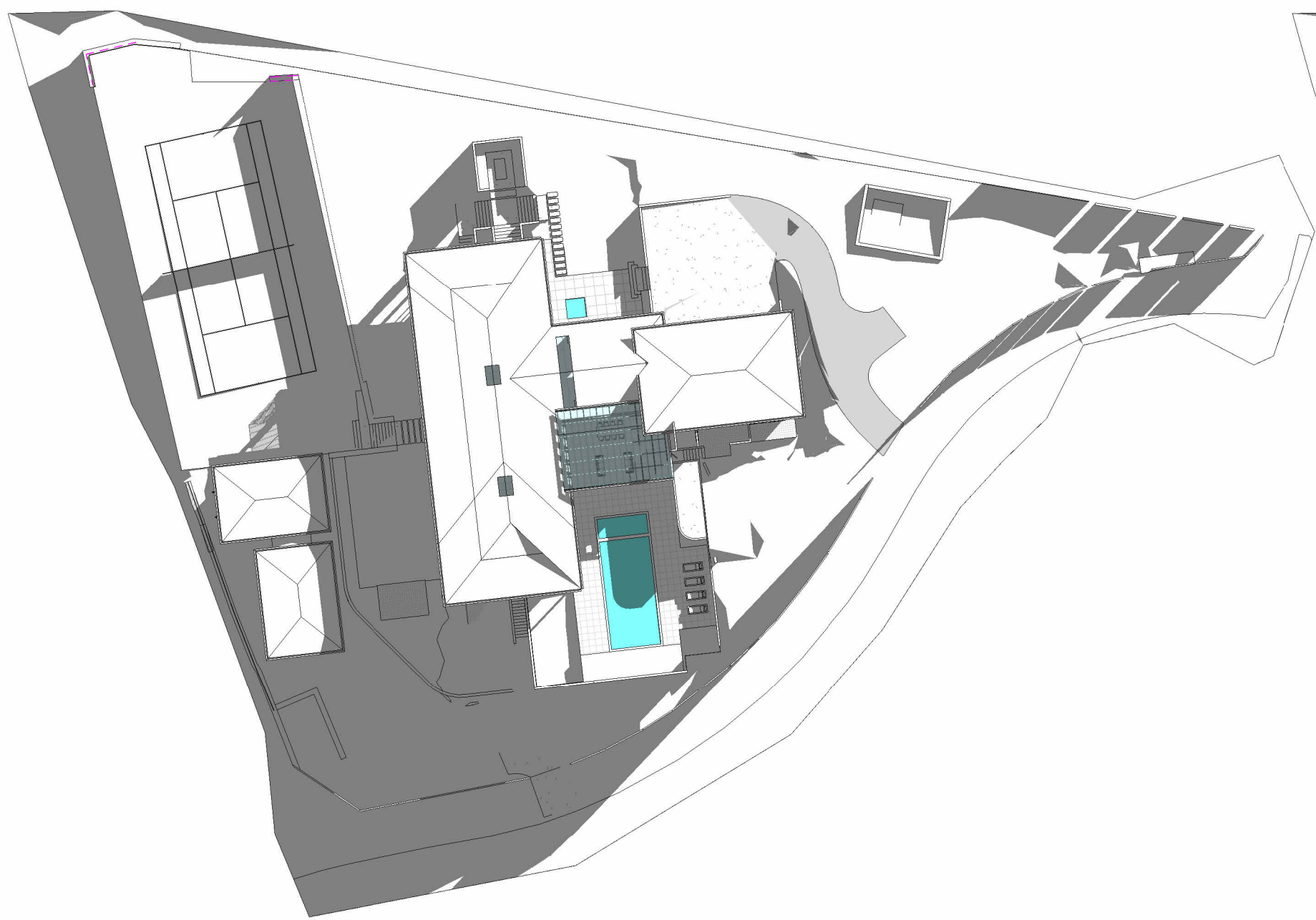
1 SHADOW STUDY - EXISTING - 9AM



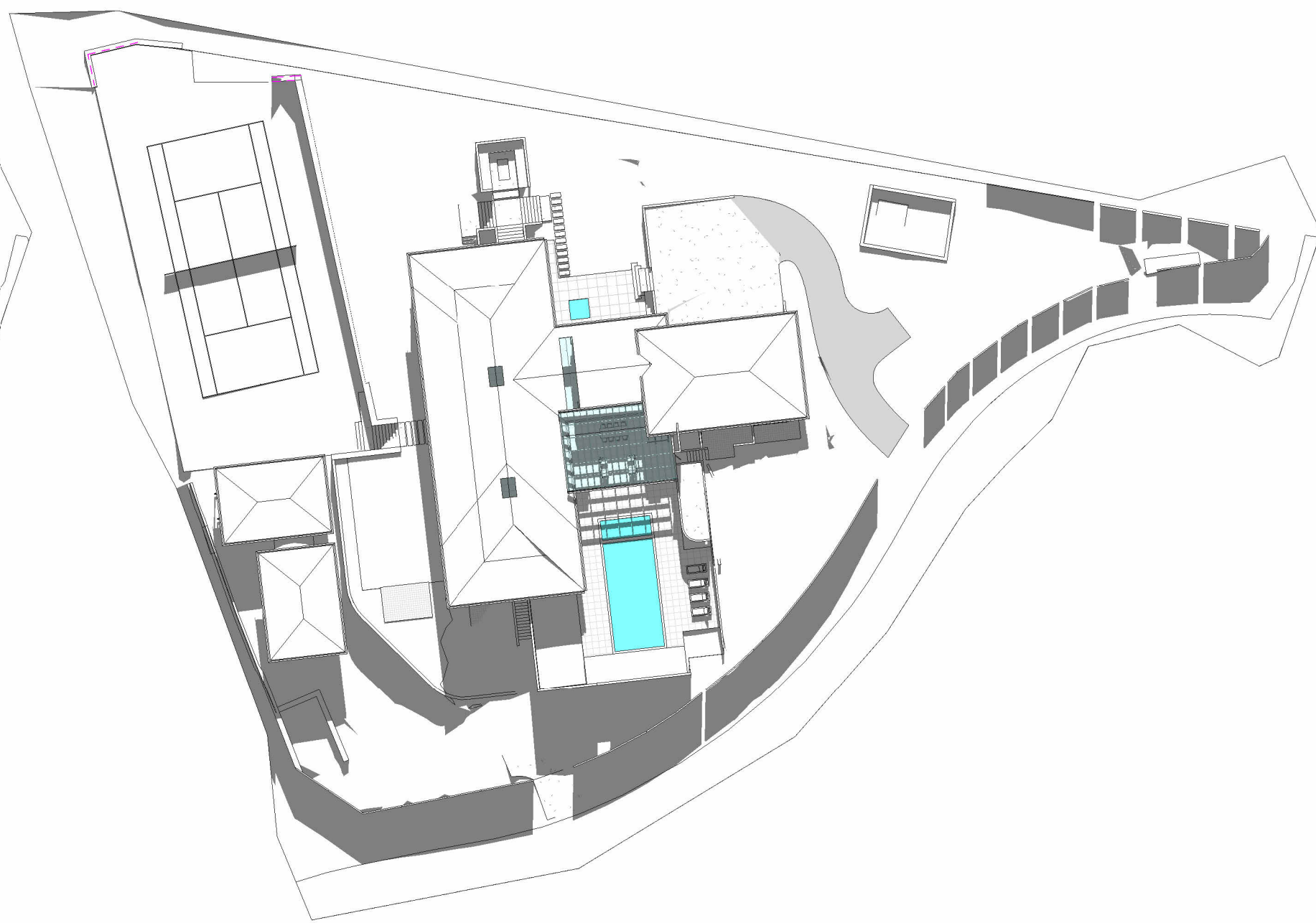
2 SHADOW STUDY - EXISTING - 12PM



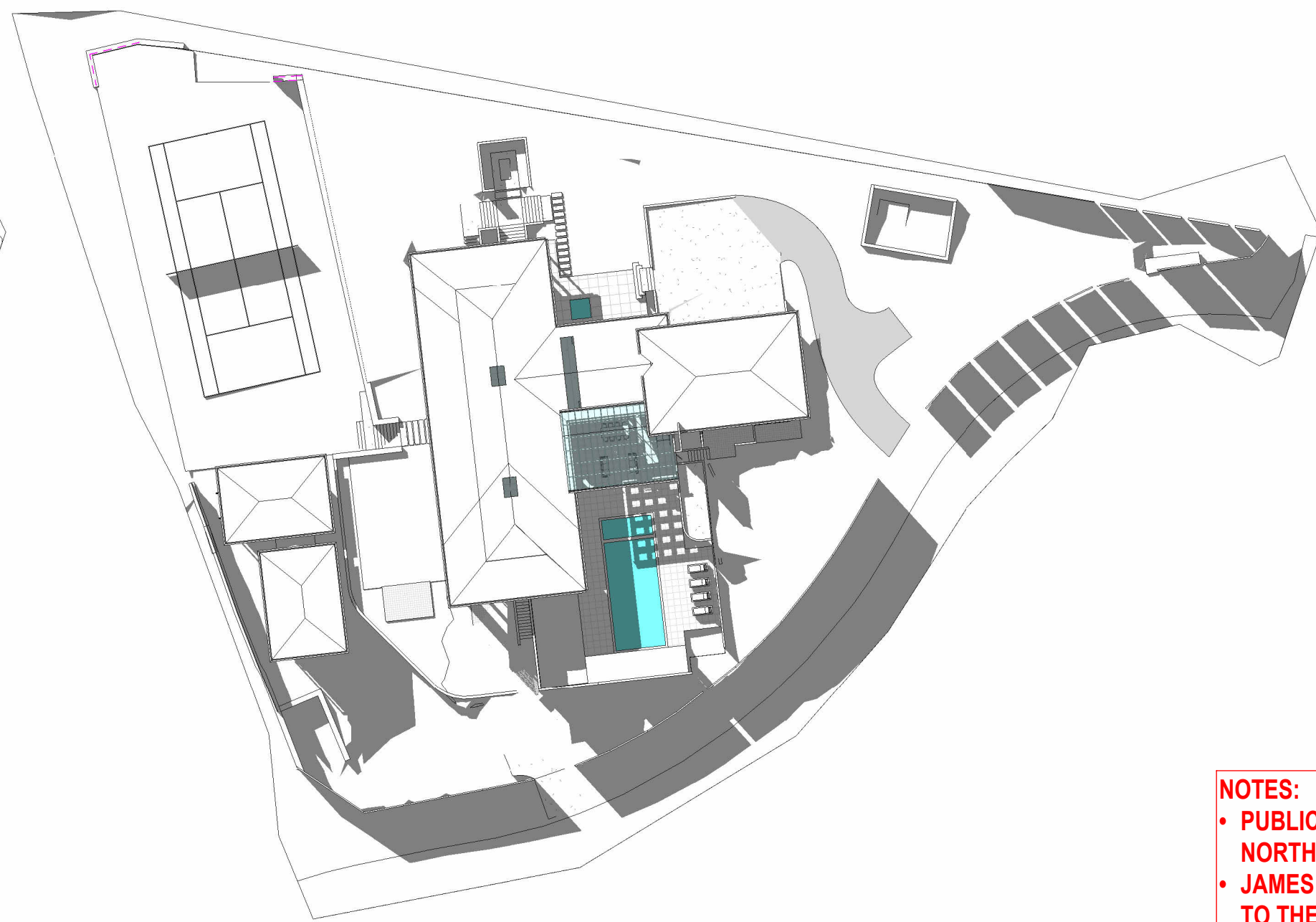
3 SHADOW STUDY - EXISTING - 3PM



4 SHADOW STUDY - PROPOSED - 9AM



5 SHADOW STUDY - PROPOSED - 12PM



6 SHADOW STUDY - PROPOSED - 3PM

NOTES:

- PUBLIC BUSHLAND ADJOINS THE SITE TO THE NORTH AND WEST
- JAMES WHEELER PLACE ROADWAY ADJOINS TO THE SOUTH. RESIDENCES SOUTH OF THE ROADWAY ARE HIGHER IN ELEVATION THEREFORE NOT OVERSHADOWED BY ANY DEVELOPMENT ON THIS SITE

NOT FOR CONSTRUCTION





WASTE STORAGE AREAS WITH ADEQUATE SPACE FOR GENERAL STORAGE AND SKIP BINS. ACCESS ALONG EXISTING DRIVEWAYS.

BUILDER TO SORT DEMOLITION WASTE WHERE REQUIRED BUILDER TO STORE WASTE IN ENCLOSED AREAS AND PROVIDE LOCALISED SEDIMENT CONTROL

NOT FOR CONSTRUCTION



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0 2 4 6 8 10m  
1:200

SITE ADDRESS  
1 JAMES WHEELER PLACE  
WHEELER HEIGHTS

CLIENT  
ALEX AND ASHLEE SMITH

#	DATE	DESCRIPTION
A	09/07/25	ISSUE FOR APPROVAL

PROJECT  
SMITH - WHEELER HEIGHTS

TITLE  
WASTE MANAGEMENT PLAN

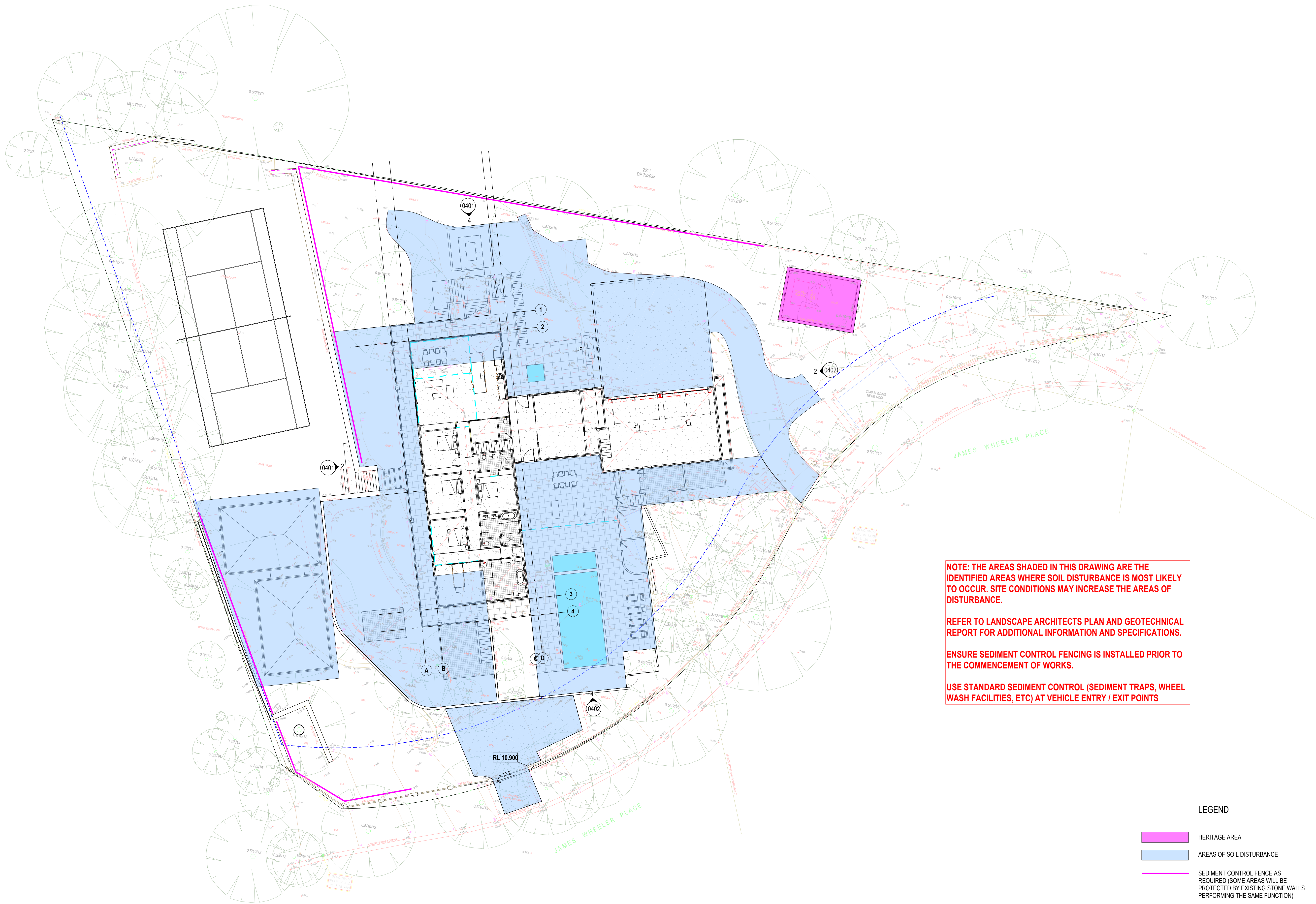
SCALE  
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DRAWING No  
CD-0105\_A



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NOTE: THE AREAS SHADED IN THIS DRAWING ARE THE IDENTIFIED AREAS WHERE SOIL DISTURBANCE IS MOST LIKELY TO OCCUR. SITE CONDITIONS MAY INCREASE THE AREAS OF DISTURBANCE.

REFER TO LANDSCAPE ARCHITECTS PLAN AND GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.

ENSURE SEDIMENT CONTROL FENCING IS INSTALLED PRIOR TO THE COMMENCEMENT OF WORKS.

USE STANDARD SEDIMENT CONTROL (SEDIMENT TRAPS, WHEEL WASH FACILITIES, ETC) AT VEHICLE ENTRY / EXIT POINTS

LEGEND

- HERITAGE AREA
- AREAS OF SOIL DISTURBANCE
- SEDIMENT CONTROL FENCE AS REQUIRED (SOME AREAS WILL BE PROTECTED BY EXISTING STONE WALLS PERFORMING THE SAME FUNCTION)

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SITE ADDRESS  
1 JAMES WHEELER PLACE  
WHEELER HEIGHTS

CLIENT  
ALEX AND ASHLEE SMITH

0 2 4 6 8 10m  
1:200

#	DATE	DESCRIPTION
A	28/02/25	SOIL DISTURBANCE PLAN
B	06/06/25	UPDATE FOR BASIX
C	09/07/25	ISSUE FOR APPROVAL

PROJECT  
SMITH - WHEELER HEIGHTS

TITLE  
SOIL DISTURBANCE PLAN

SCALE  
1: 200 @A1

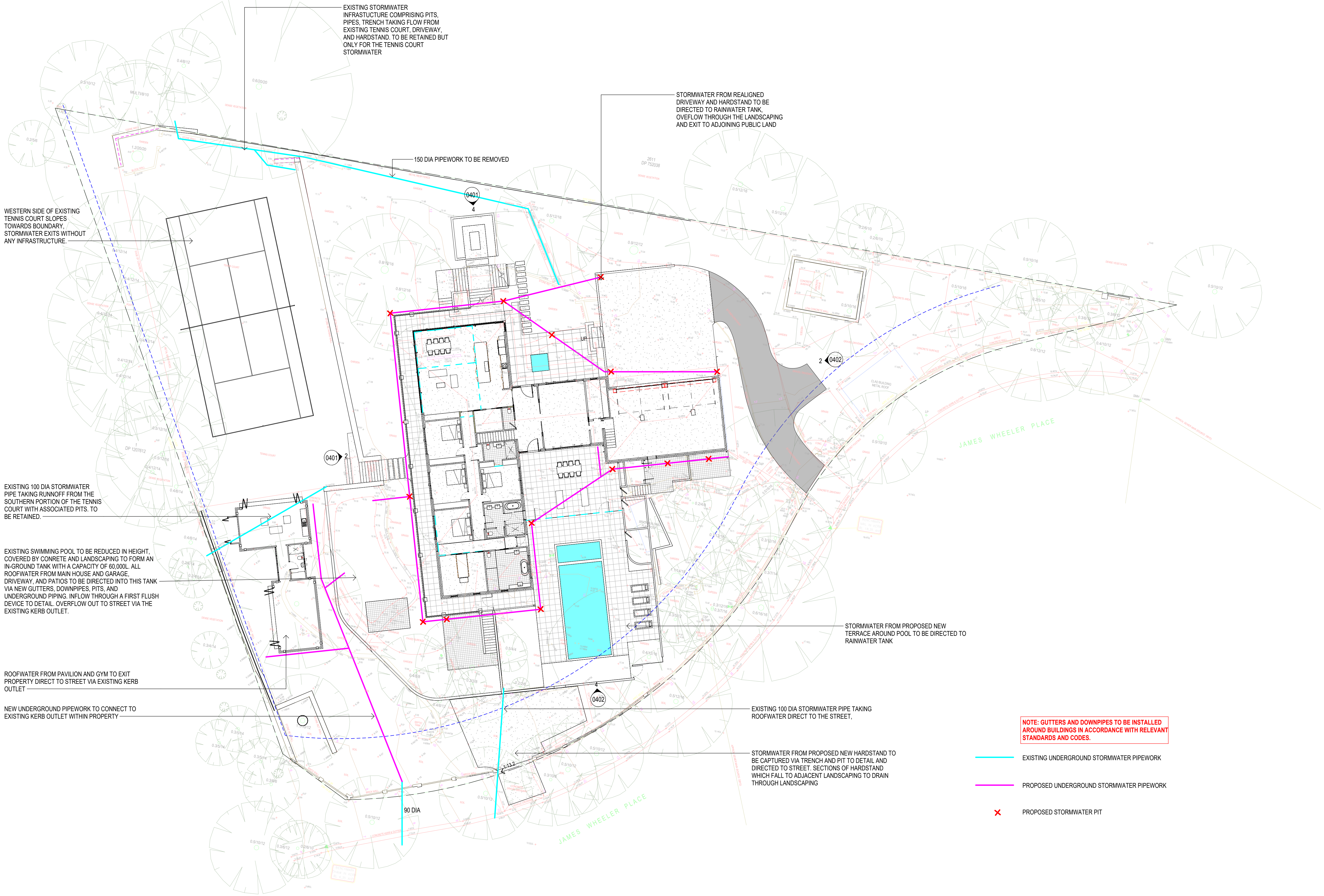
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NOT FOR CONSTRUCTION

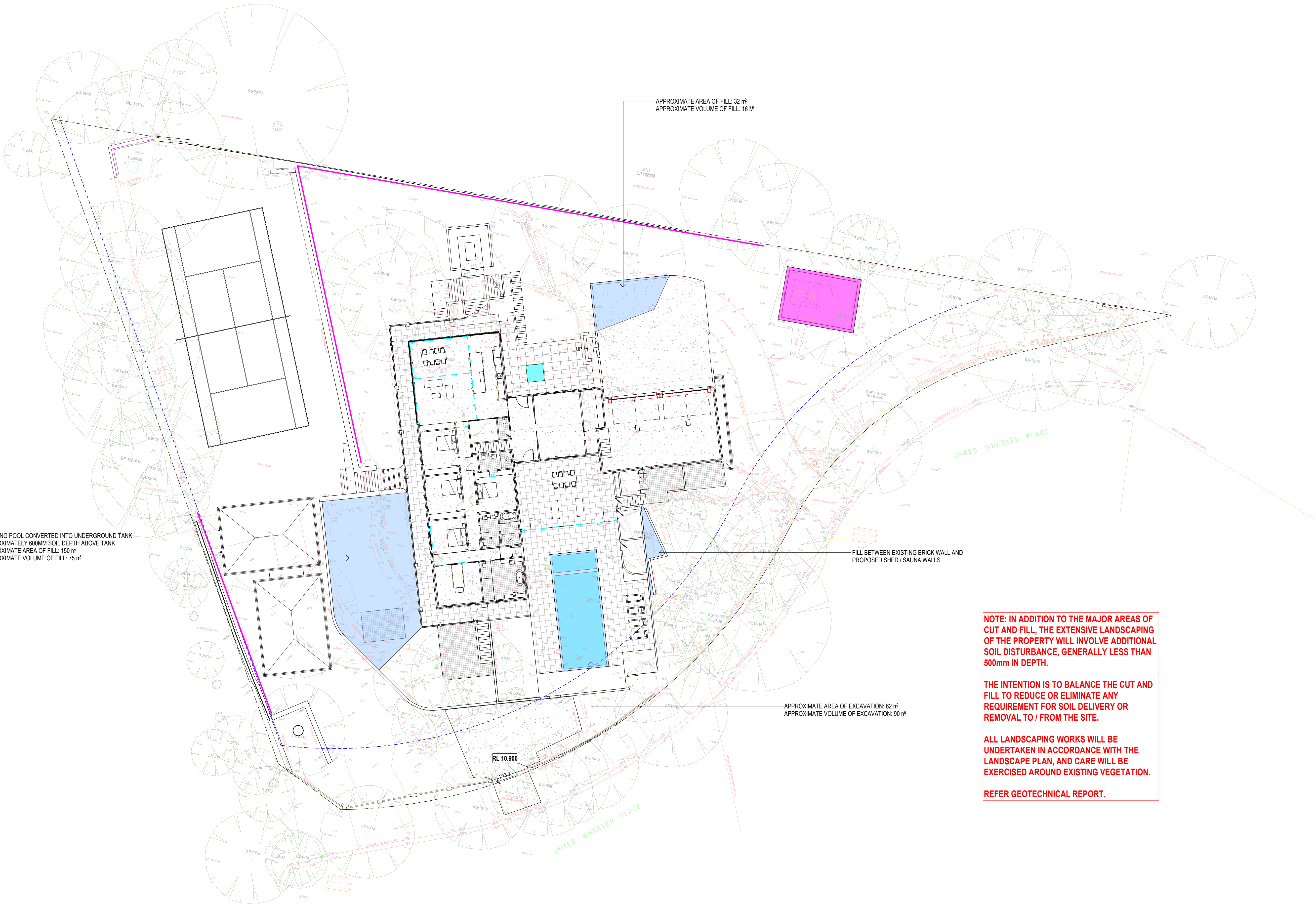




APPROXIMATE AREAS OF NEW ROOFING.  
BUILDER TO CONFIRM EXACT EXTENTS ON-SITE

NOT FOR CONSTRUCTION





NOTE: IN ADDITION TO THE MAJOR AREAS OF CUT AND FILL, THE EXTENSIVE LANDSCAPING OF THE PROPERTY WILL INVOLVE ADDITIONAL SOIL DISTURBANCE, GENERALLY LESS THAN 500mm IN DEPTH.

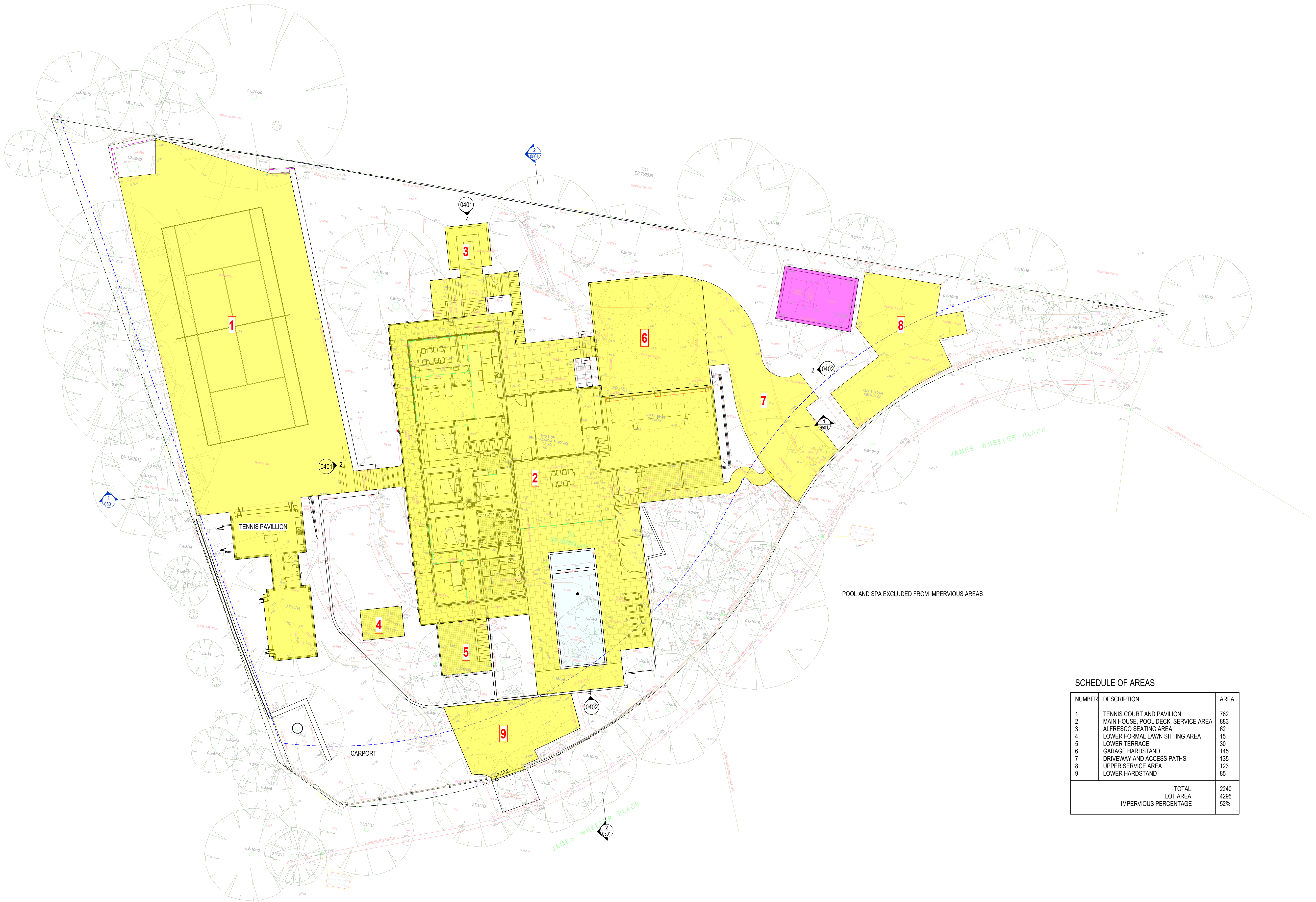
THE INTENTION IS TO BALANCE THE CUT AND FILL TO REDUCE OR ELIMINATE ANY REQUIREMENT FOR SOIL DELIVERY OR REMOVAL TO / FROM THE SITE.

ALL LANDSCAPING WORKS WILL BE UNDERTAKEN IN ACCORDANCE WITH THE LANDSCAPE PLAN, AND CARE WILL BE EXERCISED AROUND EXISTING VEGETATION.

REFER GEOTECHNICAL REPORT.

NOT FOR CONSTRUCTION



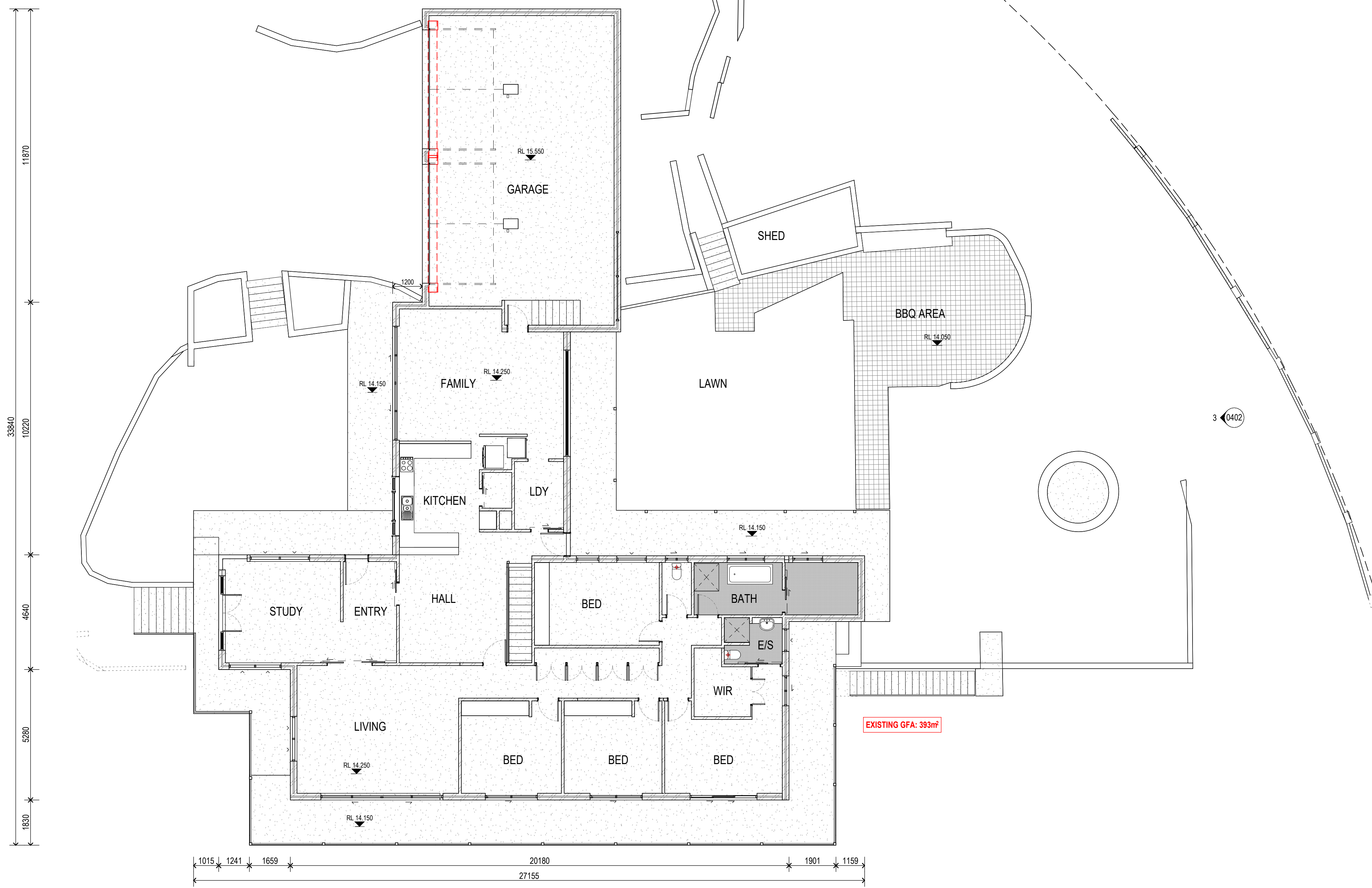


SCHEDULE OF AREAS

NUMBER	DESCRIPTION	AREA
1	TENNIS COURT AND PAVILION	762
2	MAIN HOUSE, POOL DECK, SERVICE AREA	883
3	ALFRESCO SEATING AREA	62
4	LOWER FORMAL LAWN SITTING AREA	15
5	LOWER TERRACE	30
6	GARAGE HARO STAND	145
7	DRIVEWAY AND ACCESS PATHS	135
8	UPPER SERVICE AREA	123
9	LOWER HARO STAND	85
TOTAL		2240
LOT AREA		4295
IMPERVIOUS PERCENTAGE		52%

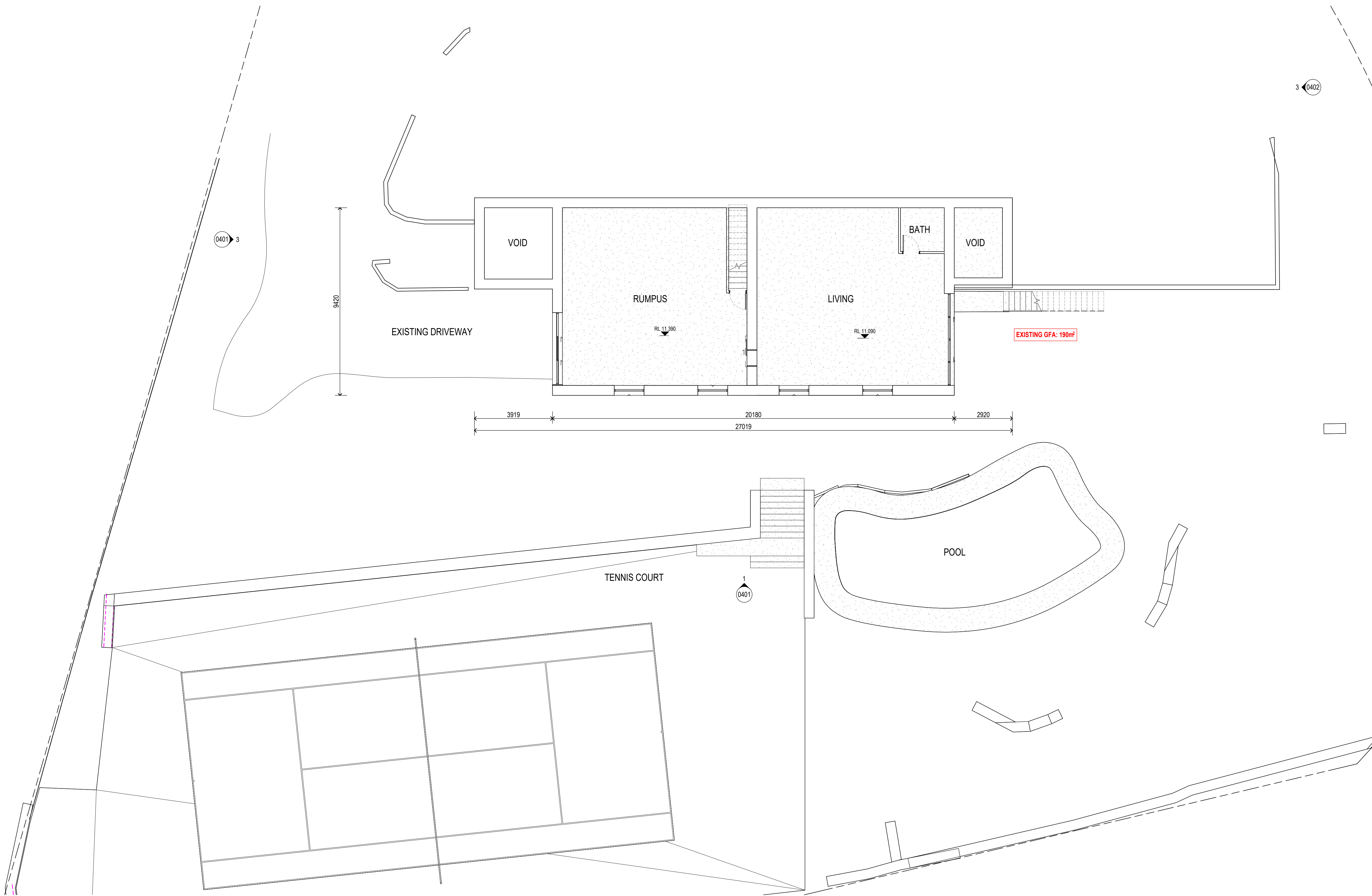
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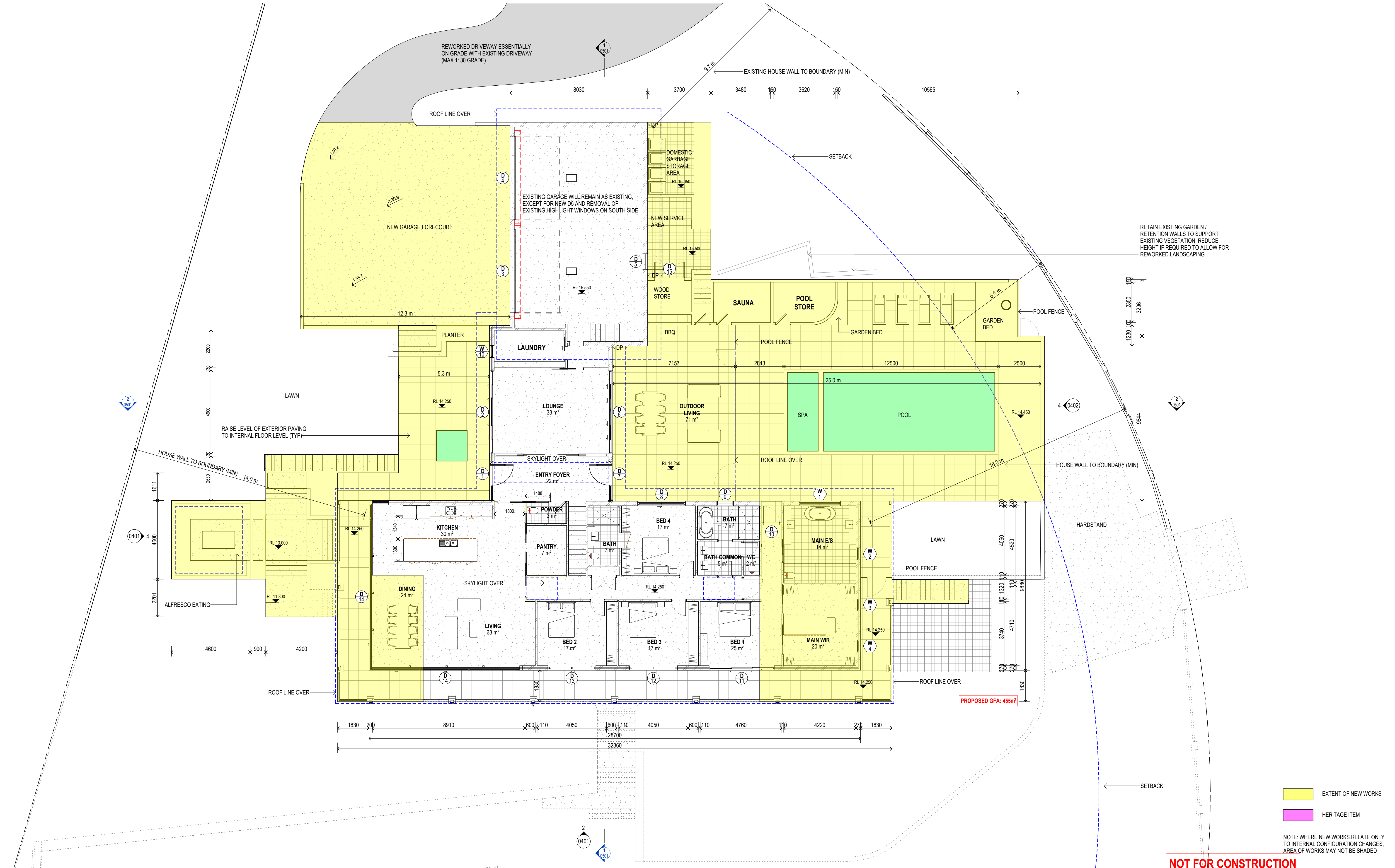
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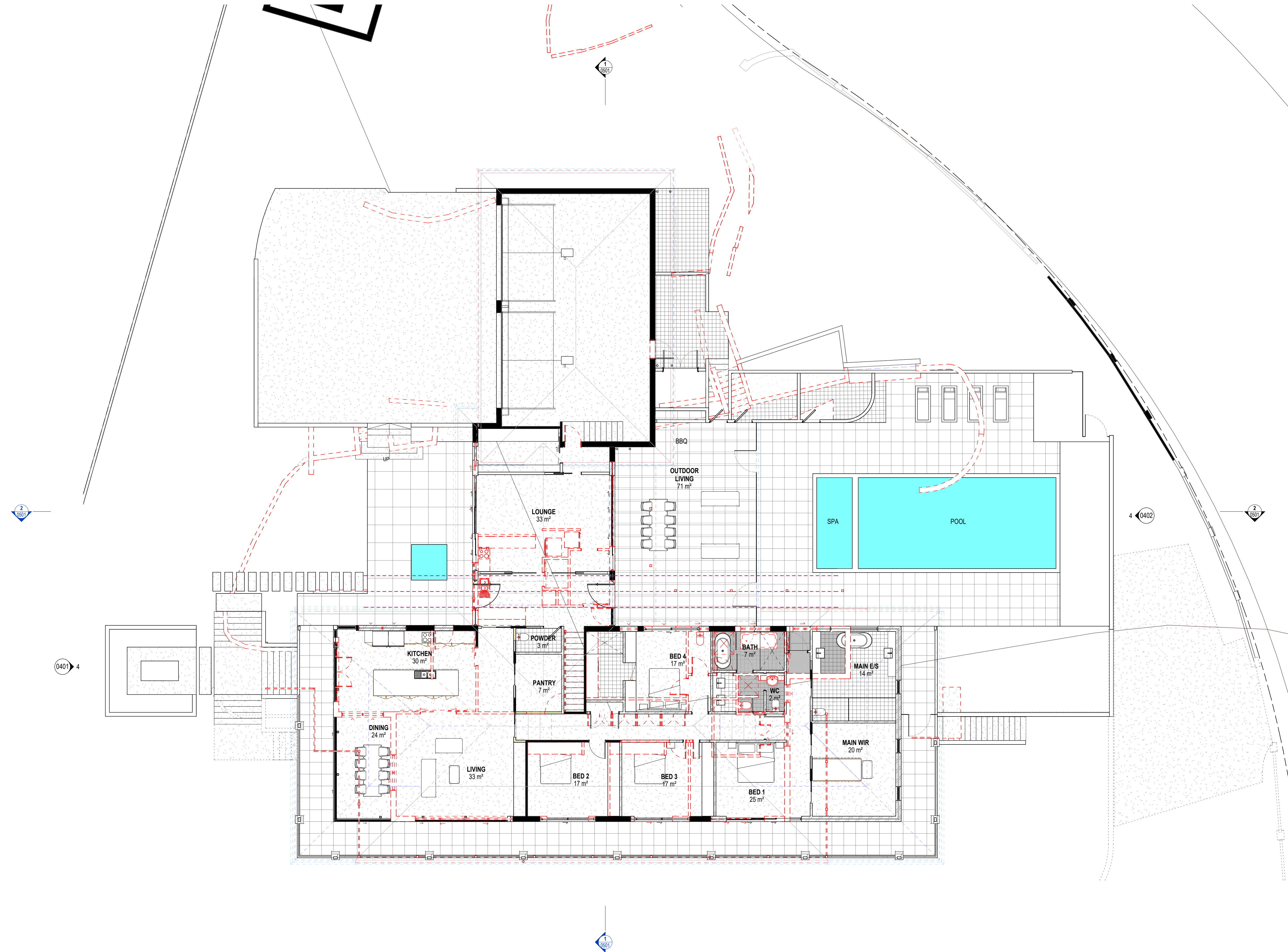


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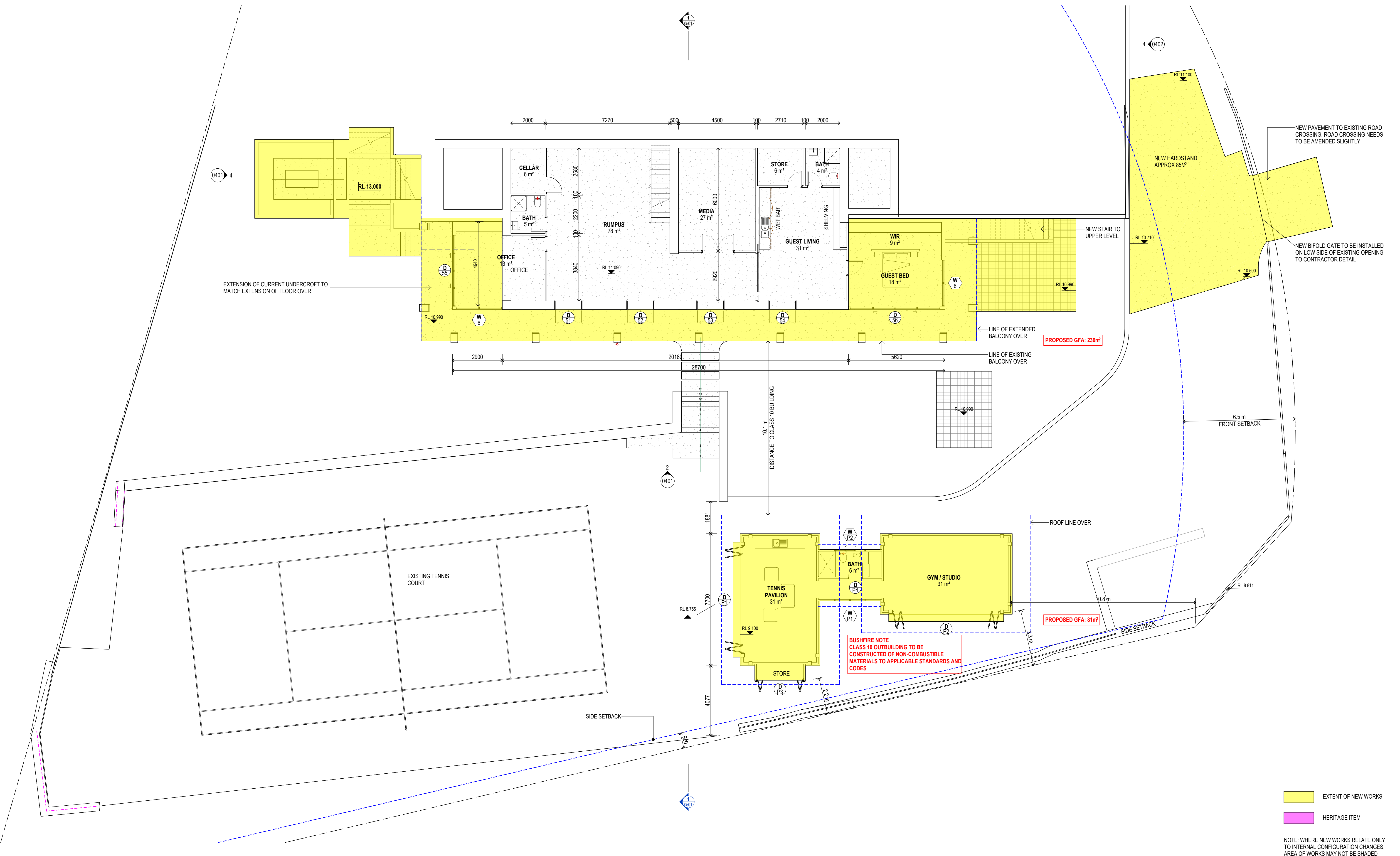


--- AREAS OR ITEMS TO BE DEMOLISHED

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#	DATE	DESCRIPTION																						
A	14/11/24	CLIENT UPDATE																						
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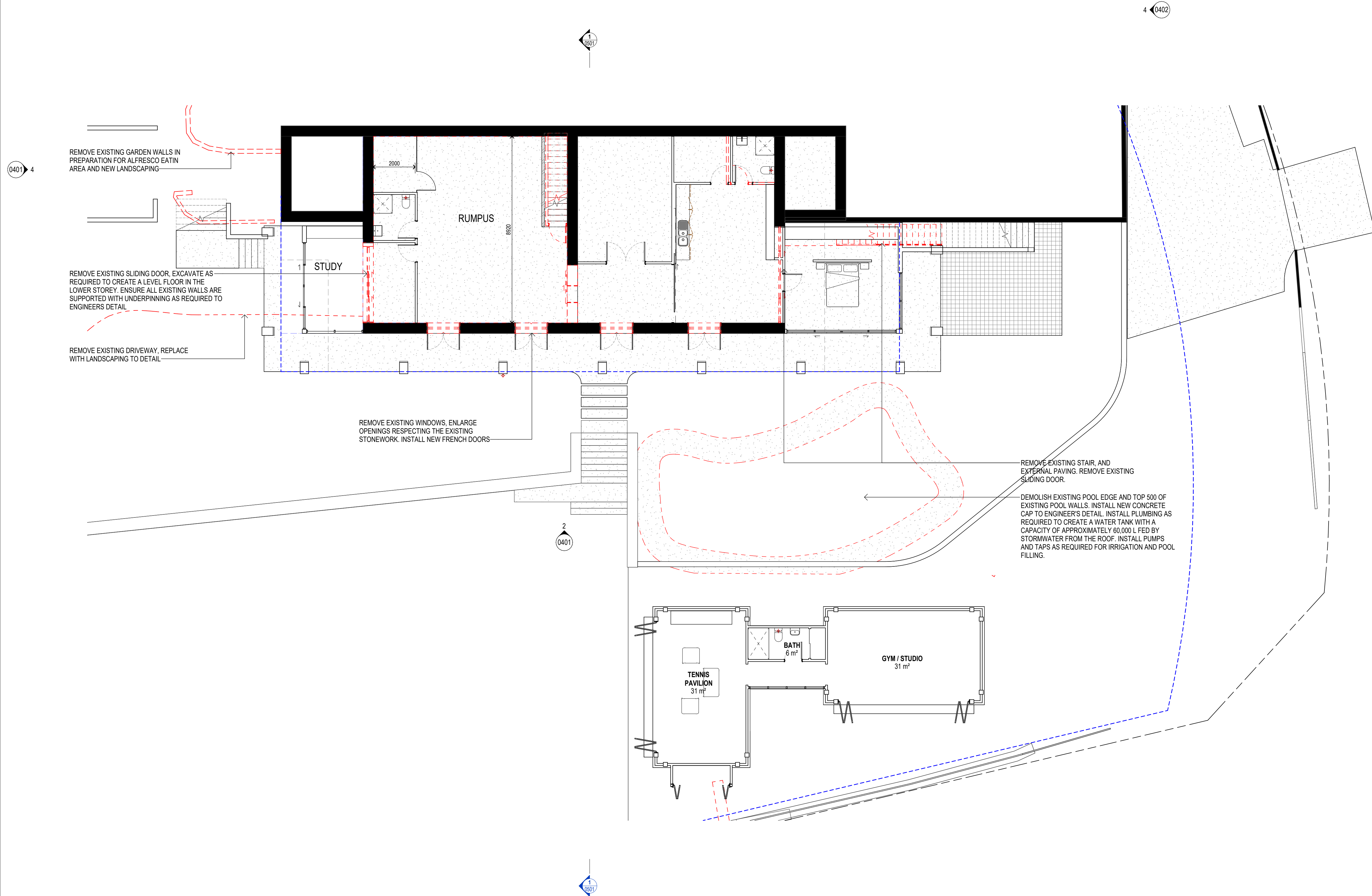


EXTENT OF NEW WORKS  
HERITAGE ITEM

NOTE: WHERE NEW WORKS RELATE ONLY TO INTERNAL CONFIGURATION CHANGES, AREA OF WORKS MAY NOT BE SHADED

NOT FOR CONSTRUCTION





--- AREAS OR ITEMS TO BE DEMOLISHED

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0 1 2 3 4 5m  
1:100

SITE ADDRESS  
1 JAMES WHEELER PLACE  
WHEELER HEIGHTS

CLIENT  
ALEX AND ASHLEE SMITH

#	DATE	DESCRIPTION
A	14/11/24	CLIENT UPDATE
B	09/07/25	ISSUE FOR APPROVAL

PROJECT SMITH - WHEELER HEIGHTS

TITLE LOWER FLOOR PLAN - DEMOLITION

SCALE 1 : 100 @A1

DRAWING No CD-0222\_B

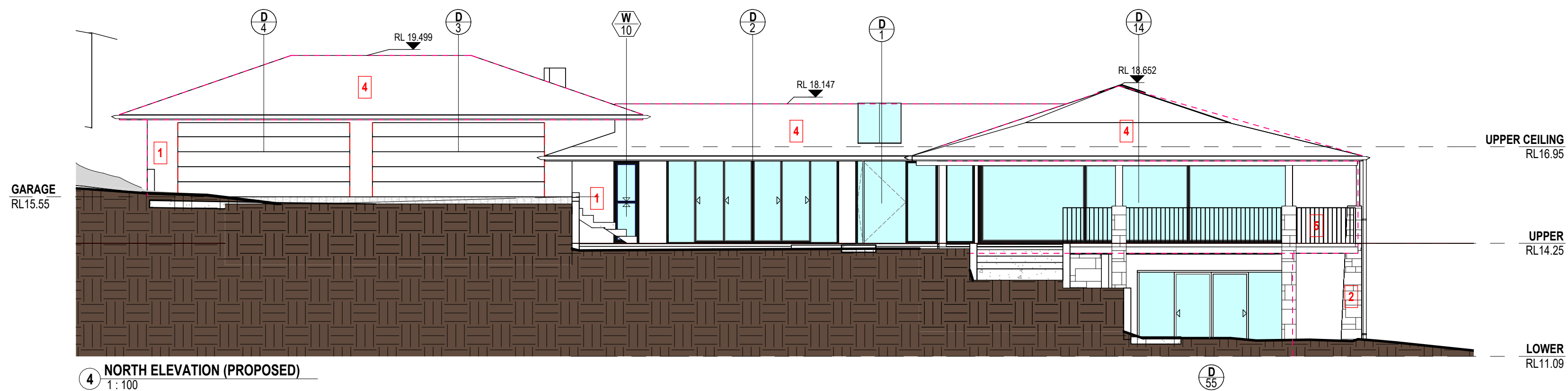
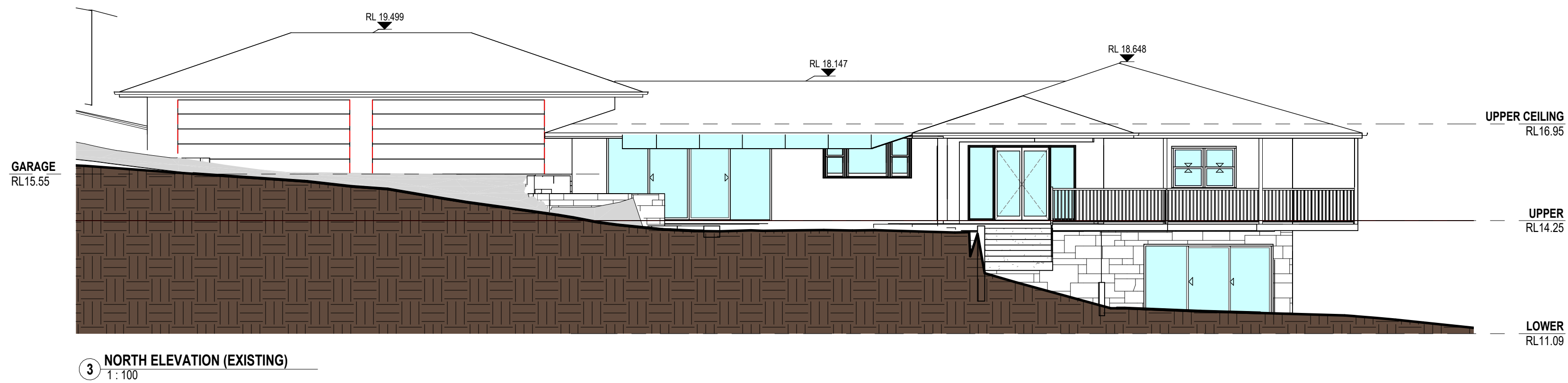
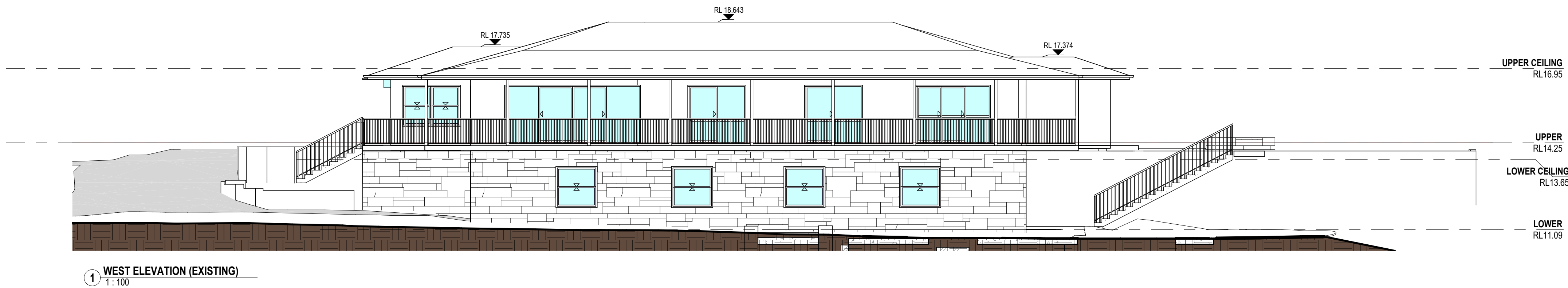


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NOTE: MOST ELEVATIONS HAVE  
SUBSTANTIAL RE-CONFIGURATION.

TO EASE UNDERSTANDING OF THE  
REVISED FACADES OF THE  
DEVELOPMENT, SHADING OF  
CHANGED AREAS HAS NOT BEEN  
INDICATED.



--- EXISTING BUILDING OUTLINE

#### FINISH SCHEDULE (INDICATIVE)

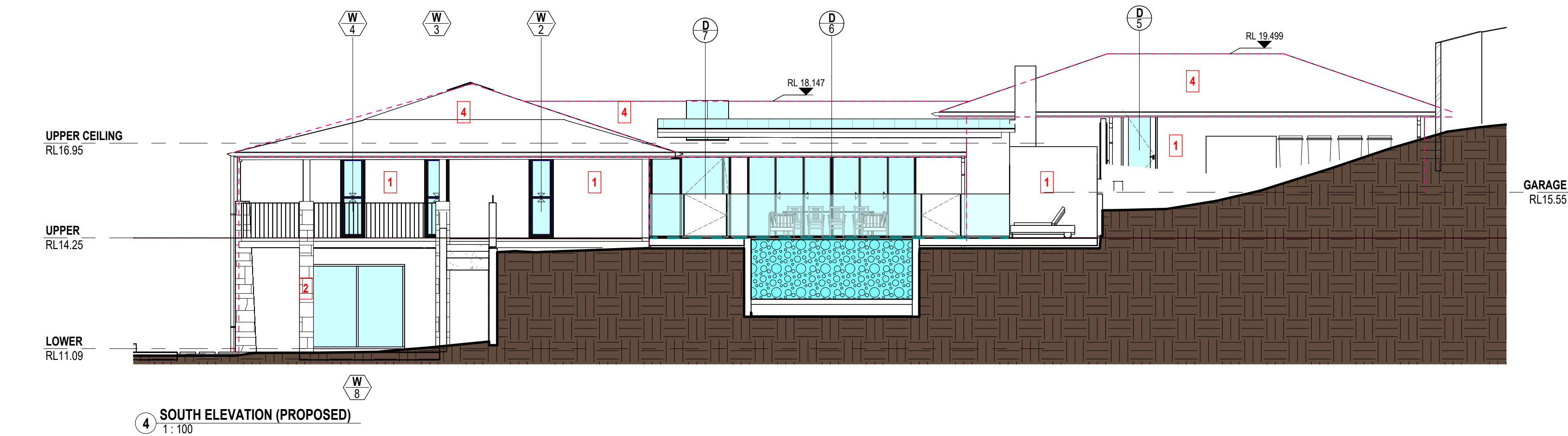
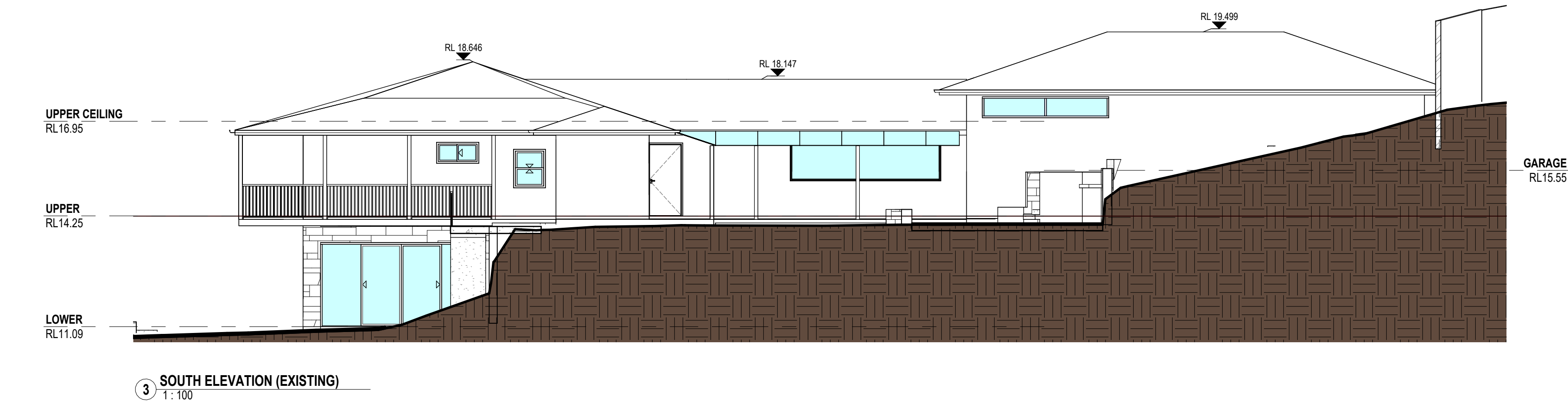
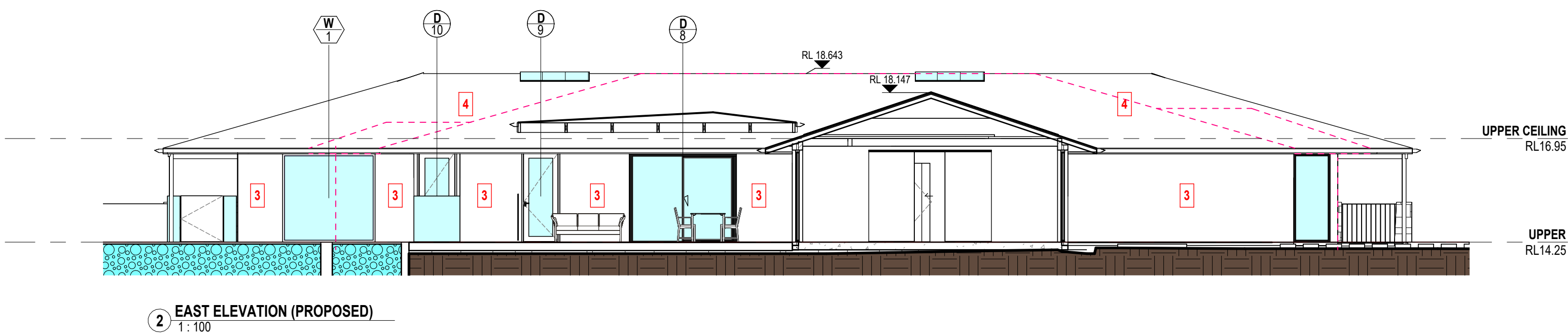
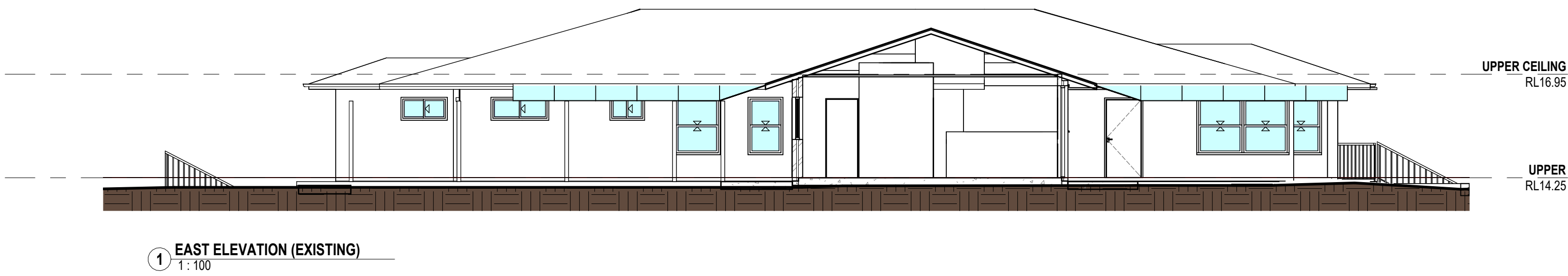
- 1 COLOURED RENDERED BRICK
- 2 SANDSTONE
- 3 STONE FEATURE WALL
- 4 EXISTING TILED ROOF (NEW ROOFS TO MATCH)
- 5 BLACK PAINTED BALUSTRADE
- 6 WHITE OFF FORM CONCRETE

NOT FOR CONSTRUCTION



NOTE: MOST ELEVATIONS HAVE  
SUBSTANTIAL RE-CONFIGURATION.

TO EASE UNDERSTANDING OF THE  
REVISED FACADES OF THE  
DEVELOPMENT, SHADING OF  
CHANGED AREAS HAS NOT BEEN  
INDICATED.



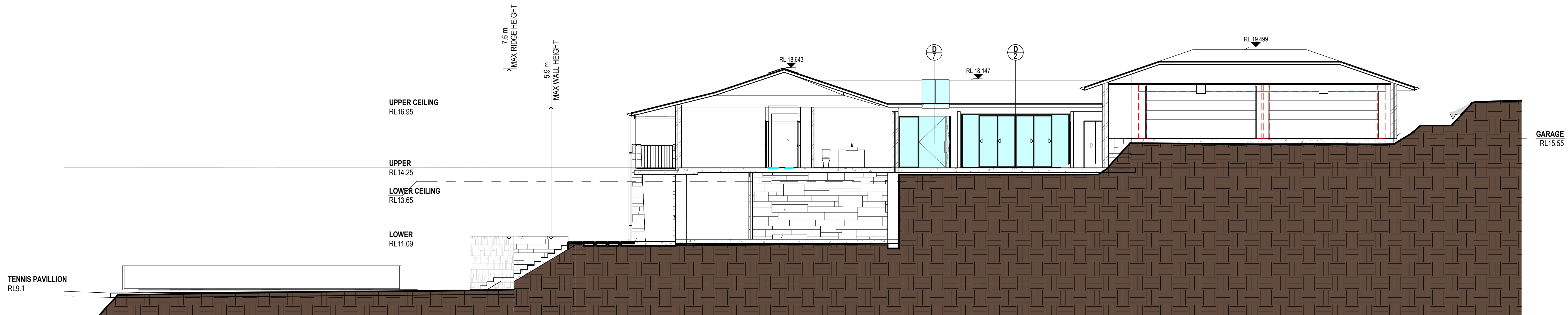
--- EXISTING BUILDING OUTLINE

FINISH SCHEDULE (INDICATIVE)

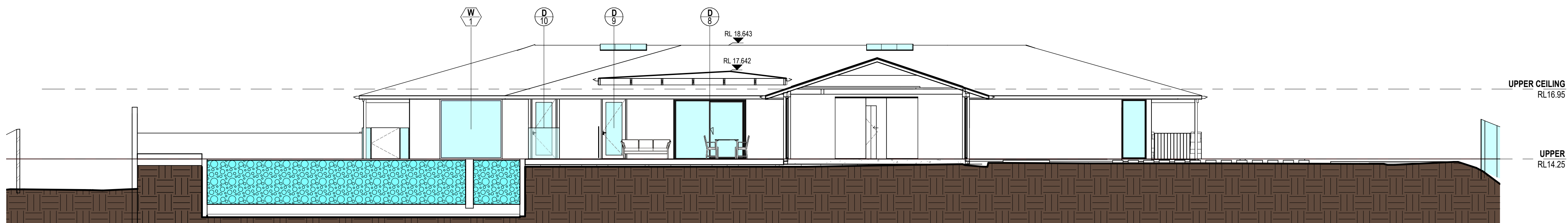
- 1 COLOURED RENDERED BRICK
- 2 SANDSTONE
- 3 STONE FEATURE WALL
- 4 EXISTING TILED ROOF (NEW ROOFS TO MATCH)
- 5 BLACK PAINTED BALUSTRADE
- 6 WHITE OFF FORM CONCRETE

NOT FOR CONSTRUCTION





1 SECTION 01  
1:100



2 SECTION 02  
1:100



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2/5 NARABANG WAY BELROSE NSW 2085  
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SITE ADDRESS  
1 JAMES WHEELER PLACE  
WHEELER HEIGHTS

CLIENT  
ALEX AND ASHLEE SMITH

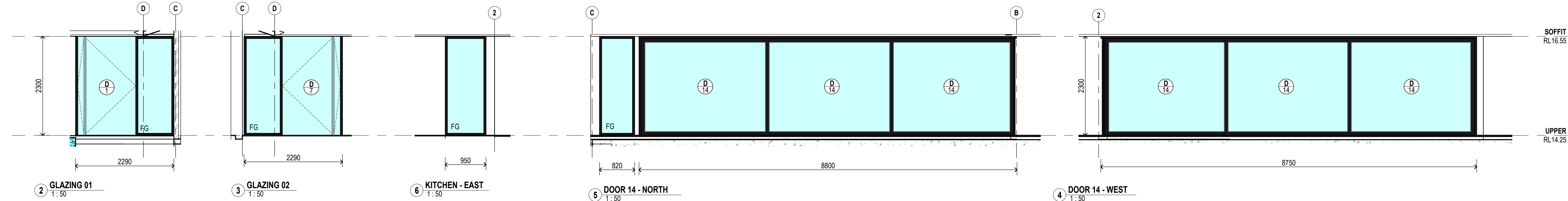
#	DATE	DESCRIPTION
A	30/07/24	UPDATED CONCEPT
B	14/11/24	CLIENT UPDATE
C	09/07/25	ISSUE FOR APPROVAL

PROJECT SMITH - WHEELER HEIGHTS  
TITLE SECTIONS  
SCALE 1:100 @A1  
DRAWING No CD-0501\_C



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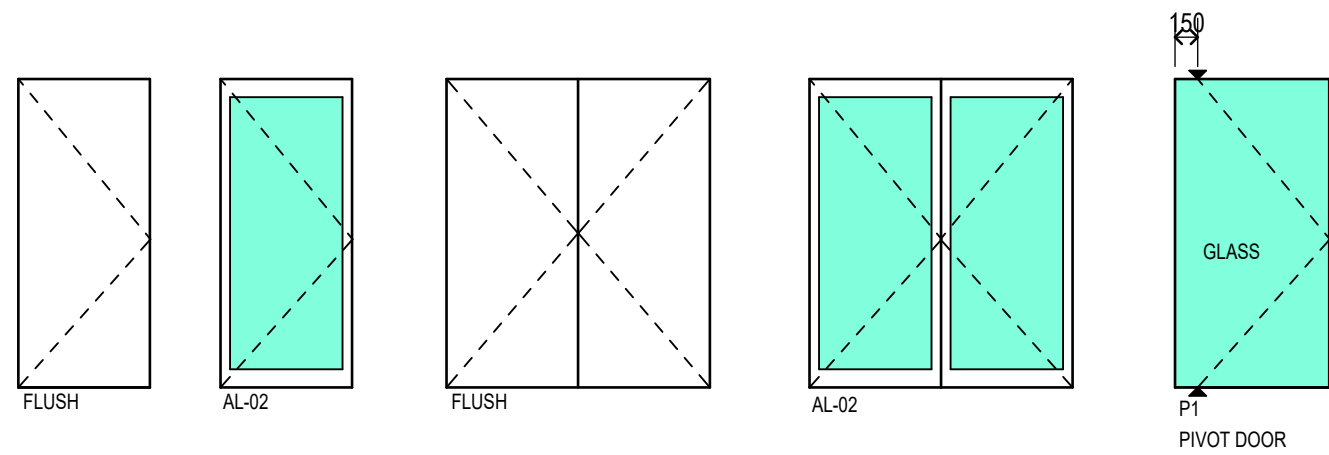


NOTE: ALL EXTERNAL DOORS AND WINDOWS ON MAIN HOUSE TO BE BAL-40 RATED

DOOR SCHEDULE - EXTERIOR											
NUMBER	HEIGHT	WIDTH	# OF LEAFS	LEAF WIDTH 1	LEAF WIDTH 2	LEAF HEIGHT	LEAF STYLE	LEAF THICKNESS	FRAME TYPE	FIRE RATING	DESCRIPTION
1	2300	1352	1						ALUMINIUM	BAL-40	FRAMELESS GLASS PIVOT DOOR WITHIN CURTAIN WALLING
2	2400	4810							ALUMINIUM	BAL-40	OXXXXX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
3	2100	4810							BAL-40		GARAGE TILT-A-DOOR
4	2100	4810							BAL-40		GARAGE TILT-A-DOOR
5	2360	970	1	926		2338	LEAF - AL-02	35	ALUMINIUM	BAL-40	ALUMINIUM, GLAZED
6	2400	4810							ALUMINIUM	BAL-40	OXXXXX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
7	2300	1352	1						ALUMINIUM	BAL-40	FRAMELESS GLASS PIVOT DOOR WITHIN CURTAIN WALLING
8	2330	2800							ALUMINIUM	BAL-40	OX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
9	2360	970	1	926		2338	LEAF - AL-02	35	ALUMINIUM	BAL-40	ALUMINIUM, GLAZED
10	2360	970	1	926		2338	LEAF - AL-02	35	ALUMINIUM	BAL-40	ALUMINIUM, GLAZED
11	2330	3800							ALUMINIUM	BAL-40	OX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
12	2330	2800							ALUMINIUM	BAL-40	OX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
13	2330	2800							ALUMINIUM	BAL-40	OX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
14	2330	8800							ALUMINIUM	BAL-40	6 LEAF CORNER STACKER, EACH LEAF 2300H X 2800W
15	2065	1790	2	870	870	2040	LEAF - FLUSH	40	STEEL	BAL-40	SOLID CORE
51	2400	1600	2	778	778	2365	LEAF - AL-02	35	ALUMINIUM	BAL-40	GLAZED FRENCH DOOR
52	2400	1600	2	778	778	2365	LEAF - AL-02	35	ALUMINIUM	BAL-40	GLAZED FRENCH DOOR
53	2400	1600	2	778	778	2365	LEAF - AL-02	35	ALUMINIUM	BAL-40	GLAZED FRENCH DOOR
54	2400	1600	2	778	778	2365	LEAF - AL-02	35	ALUMINIUM	BAL-40	GLAZED FRENCH DOOR
55	2400	4140							ALUMINIUM	BAL-40	OXOX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION
56	2400	5240							ALUMINIUM	BAL-40	OXOX GLAZED SLIDING DOOR, CLEAR, ZERO THRESHOLD INTEGRATED SUBSILL, DEE-HANDLE OPERATION


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ALUMINIUM GLAZING SCHEDULE									
NUMBER	LEVEL	HEIGHT	WIDTH	SILL	HEAD	ORIENTATION	FIRE RATING	DESCRIPTION	
1	UPPER	2300	2410	0	2300	East	BAL-40	FIXED GLASS WINDOW, ELECTRONIC FROSTING	
2	UPPER	2300	700	0	2300	South	BAL-40	FRAMELESS DOUBLE HUNG, FROSTED	
3	UPPER	2300	700	0	2300	South	BAL-40	FRAMELESS DOUBLE HUNG, FROSTED	
4	UPPER	2300	700	0	2300	South	BAL-40	FRAMELESS DOUBLE HUNG, FROSTED	
6	LOWER	2400	2700	0	2400		BAL-40	FIXED GLASS WINDOW	
8	LOWER	2400	2700	0	2400		BAL-40	FIXED GLASS WINDOW	
10	UPPER	2300	700	0	2300	North	BAL-40	FRAMELESS DOUBLE HUNG, FROSTED	




- DOOR NOTES:
- TO BE READ IN CONJUNCTION WITH DOOR HARDWARE SCHEDULE
  - ACOUSTIC AND SMOKE THRESHOLD SEALS TO BE SEMI-REBATE TYPE
  - DOOR LEVERS TYPICALLY 1000 AFL WHERE POSSIBLE. REFER DOOR HARDWARE ZONE DOOR LEGEND ITEM
  - REFER FINISHES SCHEDULE FOR ALL FRAME FINISHES
  - REFER HARDWARE SCHEDULE FOR ADDITIONAL PERIMETER / THRESHOLD SEAL REQUIREMENTS
  - KICK PLATES, FULL LEAF WIDTH, 0.9mm 304 No.4 SATIN STAINLESS STEEL, GLUED AND SCREWED FIXED WITH STAINLESS RAISED HEAD SCREWS, TO BOTH SIDES OF LEAF.
- ALL SWING DOORS & TO BE ABLE TO BE HELD IN THE OPEN POSITION, TYPICALLY 180° TO ALIGN WITH ADJACENT WALL.

NOT FOR CONSTRUCTION



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SITE ADDRESS  
1 JAMES WHEELER PLACE  
WHEELER HEIGHTS

CLIENT  
ALEX AND ASHLEE SMITH


#	DATE	DESCRIPTION
A	09/05/25	SKETCH ISSUE FOR BASIX
B	28/05/25	ISSUE TO CONSULTANTS
C	06/06/25	UPDATE FOR BASIX
D	09/07/25	ISSUE FOR APPROVAL

PROJECT SMITH - WHEELER HEIGHTS

TITLE EXTERNAL GLAZING AND DOOR SCHEDULE

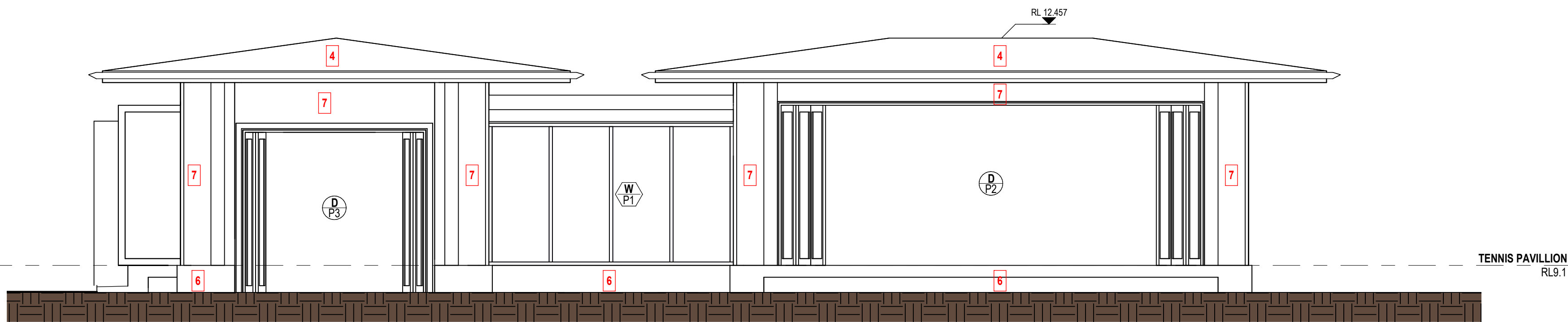
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DRAWING No CD-0901\_D

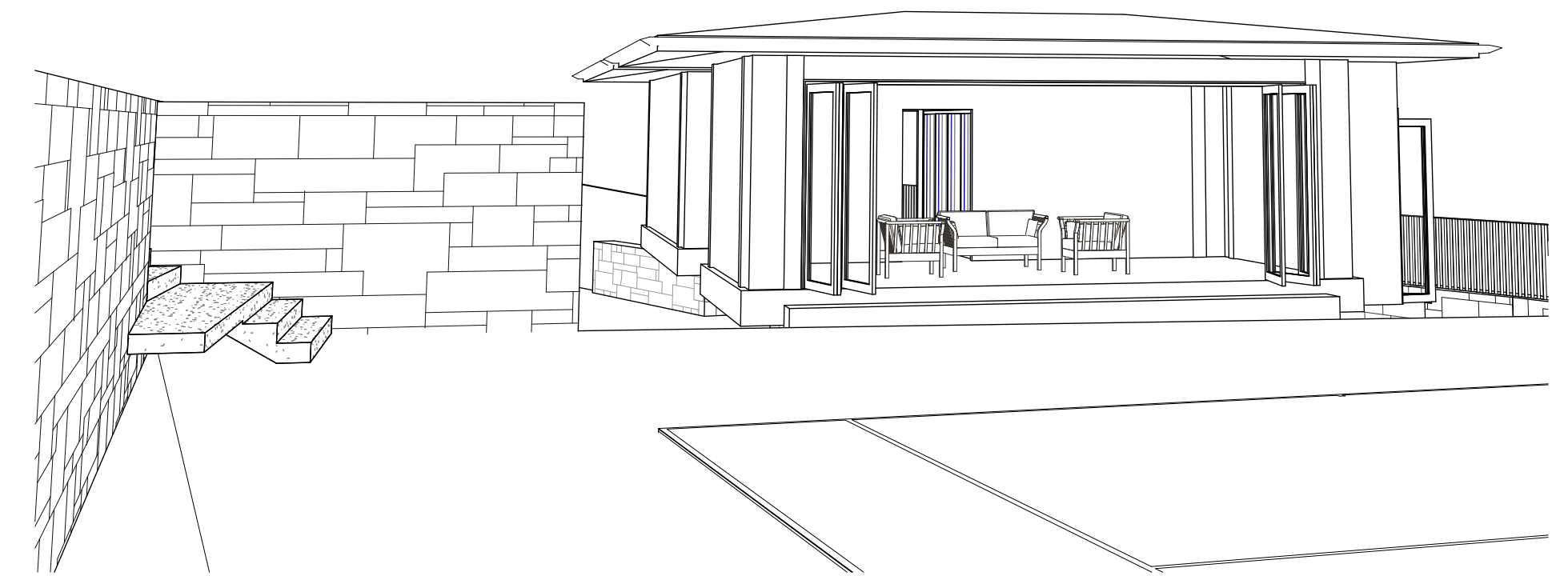


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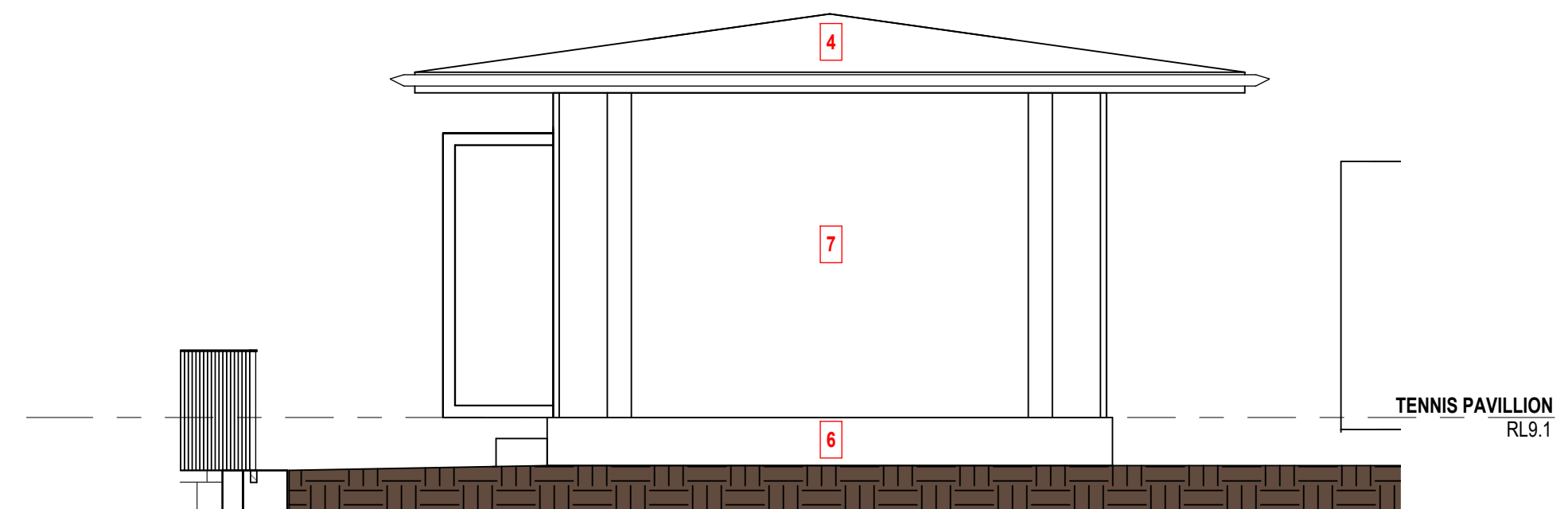
2 PAVILION - WEST  
1:50



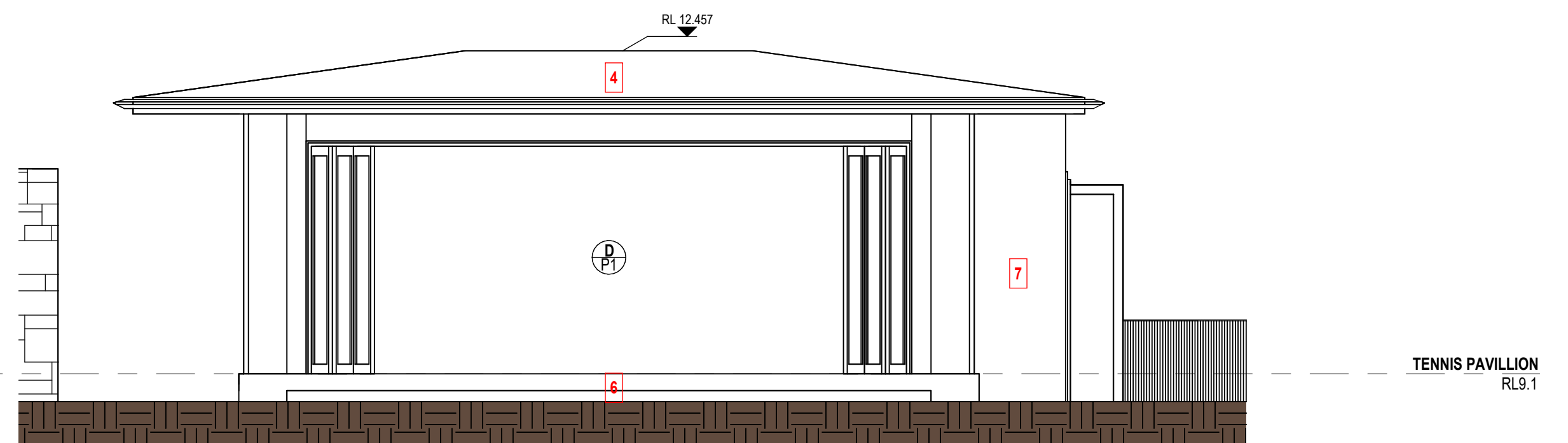
5 PAVILION PERSPECTIVE  
NOT TO SCALE

#### FINISH SCHEDULE (INDICATIVE)

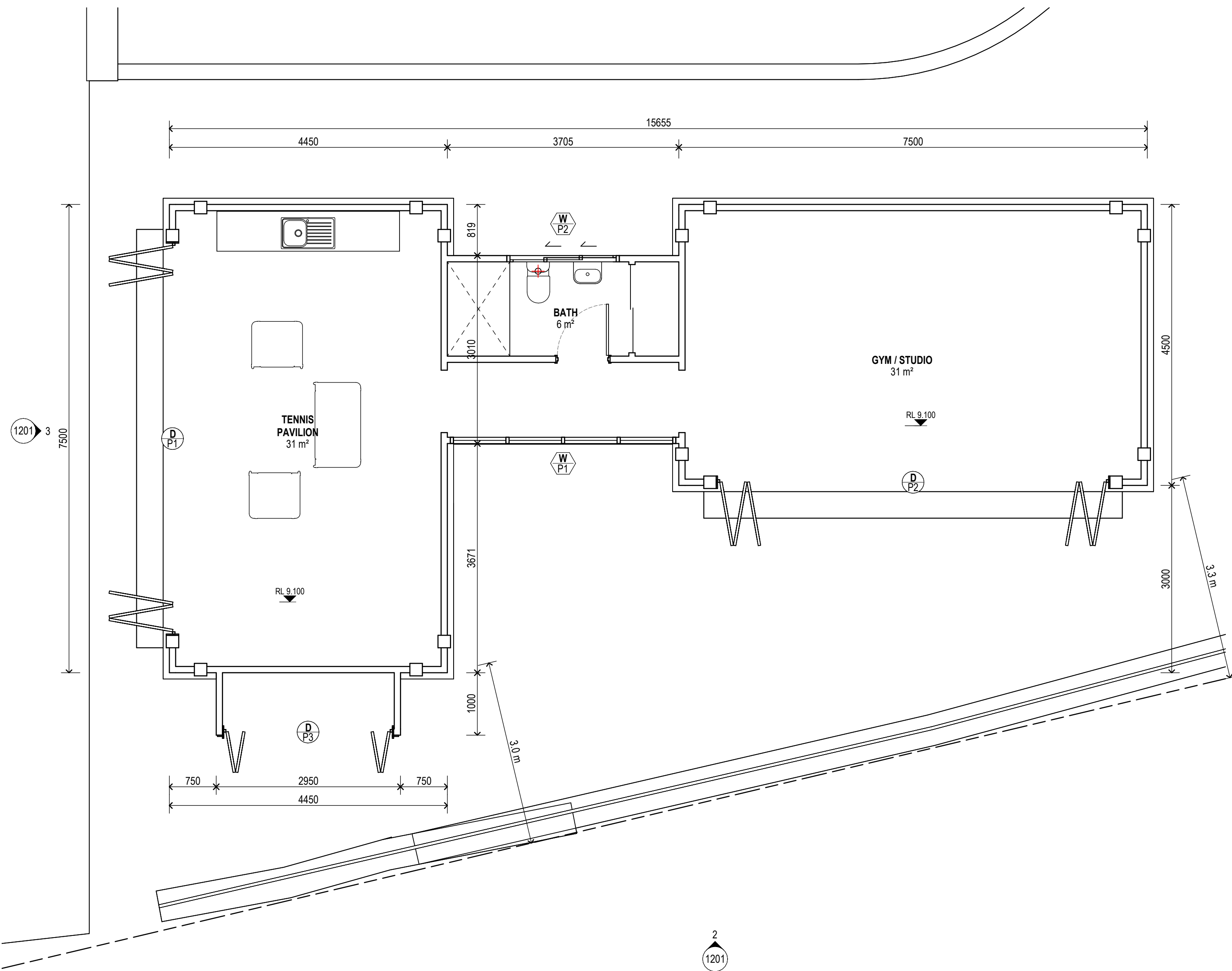
- 1 COLOURED RENDERED BRICK
- 2 SANDSTONE
- 3 STONE FEATURE WALL
- 4 EXISTING TILED ROOF (NEW ROOFS TO MATCH)
- 5 BLACK PAINTED BALUSTRADE
- 6 WHITE OFF FORM CONCRETE
- 7 PAINTED ARCHITECTURAL FIBRE CEMENT CLADDING



4 PAVILION - SOUTH  
1:50



3 PAVILION - NORTH  
1:50



1 PAVILION PLAN  
1:50

NOT FOR CONSTRUCTION