



Member of the Fire Protection Association of Australia

Thursday, 23 October 2025

Purpose:

To provide advice to the Principal Certifying Authority regarding compliance with bushfire risk requirements.

Property Address:

180 McCarrs Creek Road Church Point.

Lot and DP Number:

Lot 12, DP776130.

Referenced Documents:

- Previous Bushfire Risk Assessment dated Wednesday, 14 April 2021
- Revised plans (attached)

Proposed Works: Installation of an Inclinor.

The General Manager

Northern Beaches Council.

Dear Sir/Madam,

Re: Bushfire Assessment Review – 180 McCarrs Creek Road Church Point.

This letter is to provide an update on the bushfire risk assessment for the proposed works to the northern side of the existing dwelling at the address mentioned above. Revised plans have been submitted, prompting a review of the original Bushfire Risk Assessment completed on 14/04/2021.

The revised plans have been assessed against the recommendations and findings of the original report. No new variables introduced by the proposed changes are found to alter the compliance outcomes or recommendations of the previous assessment.

However, the new works should be constructed from non-combustible materials and where timber is used the timber should be a BAL-29 rated timber unless the timber is at a distance of greater than 6m from a habitable dwelling where there are no requirements.

Based on this review, the revised proposal remains consistent with the previous bushfire protection requirements and does not compromise the outcomes of the original assessment.

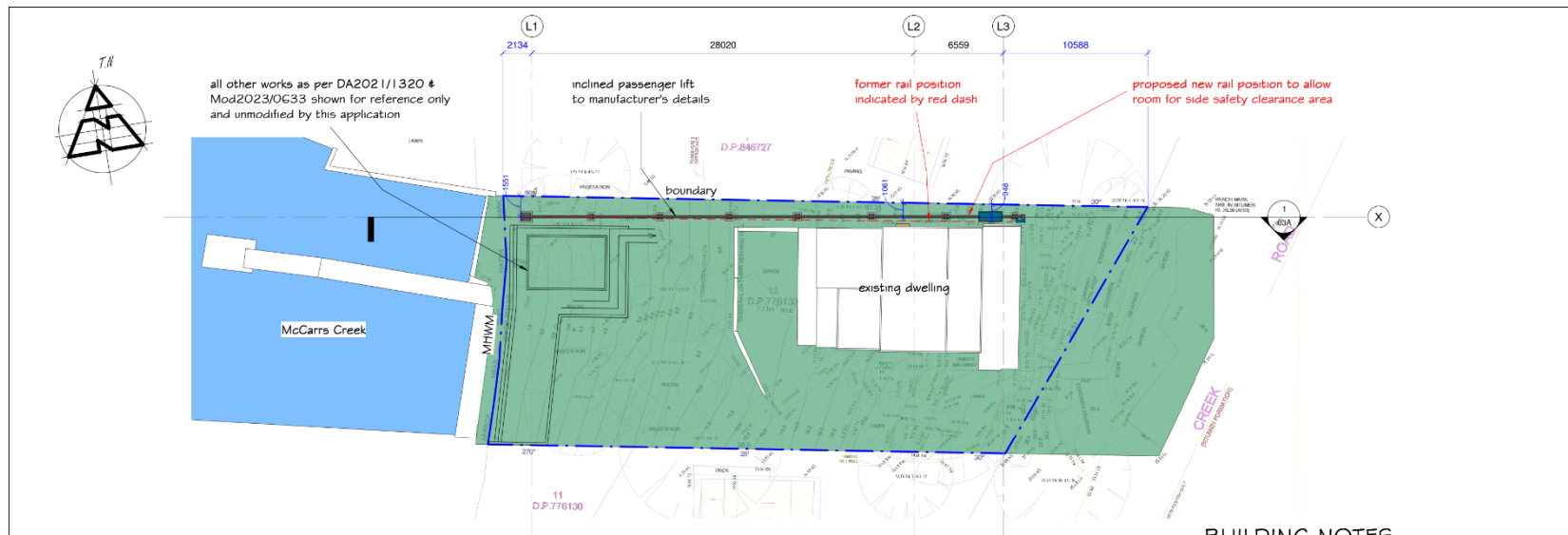
If further clarification or additional information is required, please feel free to make contact.

Yours faithfully,

Matthew Willis

Graduate Diploma in Planning for Bushfire Prone Areas

FPAA BPAD Level 3 (BPD-PA 09337)



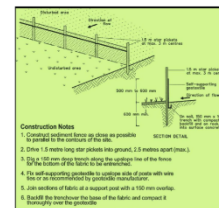
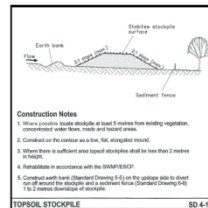
SITE PLAN @ 1:200

EROSION AND SEDIMENT CONTROL PLAN

1. All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards.
2. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
3. Where excavations extend below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation must preserve and protect the building from damage and, if necessary, underpin and support the adjoining building in an approved manner.
4. Temporary sedimentation and erosion controls are to be constructed prior to commencement of any work to eliminate the discharge of sediment from the site.
5. Adequate measures shall be undertaken to remove clay from vehicles leaving the site so as to maintain public roads in a clean condition.
6. Builder to confirm the locations of barrier fences and stockpiles onsite, see suggested main barrier fence location on site plan.
7. Sediment fences and stockpiles to be constructed in accordance with modern standards and the diagrams seen to the right.
8. Due to the steeply sloping site, special care will be taken to prevent soil runoff into existing drains or beyond the boundary line.
9. Note that due to the constraints of the site, barriers may need to be relocated during construction.
10. All E5PCP measures are to be installed and managed in accordance with Landcom's Managing Urban Stormwater: Soils and Construction 2004.

4.55

NOT FOR CONSTRUCTION



BUILDING NOTES

All work to be carried out by suitably licensed and qualified tradesmen, and to comply with all relevant standards and Council requirements.

Main contractor to be responsible for obtaining all necessary inspection certificates.

An approved sedimentation control system is to be installed and maintained for the duration of the contract.

Adjoining properties to be adequately protected at all times.

Asbestos (if encountered) is to be removed and disposed of by a suitably qualified contractor.

Builder & lift manufacturer to confirm all dimensions onsite.

Lift noise level shall not exceed 60dB(A) when measured 1 meter from any adjoining premises.

Railcars and landings to be painted in med to dark colours to blend in with the natural landscape.

Proposed Incline Passenger Lift and associated gates and safety mechanisms to be designed and constructed to relevant standards.

All handrails and gates are to be installed in accordance with BCA 2022 Housing Provisions Part 11.3.

REVISION REV A 10.10.25 - DRAWING SET - UPDATED TO SECTION 4.55	 BUILDING DESIGN ASSOCIATES AUSTRALIA	 multi-award winner 77 Riviera Ave, Avalon Beach 2107 0488 662 445 www.peterdownes.com.au	PROJECT 180 McCarrs Creek Road Church Point	DRAWN SD CHECKED SD
			DRAWING Site Plan / Notes / E5CP	SCALE 1 : 200 DATE 8.9.25 DRG. A2 2522 01A

