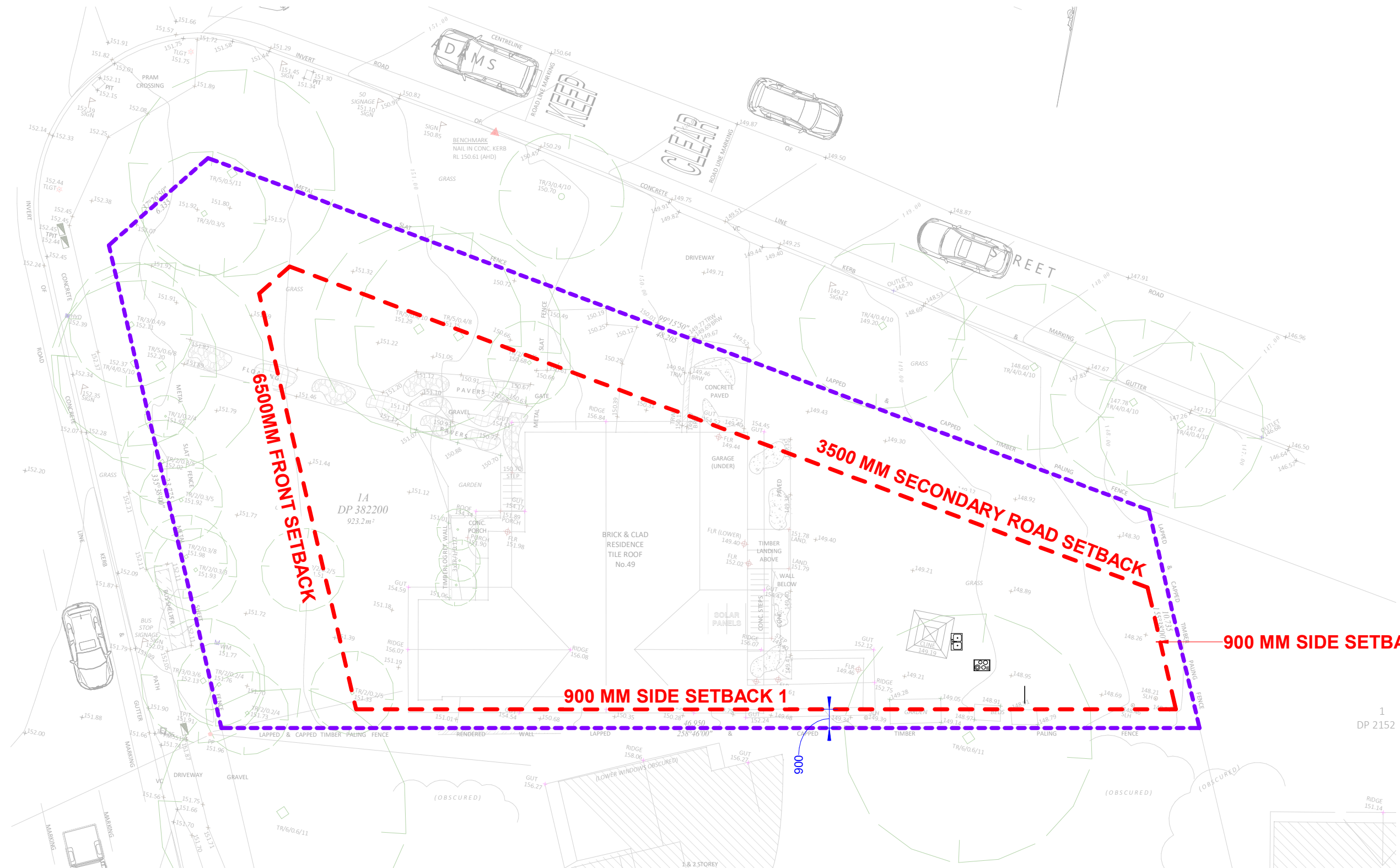
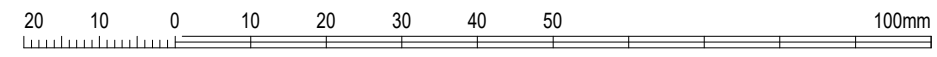


ISSUE	DATE	REVISION



1 SETBACK PLAN
1 : 200





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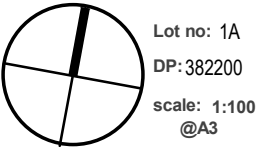
028320 9333 0490 542 179



A02.04

Sheet Name:

Address: 49 Forest Way, Frenchs Forest

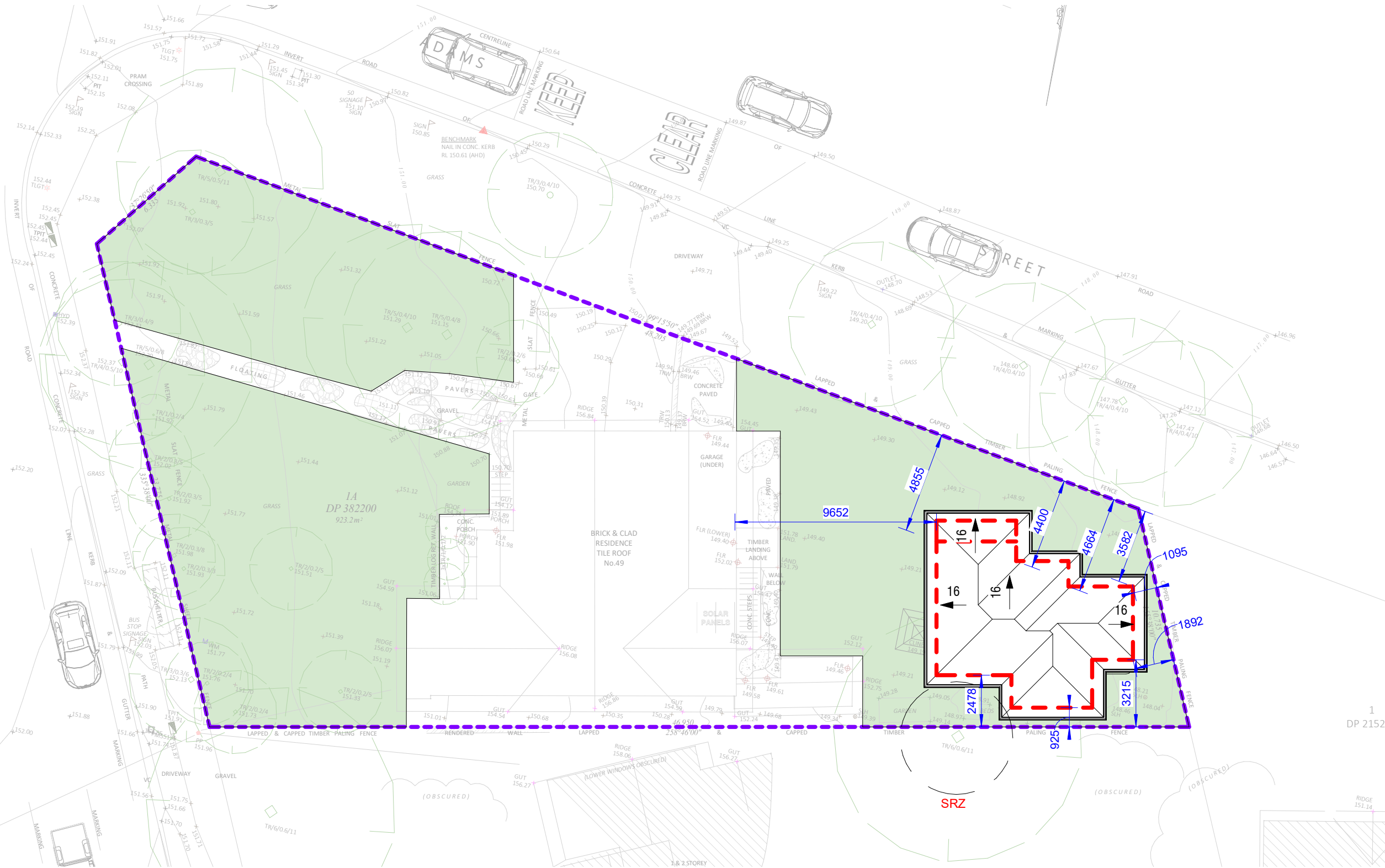
Project Name: **SECONDARY DWELLING**

Client: AHMAD

Drawn by : AK

	ISSUE	DATE	REVISION

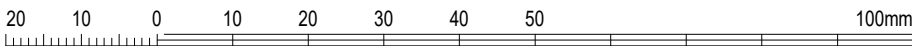
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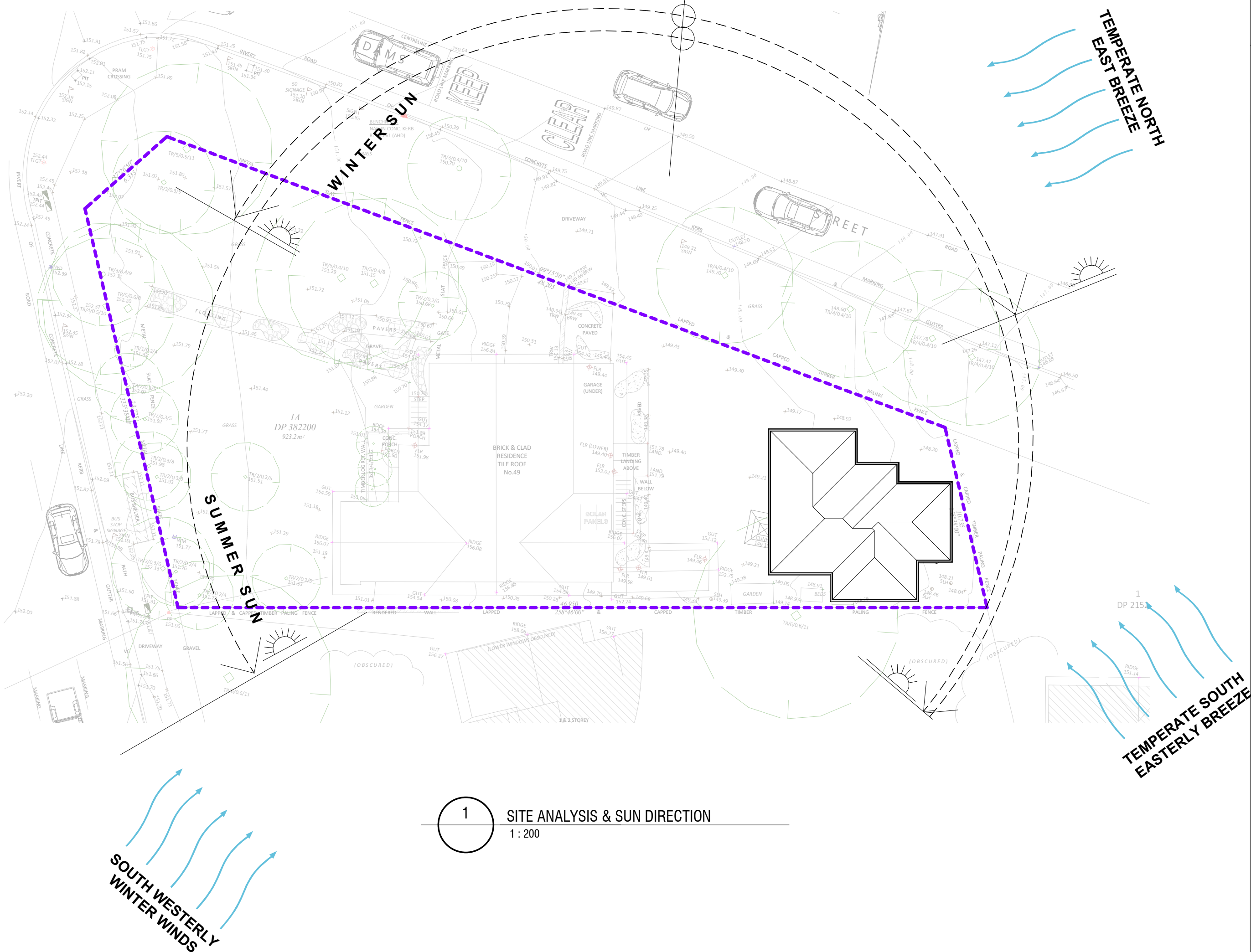


SITE CALCULATIONS	
FLOOR AREA CALCULATIONS	
SITE AREA:	923.2m ²
AREA OF THE EXISTING HOUSE FLOOR:	130m ²
AREA OF THE PROPOSED GRANNY FLAT:	52m ²
PROPOSED TOTAL FLOOR AREA:	182m ²
SITE COVERAGE CALCULATION	
PROPOSED AREA:	285m ²
LANDSCAPING CALCULATIONS	
PROPOSED TOTAL LANDSCAPED AREA:	638.2m ²



	DCP SETBACK	PROPOSED
FRONT SETBACK	6.5M	EXISTING
SECONDARY RD	3.5M	3.5M
SIDE SETBACK1	0.9M	0.92M
SIDE SETBACK2	0.9M	1.095M





A02.05

Sheet Name: SITE ANALYSIS & SUN DIRECTION

Address: 49 Forest Way, Frenchs Forest

Project Name: SECONDARY DWELLING

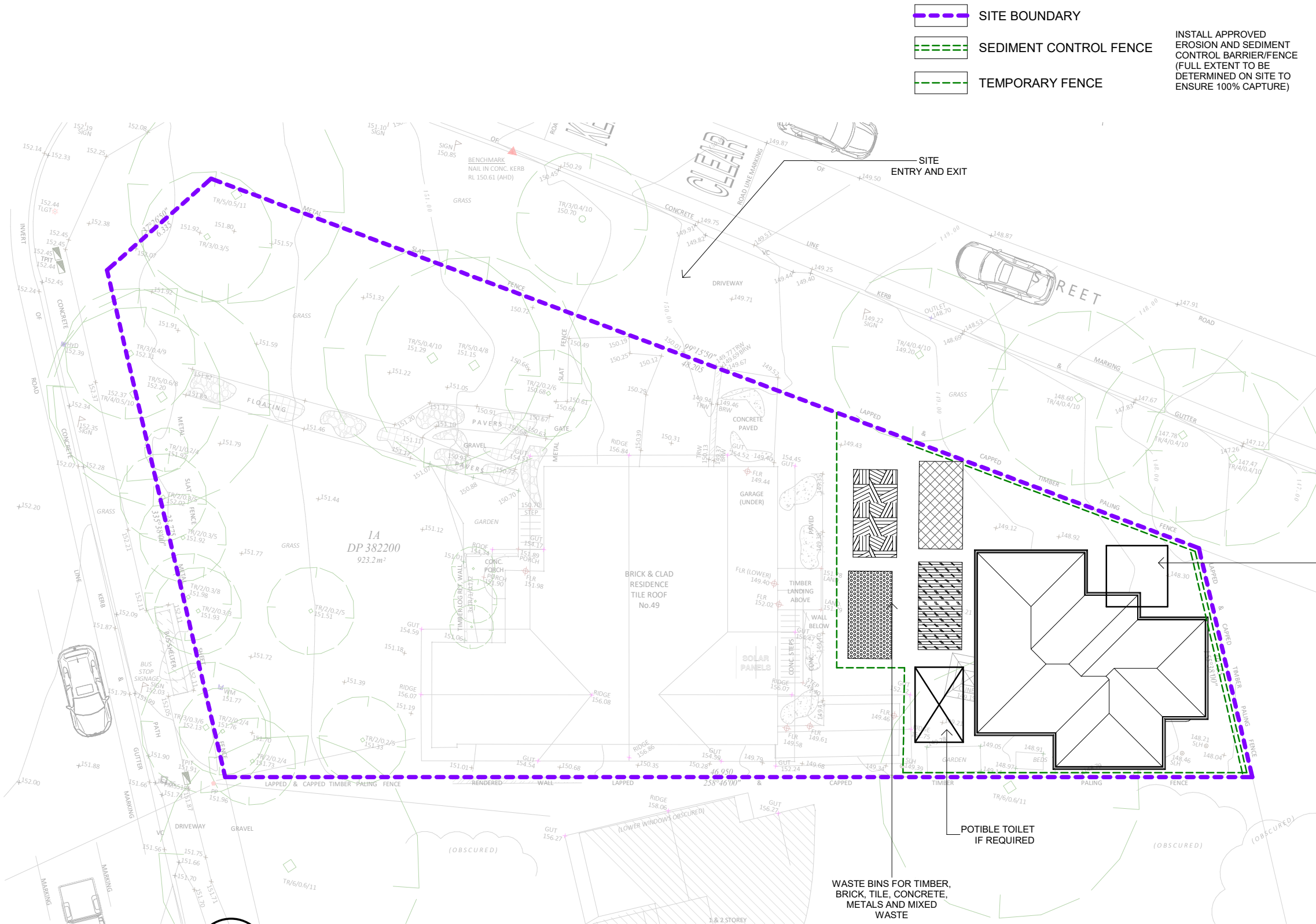
Lot no: 1A
DP: 382200
scale: 1:100
@A3

Client: AHMAD

Drawn by :AK

ISSUE	DATE	REVISION

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- SITE BOUNDARY
- SEDIMENT CONTROL FENCE
- TEMPORARY FENCE

INSTALL APPROVED EROSION AND SEDIMENT CONTROL BARRIER/FENCE (FULL EXTENT TO BE DETERMINED ON SITE TO ENSURE 100% CAPTURE)

WASTE LEGEND:

- BRICK, TILE, CONCRETE DISPOSAL BIN 3 CUBIC METRES
- TIMBER DISPOSAL BIN 3 CUBIC METRES
- MIXED WASTE DISPOSAL BIN 3 CUBIC METRES
- METALS DISPOSAL BIN 3 CUBIC METRES

STOCKPILING OF "STRIPPED" TOP SOIL AND EXCAVATED MATERIAL TO BE ADEQUATELY PROTECTED WITH GEOTEXTILE MATERIAL. SILT FENCES SHOULD BE PROVIDED IF ASSISTANCE IS NEEDED IN CONTAINING AND SEPERATING STOCKPILES.

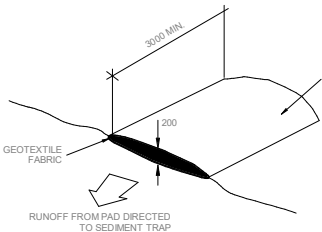
SEDIMENT RUN-OFF CONTROL DURING EARTHWORKS:

THE CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION AND SEDIMENT CONTROL MEASURES GENERALLY IN ACCORDANCE WITH GUIDELINES OF THE NEW SOUTH WALES SOIL CONSERVATION SERVICE AND AS NESASSARY TO PREVENT RUN OFF FROM THE SITE OF ANY SEDIMENT RESULTING FROM HIS WORKS ALL MEASURES ARE TO COMPLY WITH THE REQUIREMENTS OF THE APPROVING COUNCIL TRUCKS AND VEHICLES LEAVING THE SITE ARE NOT TO SPREAD SPOIL ONTO THE ROADWAY OR ALLOW SPOIL TO ENTER THE STORMWATER SYSTEM. ALL DISTURBED GROUND AREAS AND STOCKPILES OF EXCAVATED OR IMPORTED MATERIAL IS TO BE STABILIZED WITHIN 48 HOURS. DUST IS TO BE SUPPRESSED BY WATERING

1

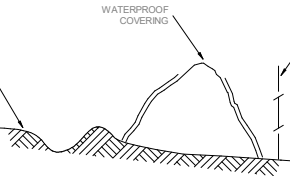
WASTE MANAGEMENT AND SEDIMENT EROSION CONTROL PLANS

1 : 200



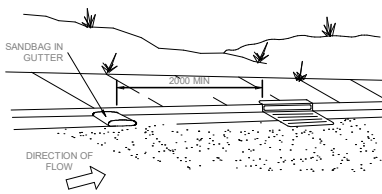
VEHICLE ACCESS TO SITE

NTS
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



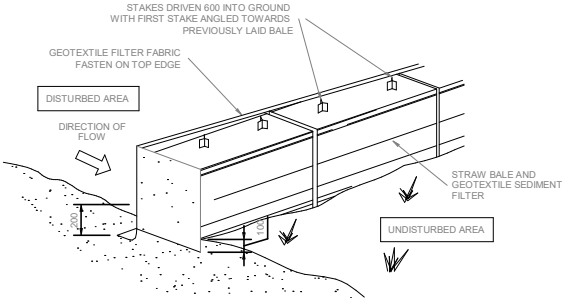
BUILDING MATERIAL STOCKPILES

NTS
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION. THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



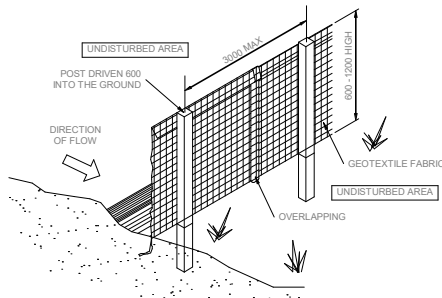
SANDBAG KERB SEDIMENT TRAP

NTS
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



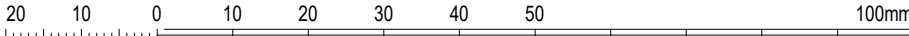
STRAW BALE DETAIL

NTS



SEDIMENT AND EROSION FENCE DETAIL

NTS



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WASTE MANAGEMENT AND SEDIMENT EROSION CONTROL PLANS

Sheet Name:

49 Forest Way, Frenchs Forest

Address:

Project Name: SECONDARY DWELLING

Lot no: 1A
DP: 382200
scale: 1:100 @A3

Client: AHMAD

Drawn by :AK

REVISION	DATE	ISSUE

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SITE NOTE:
BEFORE STARTING WORK ON SITE, BUILDER TO ENSURE TO CHECK/ VERIFY THE FOLLOWING:

- SERVICE LOCATIONS.
- SEWER CONNECTION POSITIONS
- DRIVEWAY ALIGNMENT & LEVELS
- INDICATION DOWNPIPE LOCATION

WINDOWS SCHEDULE		
Mark	SIZE (w x h)	AREA
GRANNY GF		
GW1	2100 mm x 1800 mm	3.78 m ²
GW2	900 mm x 900 mm	0.81 m ²
GW3	2100 mm x 1800 mm	3.78 m ²
GW4	2100 mm x 1800 mm	3.78 m ²
GW5	1500 mm x 600 mm	0.90 m ²
GW6	820 mm x 2100 mm	1.72 m ²

TERMITE NOTE:

ALL TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3660. GRANITGUARD OR SIMILAR AS PER MANUFACTURERS SPECIFICATION.

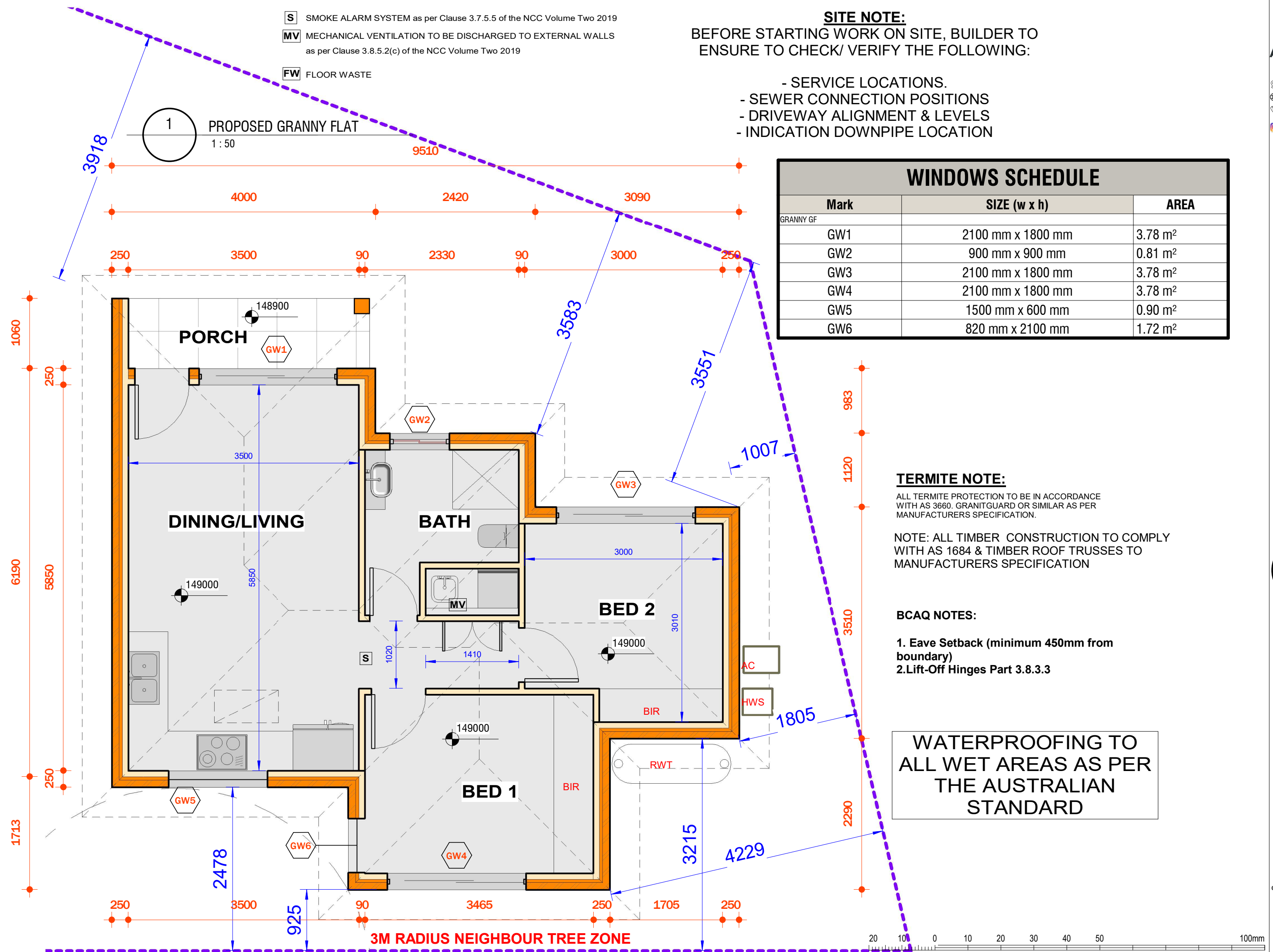
NOTE: ALL TIMBER CONSTRUCTION TO COMPLY WITH AS 1684 & TIMBER ROOF TRUSSES TO MANUFACTURERS SPECIFICATION

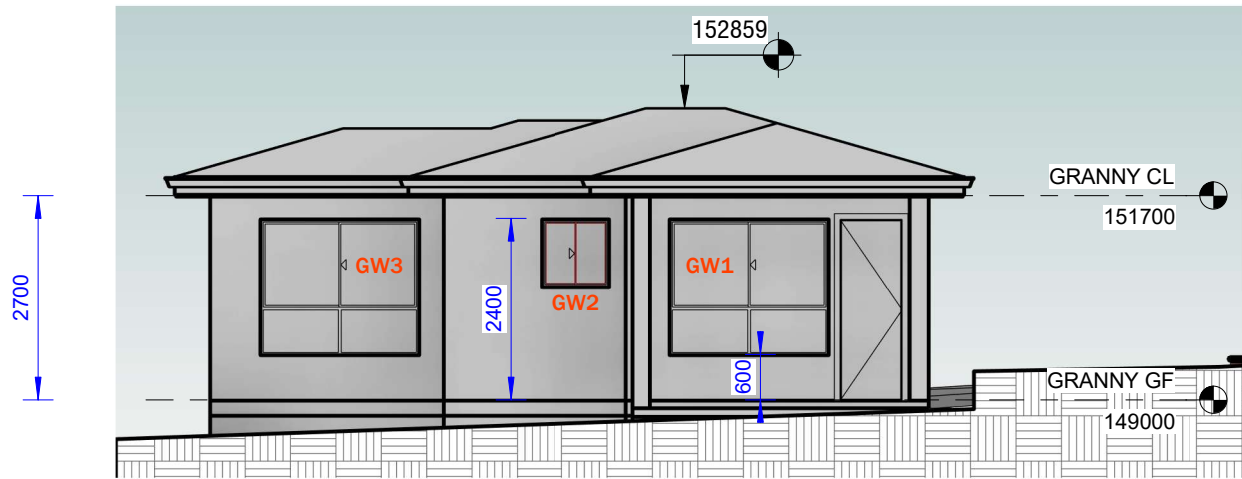
BCAQ NOTES:

1. Eave Setback (minimum 450mm from boundary)
2. Lift-Off Hinges Part 3.8.3.3

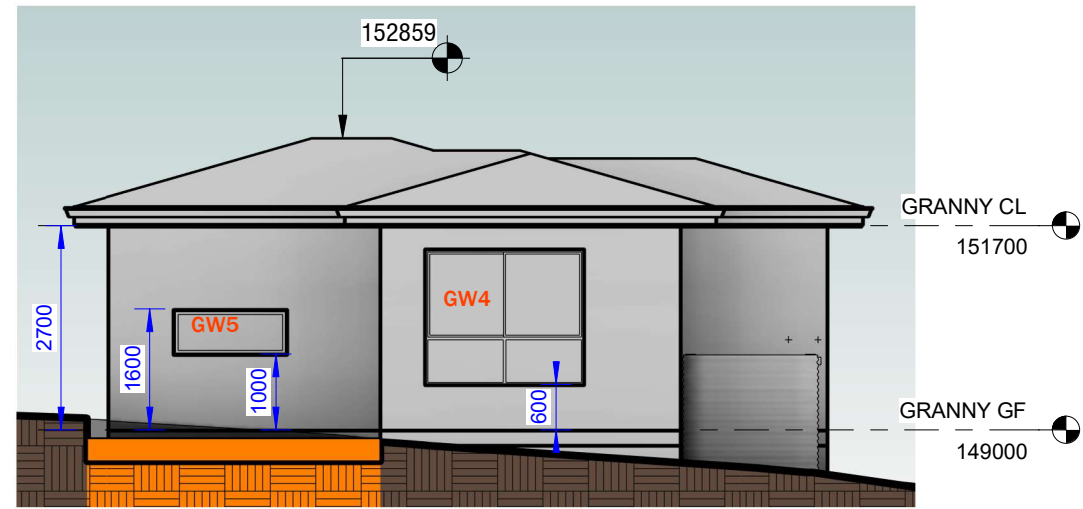
WATERPROOFING TO ALL WET AREAS AS PER THE AUSTRALIAN STANDARD

- S** SMOKE ALARM SYSTEM as per Clause 3.7.5.5 of the NCC Volume Two 2019
MV MECHANICAL VENTILATION TO BE DISCHARGED TO EXTERNAL WALLS as per Clause 3.8.5.2(c) of the NCC Volume Two 2019
FW FLOOR WASTE

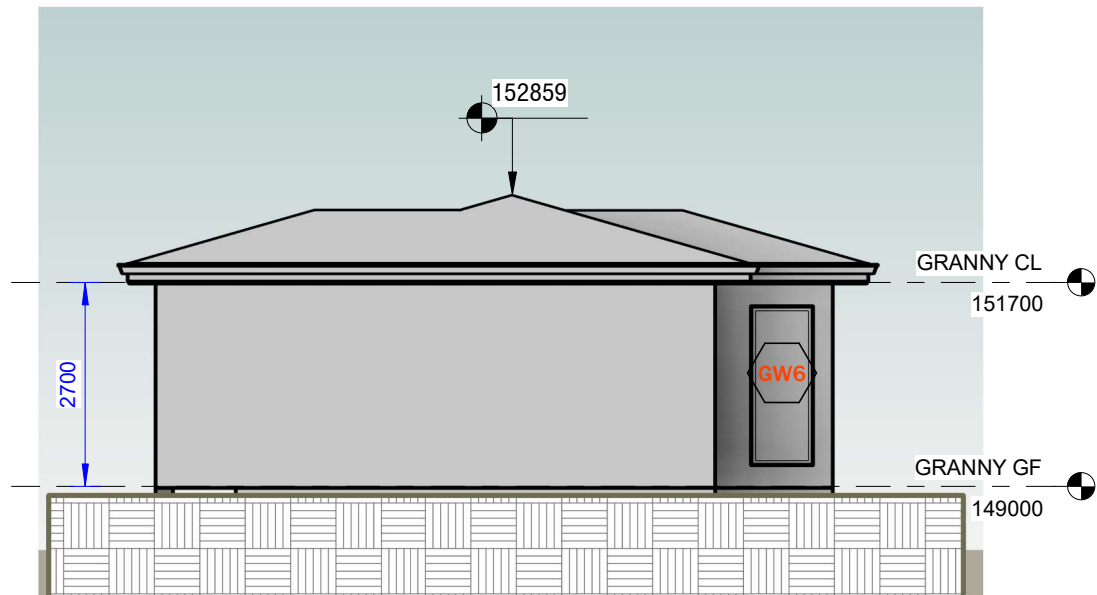




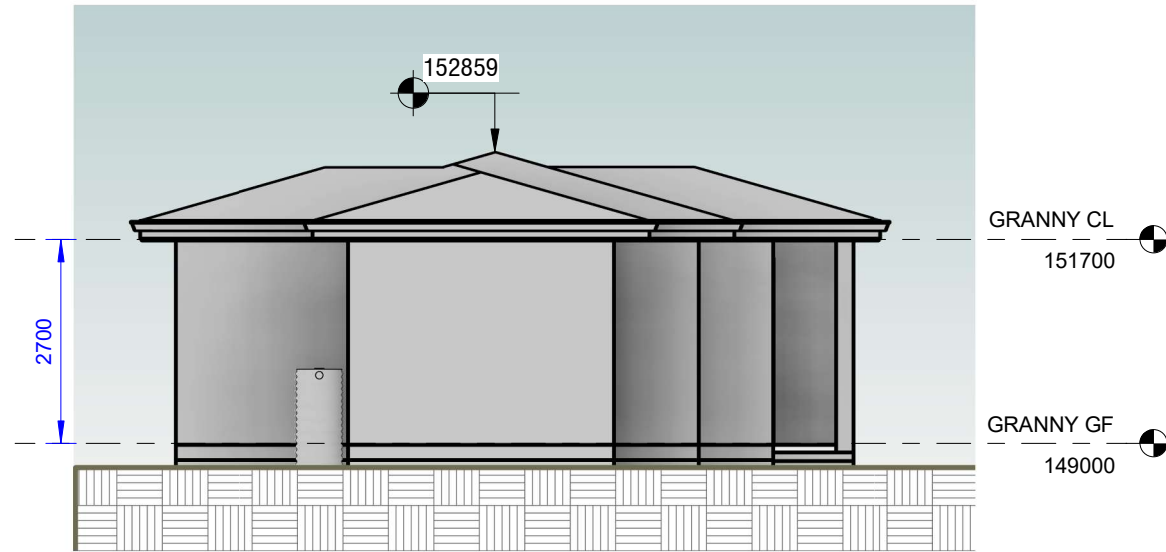
1 NORTH ELEVATION
1 : 100



2 SOUTH ELEVATION
1 : 100



3 WEST ELEVATION
1 : 100



4 EAST ELEVATION-
1 : 100



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BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

A04

ELEVATIONS

Sheet Name:

Address: 49 Forest Way, Frenchs Forest

Project Name: SECONDARY DWELLING



Lot no: 1A

DP: 382200

scale: 1:100

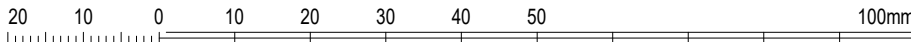
@A3

Client: AHMAD

Drawn by :AK

ISSUE	DATE	REVISION

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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1412890S_02 lodged with the consent authority or certifier on 18 August 2023 with application DA2023/1150.

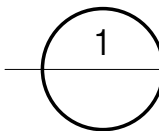
It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Sunday, 03 December 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



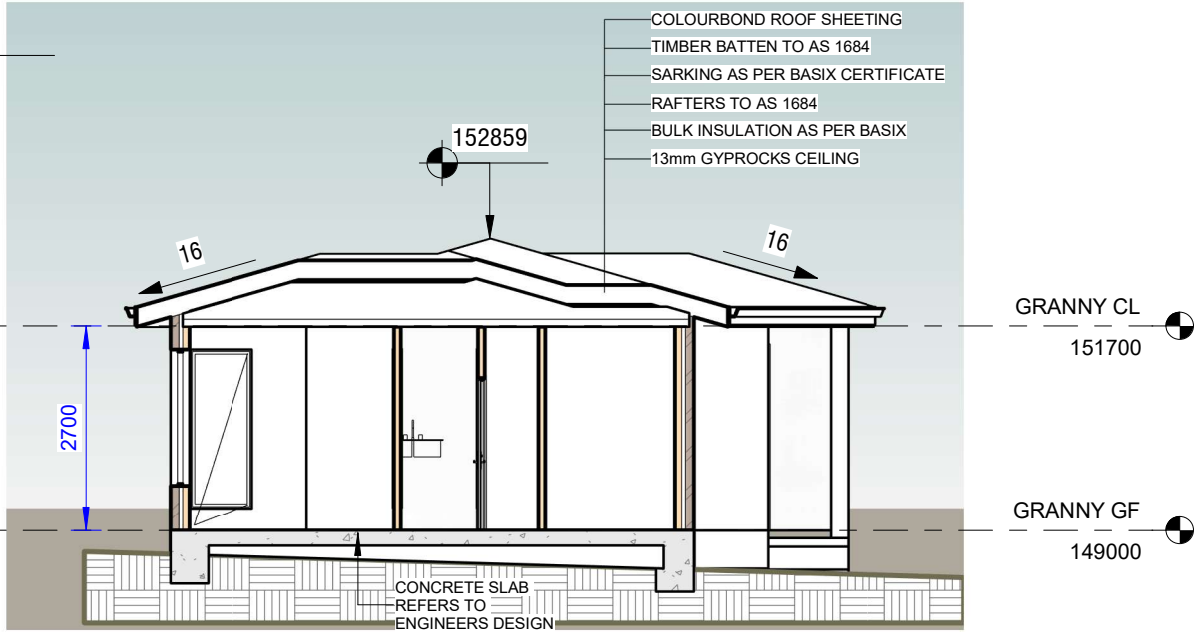
Project summary		
Project name	No.49 Forest Way, Frenchs Forest_02_03	
Street address	49 FOREST WAY WAY FRENCHS FOREST 2086	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan 382200	
Lot no.	1A	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	2	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by	
Name / Company Name: Architecture Insight Pty Ltd	
ABN (if applicable): 82847312007	



SECTION PLAN

1 : 100



Description of project

Project address	
Project name	No.49 Forest Way, Frenchs Forest_02_03
Street address	49 FOREST WAY WAY FRENCHS FOREST 2086
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 382200
Lot no.	1A
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	2
Site details	
Site area (m²)	923
Roof area (m²)	76
Conditioned floor area (m²)	54.0
Unconditioned floor area (m²)	6.0
Total area of garden and lawn (m²)	60
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/ m²/year)	n/a	
Area adjusted heating load (MJ/ m²/year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
external wall - brick veneer	1.86 (or 2.40 including construction)	
external wall - cavity brick	0.50 (or 1.17 including construction)	
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.5 (up), roof: foil/sarking	unventilated; medium (solar absorbance 0.475-0.70)

Note	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
GW4	1800.00	2100.00	aluminium, single, clear	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed
GW5	600.00	1500.00	aluminium, single, clear	eave 450 mm, 600 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1 phase air conditioning: Energy rating 4.5 Star (old label)	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1 phase air conditioning: Energy rating 4 Star (old label)	✓	✓	✓
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.	✓	✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.	✓	✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off	✓	✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off	✓	✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off	✓	✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and unless the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
- at least 2 of the bedrooms / study; dedicated	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
- at least 2 of the living / dining rooms, dedicated			
- the kitchen; dedicated	✓	✓	✓
- all bathrooms/toilets; dedicated	✓	✓	✓
- the laundry; dedicated	✓	✓	✓
- all hallways; dedicated	✓	✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.	✓	✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.	✓	✓	✓

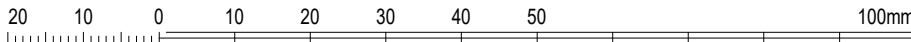
Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage test) in all showers in the development.	✓	✓	✓
The applicant must install a toilet flushing system with a minimum rating of 5 star in each toilet in the development.	✓	✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.	✓	✓	✓
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.	✓	✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1800 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 65 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).	✓	✓	✓
The applicant must connect the rainwater tank to:	✓	✓	✓
- all toilets in the development	✓	✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)	✓	✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
- For the following glass and frame types, the certifier check can be performed by visual inspection.	✓	✓	✓
- Aluminium single clear	✓	✓	✓
- Aluminium double (air) clear	✓	✓	✓
- Timber/uPVC/fibreglass single clear	✓	✓	✓
- Timber/uPVC/fibreglass double (air) clear	✓	✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
GW1	1800.00	2100.00	aluminium, single, clear	eave 450 mm, 600 mm above head of window or glazed door	not overshadowed
GW2	900.00	600.00	aluminium, single, clear	eave 450 mm, 600 mm above head of window or glazed door	not overshadowed
GW3	1800.00	2100.00	aluminium, single, clear	eave 450 mm, 600 mm above head of window or glazed door	not overshadowed
South facing					



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A05

Sheet Name: SECTION PLAN
Address: 49 Forest Way, Frenchs Forest
Project Name: SECONDARY DWELLING

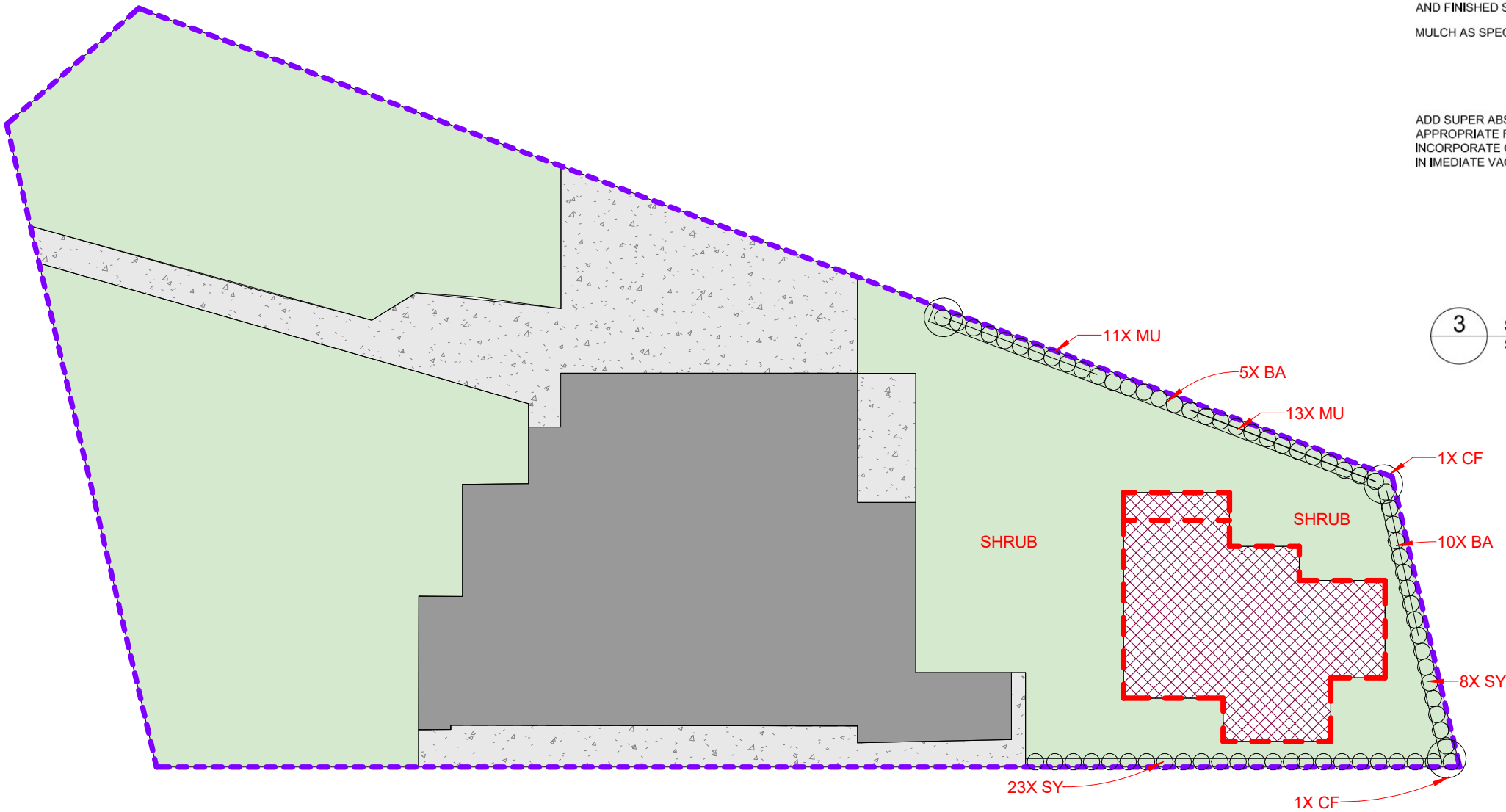
Lot no: 1A
DP: 382200
scale: 1:100 @A3

Client: AHMAD

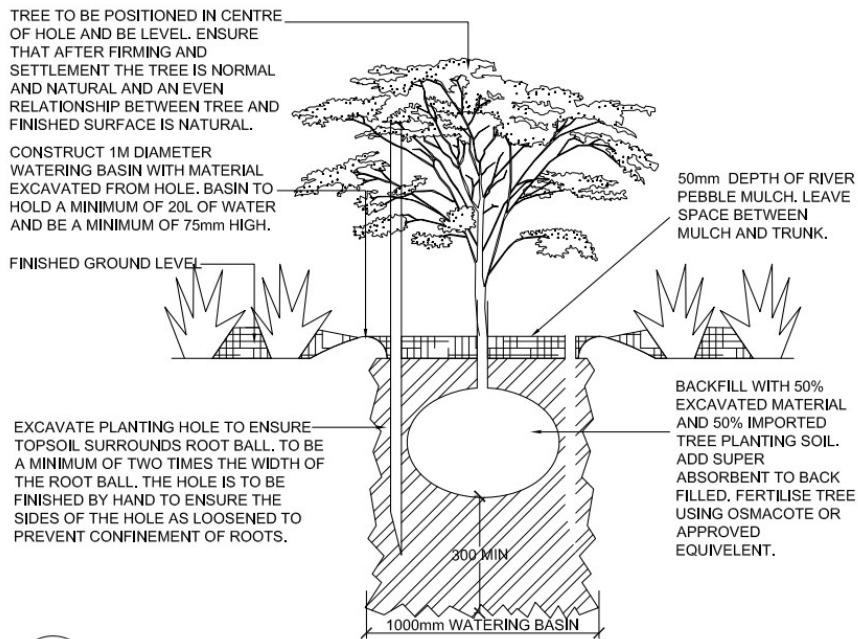
Drawn by :AK

REVISION	DATE	ISSUE

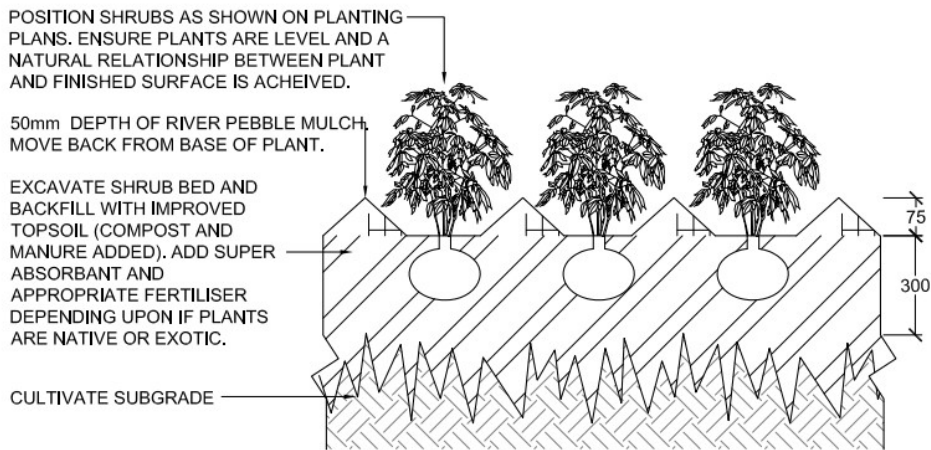
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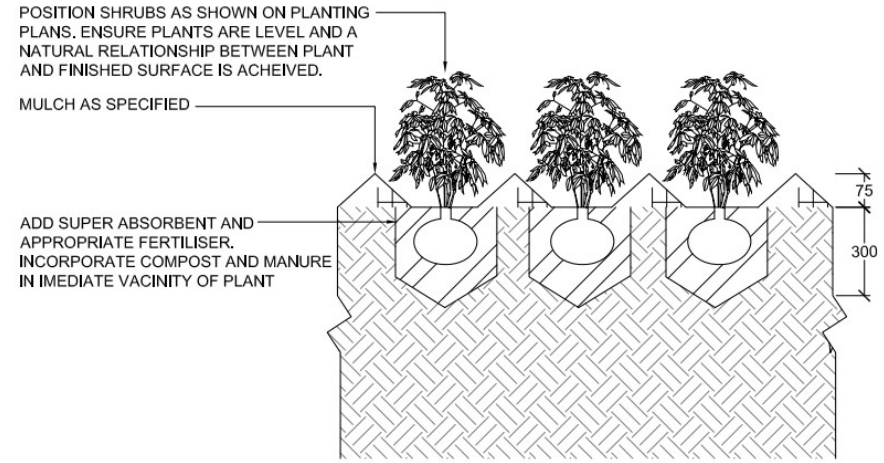
1 LANDSCAPE PLAN
1 : 200



1 TREE PLANTING
NTS



2 SHRUB / TUBE PLANTING
NTS

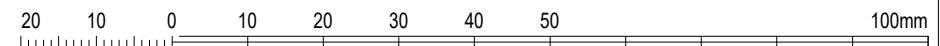


3 SHRUB / TUBE PLANTING IN TREE PROTECTION ZONE
SCALE 1:20@ A3 1:10@A1

LEGEND:

- SITE BOUNDARY
- PROPOSED DWELLING
- PROPOSED DRIVEWAY & CONCRETE AREAS
- PROPOSED LANDSCAPING

LANDSCAPING LEGEND
1 : 200



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A06

Sheet Name: LANDSCAPE PLAN

Address: 49 Forest Way, Frenchs Forest

Project Name: SECONDARY DWELLING

Sheet Name:

Address:

Project Name:

Lot no: 1A
DP: 382200
scale: 1:100 @A3

Client: AHMAD

Drawn by :AK

REVISION	DATE	ISSUE

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SITE PREPARATION

PROTECTION OF EXISTING TREES:

Take necessary precautions to protect the Structural Root Zone (SRZ) as per AS 4970-2009

Prohibited Works or material storage within the TPZ as per AS 4970-2009 except with approval of council:

- Compacted Ground/Coring: Avoid compaction of the ground under trees. If compaction nevertheless occurs loosen the soil by Coring. Coring to be carried out by a qualified Arborist.

Remove all existing weeds by hand, wiping or spraying with a glyphosate based herbicide.

EXCAVATION & SUB SOIL PREPARATION

depth of 150mm.

install drainage layer where there is surface water runoff draining into garden bed areas & where the existing sub-soil has more than 50% clay composition & there is a risk of subsurface water ponding.

REUSE EXISTING TOPSOIL

IMPORTED TOPSOIL

Turf Areas: 'Turf Underlay' as supplied by, ANL p: 02 9450 1444 or approved alternative.

PLANTING

Balance of Crown: Supply plants with max. variation in crown bulk on opposite sides of stem axis, +/- 20%.

STAKING

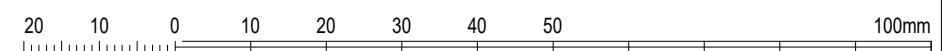
MULCHING

All planting area to be mulched with 50mm depth of river pebbles unless otherwise specified. Keep mulch 100mm away from plant stem & form a well to stop excessive water runoff. Finish flush with adjacent surfaces.

Nara Turf.

WATERING

All services and infrastructure locations are indicative only. Contractor to confirm location of all services and infrastructure prior to initiating landscape works.



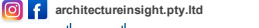
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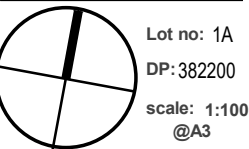
A07

LANDSCAPE PLAN

Sheet Name:

49 Forest Way, Frenchs Forest

Address:



Client: AHMAD

Drawn by : AK

[illegible]

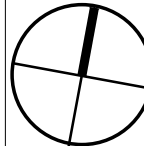
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A08

Sheet Name:SHADOWS DIAGRAM-9AM

Address:49 Forest Way, Frenchs Forest

Project Name:SECONDARY DWELLING

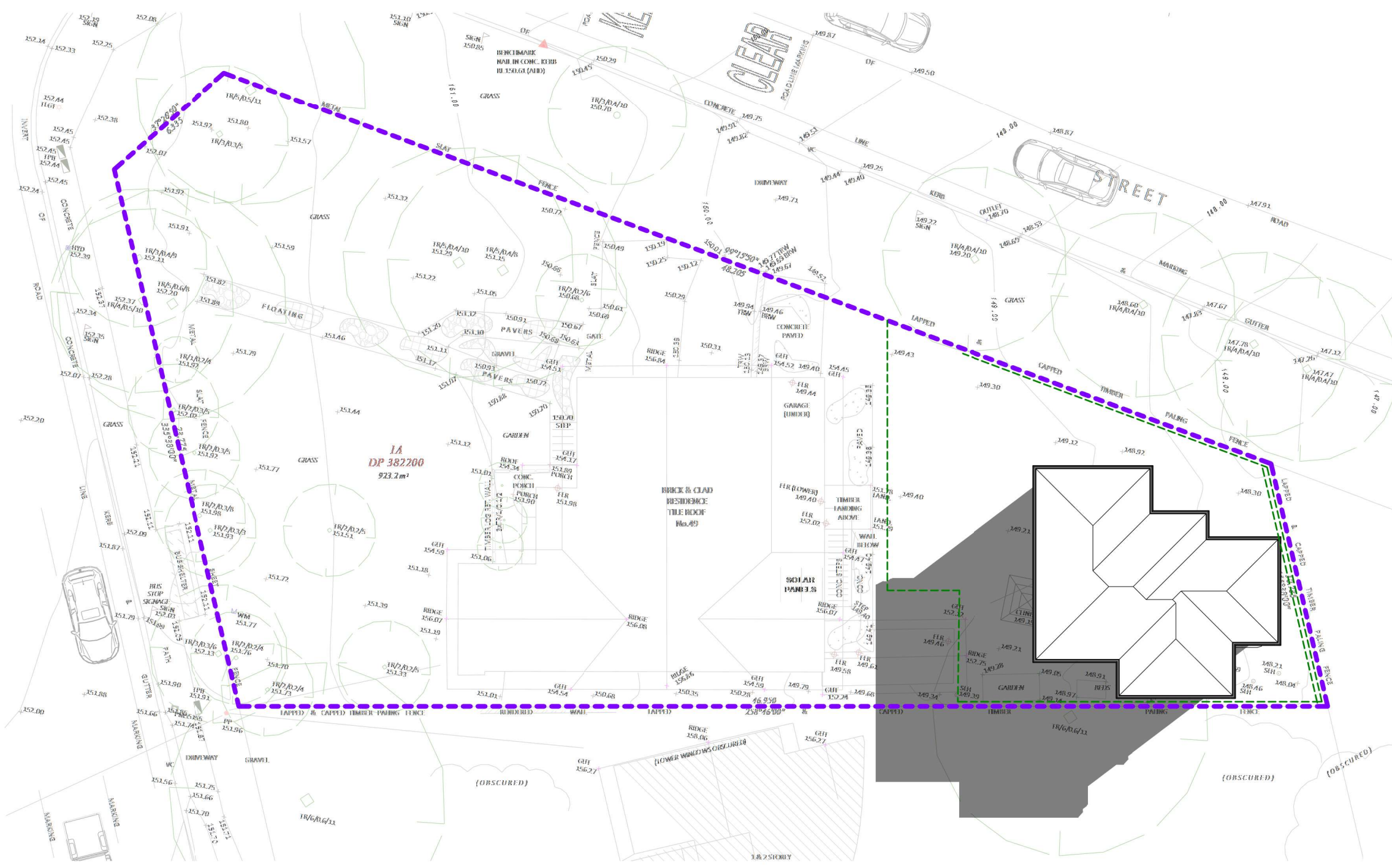


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DP: 382200
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Client: AHMAD
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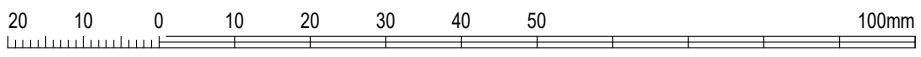
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1

SHADOWS DIAGRAM-9AM
1 : 200





A09

Sheet Name: SHADOWS DIAGRAM-12PM

Address: 49 Forest Way, Frenchs Forest

Project Name: SECONDARY DWELLING

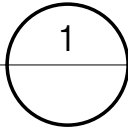
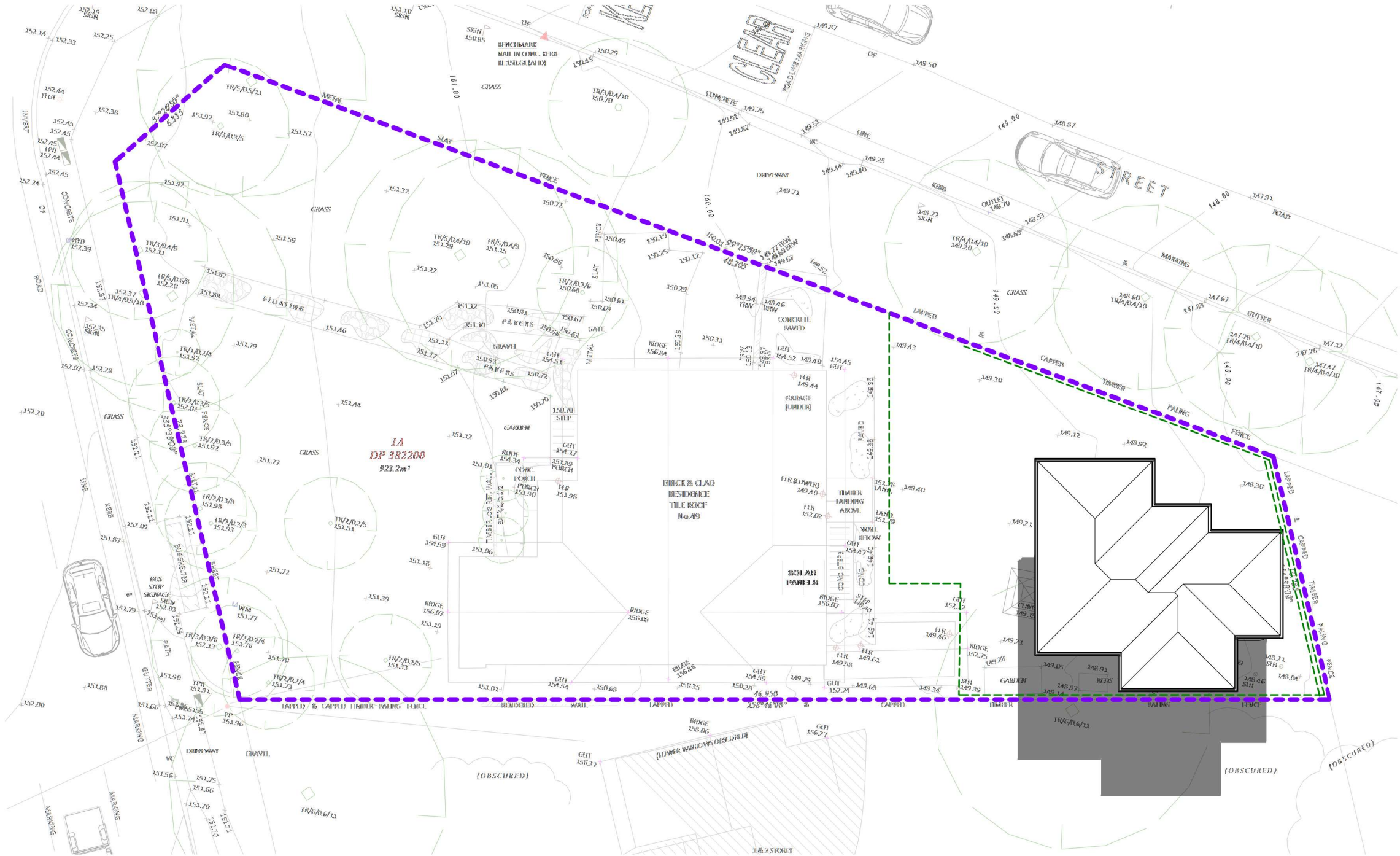
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Client: AHMAD

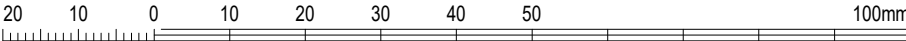
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SHADOWS DIAGRAM-12PM
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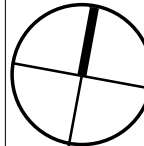


A10

Sheet Name:SHADOWS DIAGRAM-3PM

Address:49 Forest Way, Frenchs Forest

Project Name:SECONDARY DWELLING

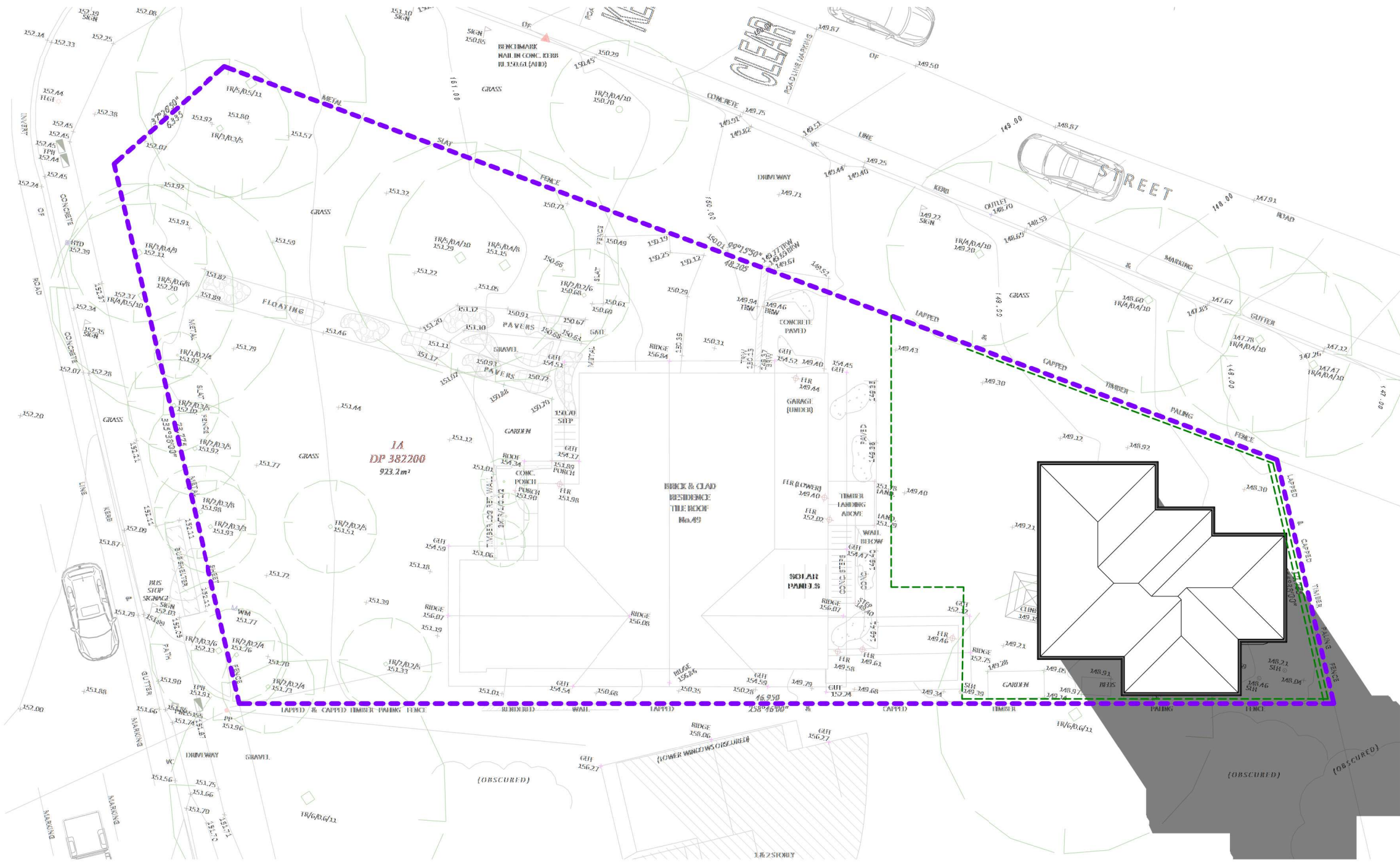


Lot no: 1A
DP: 382200
scale: 1:100
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Client: AHMAD
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1

SHADOWS DIAGRAM-3PM
1 : 200

