

KNOCKDOWN/REBUILD

REF.
MANLY DCP 2013,
MANLY LEP 2013

SITE AREA CALCULATIONS

VALUES DENOTE SQUARE METRES
(UNLESS NOTED OTHERWISE)

OVERALL SITE AREA699.1

TOTAL ROOF AREA283M2

APPROX. AREA AFTER
SUBDIVISIONUNIT AUNIT B349.55349.55

FLOOR SPACE RATIO

GROUND FLOOR (SQM)66.5066.50

FIRST FLOOR (SQM)81.1881.13

GARAGE (SQM) (116.5M2 EXCL.)18.0018.00

GARAGE AREA INCL. IN FSR1.501.50

TOTAL LIVING AREA/UNIT149.18149.04

FSR PROPOSED298.21M2 / 42.65%

AREAS MEASURED FROM THE INTERNAL FACE
OF THE EXTERNAL WALLS INCLUDES PARTI WALL
AND STAIRS (EXCLUDES MIN. GARAGE
REQUIREMENT, AND ALL VOIDS)

MAX. ALLOWABLE347.8M2 / 50%

SITE COVERAGE

HOUSE AREA (INC. OUTDOOR)237.91M2

DRIVEWAY AREA54.54M2

HARD SURFACE AREA292.44M2 / 41.83%

OPEN SPACE AREA

OPEN SPACE AREA REQ384.5M2 / 55%

LANDSCAPE AREA REQ134.6M2 / 35%

25% OF TOTAL OPEN SPACE AREA

OPEN SPACE ACHIEVED393.6M2/56.30%

SOFT AREA ACHIEVED332.64M2/84.5%

PRIVATE OPEN SPACE

MIN. REQUIRED18M2 / >3M

P.O.S PROPOSED3030

EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS

SITE TO BE CLEARED BY OWNER OF ANY EXISTING
TREES AND/OR PRUNE TREES WHICH WILL EFFECT
THE BUILDING AREA PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE OWNER TO
OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED

RAIN WATER
TANKPREFERRED LOCATION
OF RAINWATER TANK

HWUPREFERRED LOCATION
OF HOT WATER UNIT

A/C UPREFERRED LOCATION
OF A/C UNIT

TERMITE PROTECTION

PROVIDE TERMITE PROTECTION
IN ACCORDANCE WITH A.S.3660.1

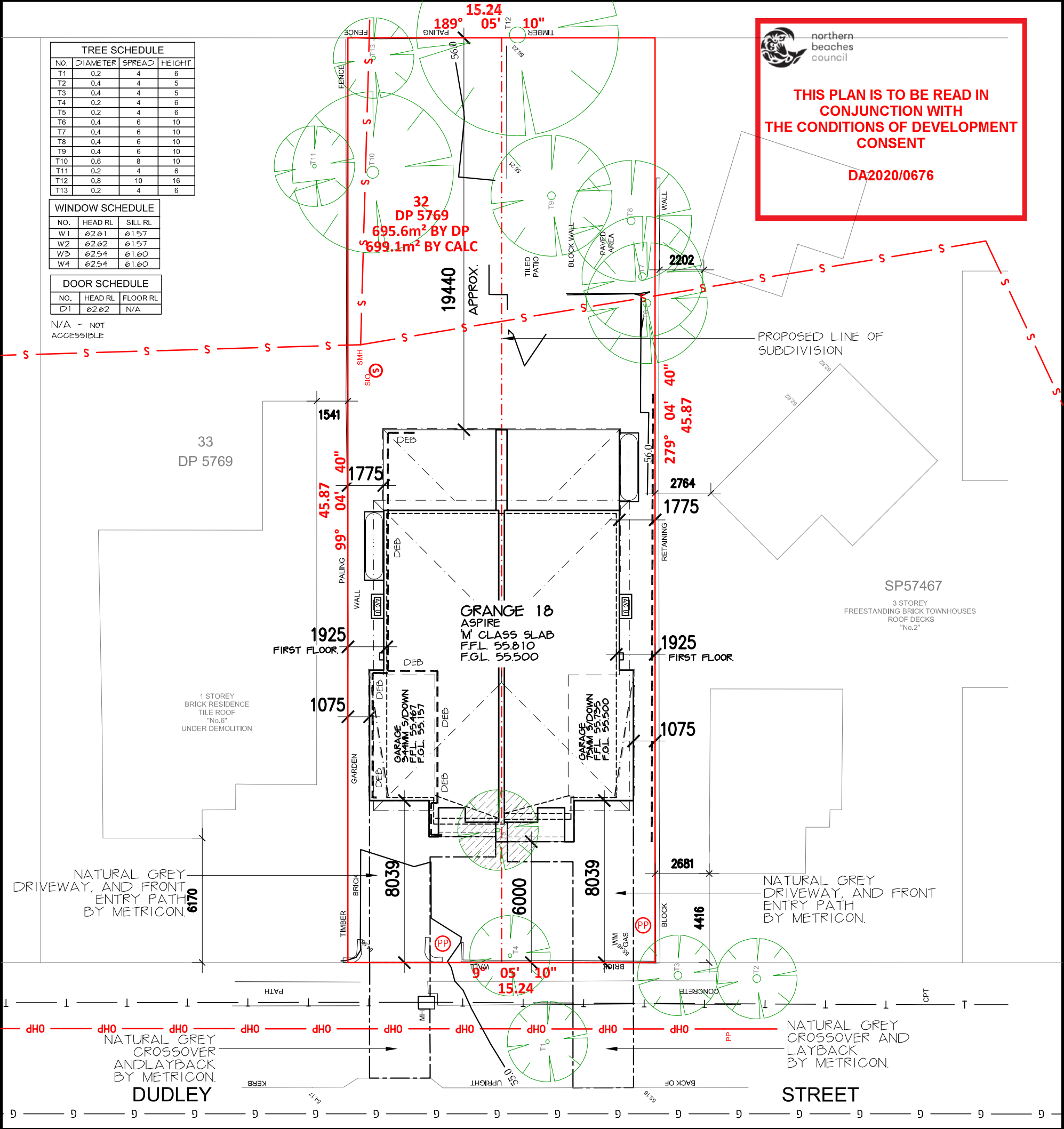
SURVEYORS NOTES

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR
PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT
PROPERTY HAVE NOT BEEN INVESTIGATED AND THE
POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL
EVIDENCE APPARENT AT THE TIME OF SURVEY. THE
RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED
TO VERIFY THE EXISTENCE AND POSITION OF ALL
SERVICES PRIOR TO THE COMMENCEMENT OF ANY
CONSTRUCTION OR EXCAVATION

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY
ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES
TO BE RELIED ON FOR REDUCED LEVELS ON
PARTICULAR FEATURES



SUBDIVISION:
TORRENS TITLE

LOT NO:
32

DEPOSITED PLAN:
5769

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N2

MGA

STORMWATER TO DRAIN TO
STREET VIA ON-SITE DETENTION
AND RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING

METRICON TO PROVIDE FENCING
TO ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS

METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

S

U/GROUND SEWER MAINS

W

U/GROUND WATER MAINS

T

U/GROUND TELECOM. LINE

G

U/GROUND GAS MAINS

OHP

O'HEAD POWER SUPPLY

UGP

U/GROUND POWER SUPPLY

TOP OF KERB

EDGE OF BITUMEN

PP

POWER POLE

PB

POWER BOX

SP

SERVICE POLE

LP

LIGHT POLE

HYD

HYDRANT

WM

WATER METER

SV

STOP VALVE

SMH

SEWER MAINTENANCE HOLE

SIO

SEWER INSPECTION OPENING

CPT

TELECOMMUNICATIONS PIT

GAS

GAS MARKER

KIB

KERB INLET

STW

STORMWATER PIT

GRATED

GRATED STORMWATER PIT

BENCH

BENCHMARK

TREE

TREE

APPROX

APPROX. LOCATION OF PRIVATE PROPERTY POLE BY METRICON

INTRAX SURVEY DATE: 18.11.2019

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD.

SITE PLAN

Build E, Level 4, 32 Lexington Dr, Balgowlah NSW 2163
P.O. Box 7510, Norwest Business Park NSW 2163
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699
A.C.N. 005 108 752 www.metricon.com.au

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MR. S. SAMMOUR

LOT 32 NO.4 DUDLEY STREET

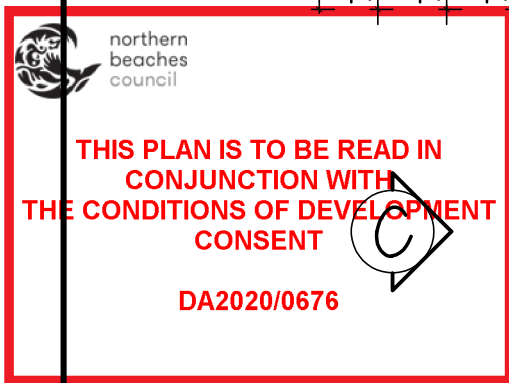
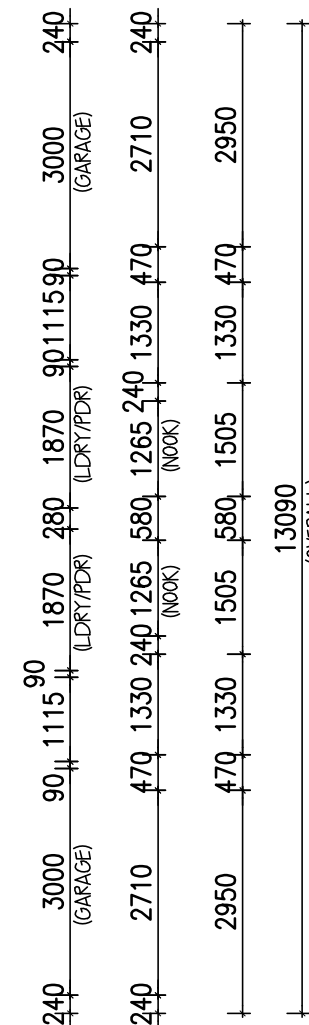
BALGOWLAH

JOB No: 707083-707085

DATE: DRAWN:

SCALE: 1:200 SHEET: 1 OF 10

UBD REF: SYD XX XX



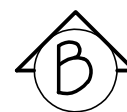
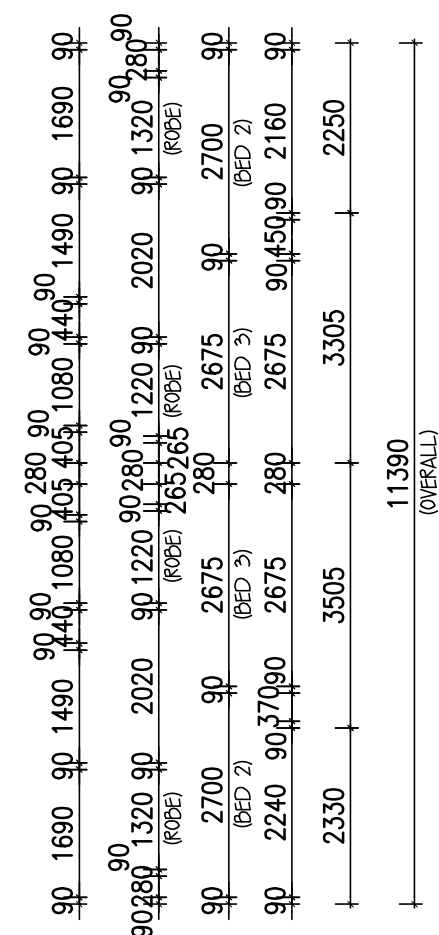
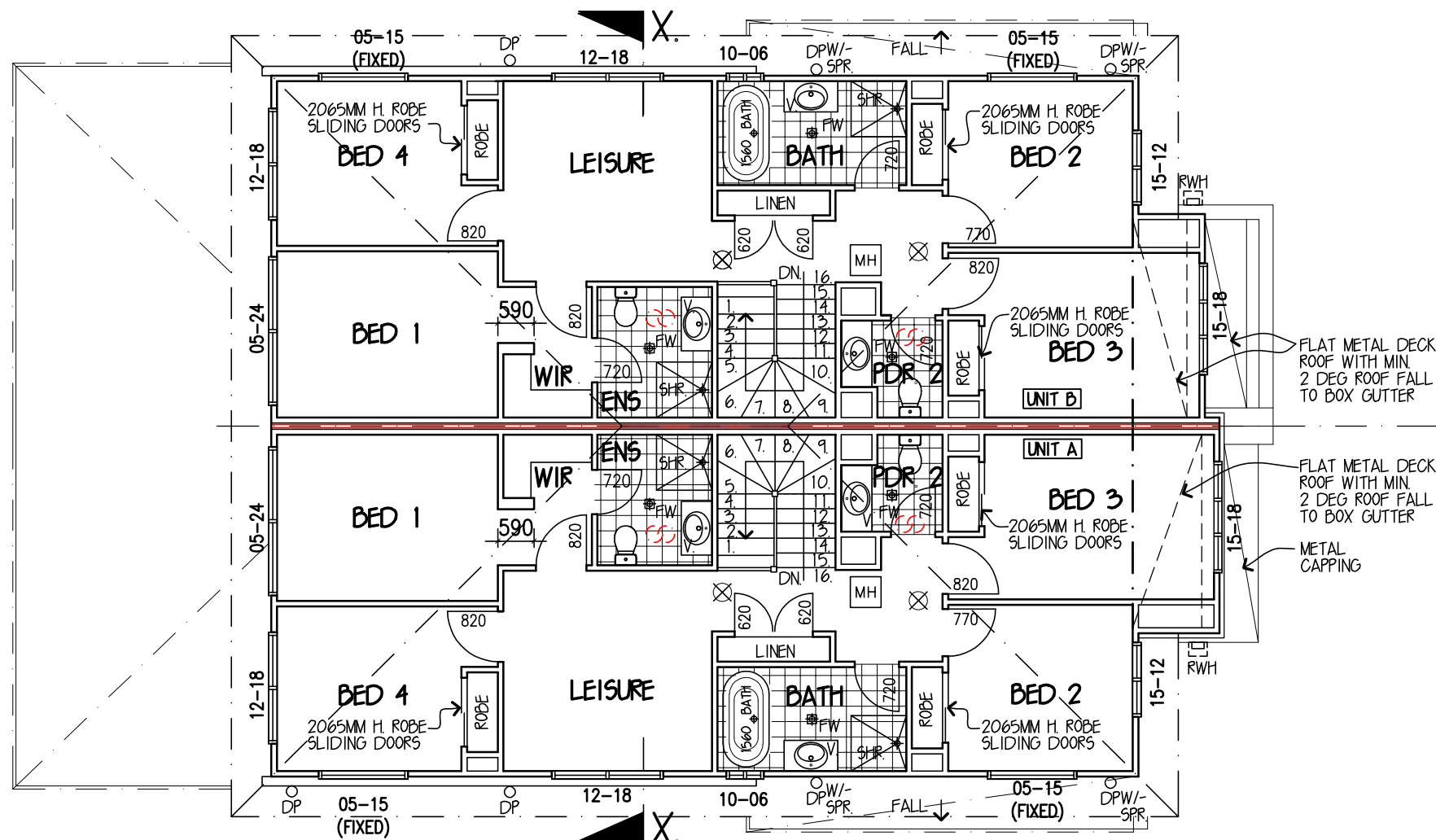
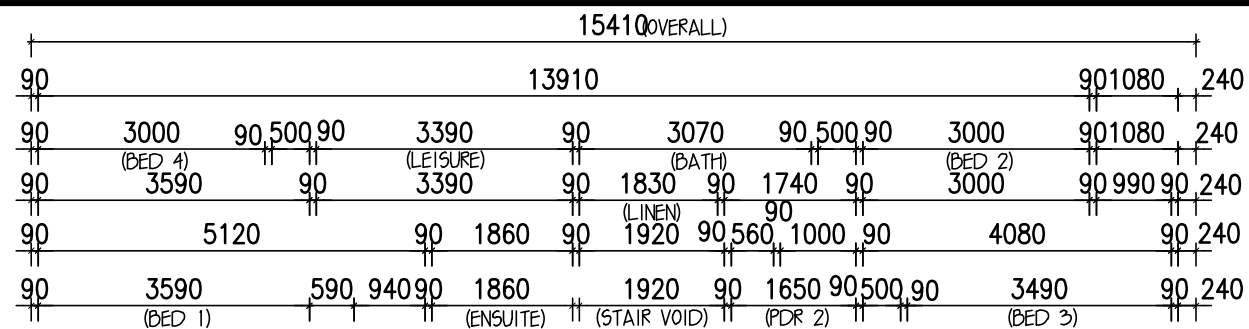
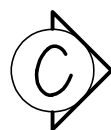
	DOWNPIPE 90mm ROUND PVC		GARDEN TAP		SMOKE ALARM
	DOWNPIPE 100x50mm RECT. C/BOND		GAS BAYONET		APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
	DOWNPIPE WITH SPREADER		COLD WATER POINT		FLOOR WASTE
	DOWNPIPE WITH RAINWATER HEAD		ELEC. METERBOX 600x600 RECESSED		AIR COND. UNIT
	EXHAUST FAN. INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.		A/C U		MANHOLE FOR CEILING ACCESS
			LOAD BEARING WALL		70mm STUD WALL
			120mm STUD WALL		

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DRAWN: DA4	CHECK: DA4	SHEET: 2 of
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DA2020/0676



SYMBOL LEGEND

- | SYMBOL LEGEND | | | |
|---|--|---|--|
|  | DOWNPIPE
90mm ROUND PVC |  | GARDEN TAP |
|  | DOWNPIPE
100x50mm RECT. C/BOND |  | GAS BAYONET |
|  | DOWNPIPE
WITH SPREADER |  | COLD WATER POINT |
|  | DOWNPIPE
WITH RAINWATER HEAD |  | FLOOR WASTE |
|  | EXHAUST FAN.
INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2. |  | ELEC. METERBOX
600x600 RECESSED |
| | |  | AIR COND. UNIT |
| | |  | MANHOLE
FOR CEILING ACCESS |
| | |  | SMOKE ALARM
APPROX. POSITION INSTALLED AS PER
M.C.C. 3.7.2. & TO COMPLY WITH A.S. 3786.
SMOKE ALARMS TO BE INTERCONNECTED |
| | |  | ARTICULATION JOINT
WHERE ARTICULATION JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL ENGINEER'S DETAILS |
| | |  | LOAD BEARING WALL |
| | |  | 70mm STUD WALL |
| | |  | 120mm STUD WALL |

DESIGN: GRANGE 18

FACADE: **ASPIRE** CEILING: 25, L/R

GARAGE: SINGLE LOCATION: F

FIRST FLOOR PLAN

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DualOcc



m
metricom

OWNER: MR. SAM SAMMOUR
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

BY METRICON

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JOB No: 707083-707085	DATE: 10.03.2020
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FC DATE: DD.MM.YYYY	MST VER: 08.04.2018
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SCALE: 1:100 ON A3 SHEET

REVISION: C

DRAWN: DA4

CHECK: DA4

SHEET: 3 of 14

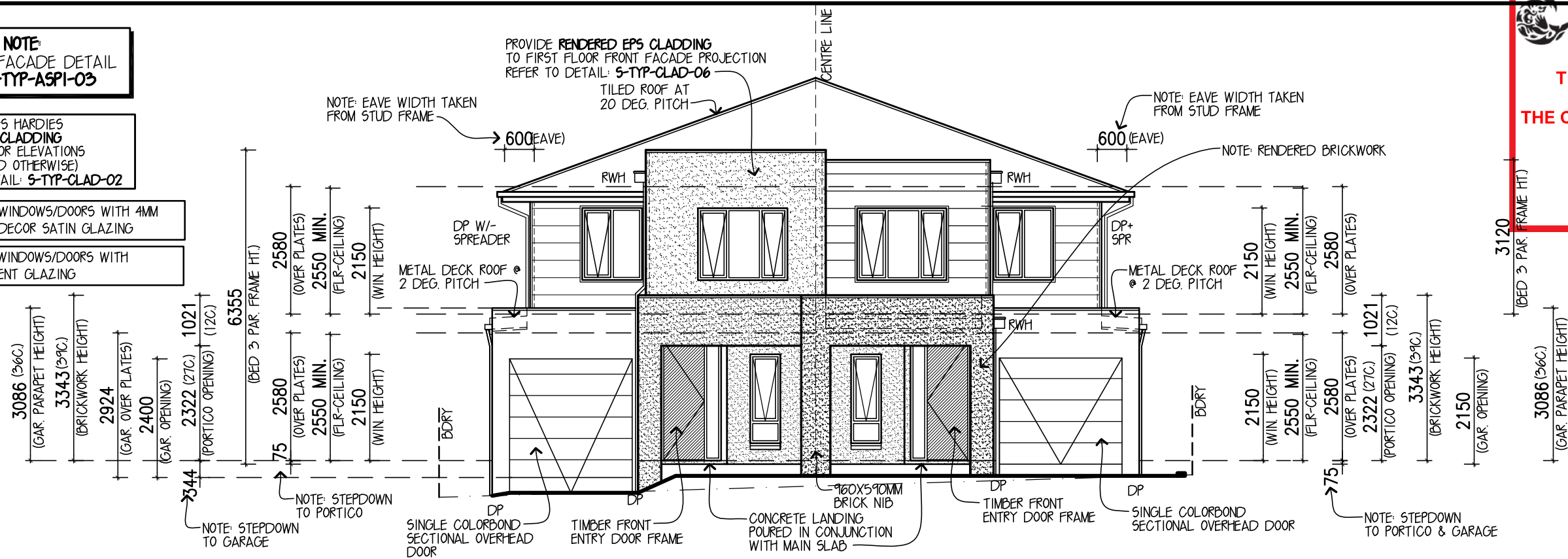


IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. **S-TYP-ASPI-03**

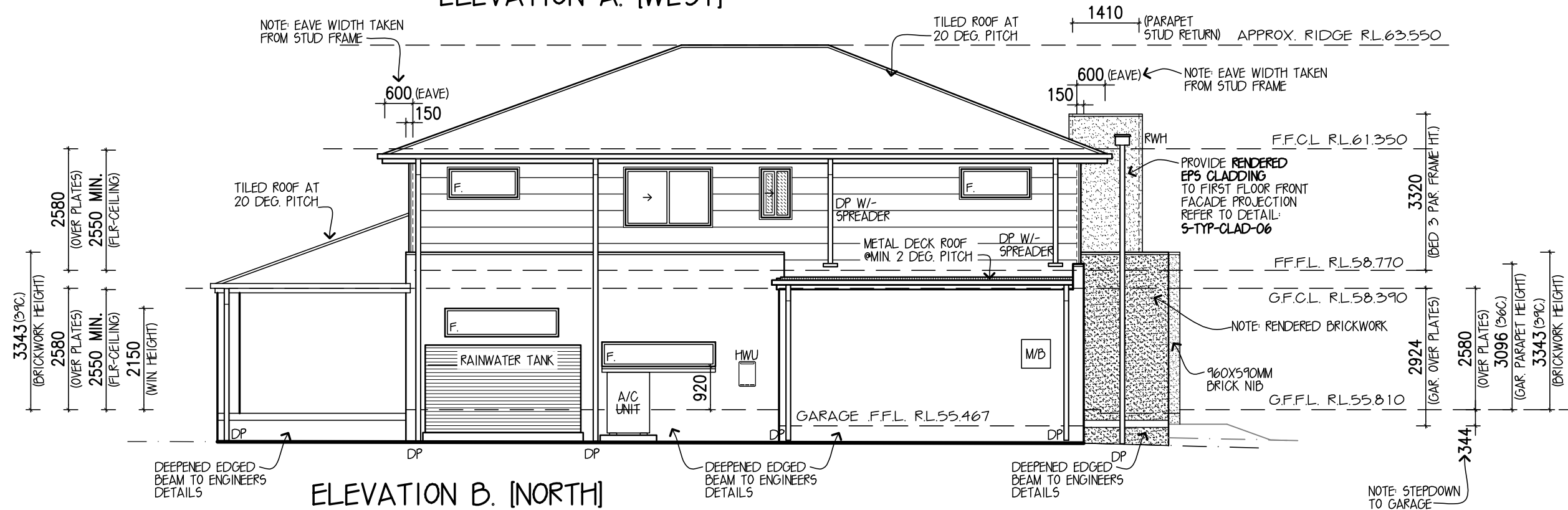
PROVIDE JAMES HARDIES
SCYON STRIA CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: S-TYP-CLAD-02

 DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING

 DENOTES WINDOWS/DOORS WITH TRANSLUCENT GLAZING

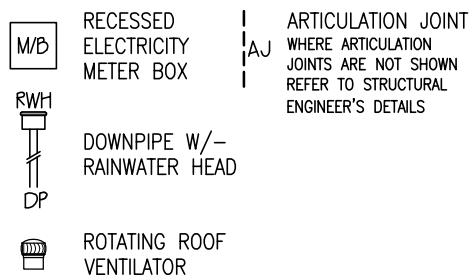


ELEVATION A. [WEST]



ELEVATION B. [NORTH]

SYMBOL LEGEND



DESIGN: GRANGE 18

FACADE: **ASPIRE** CEILING: 25, L/R

GARAGE: SINGLE LOCATION: F

ELEVATIONS

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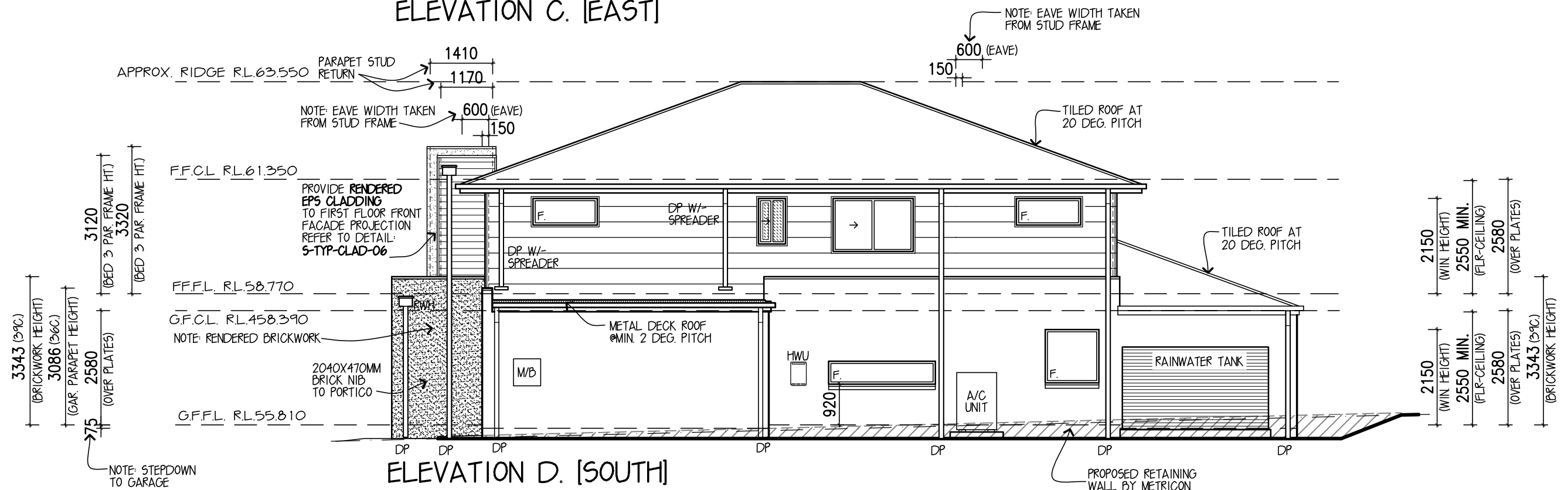
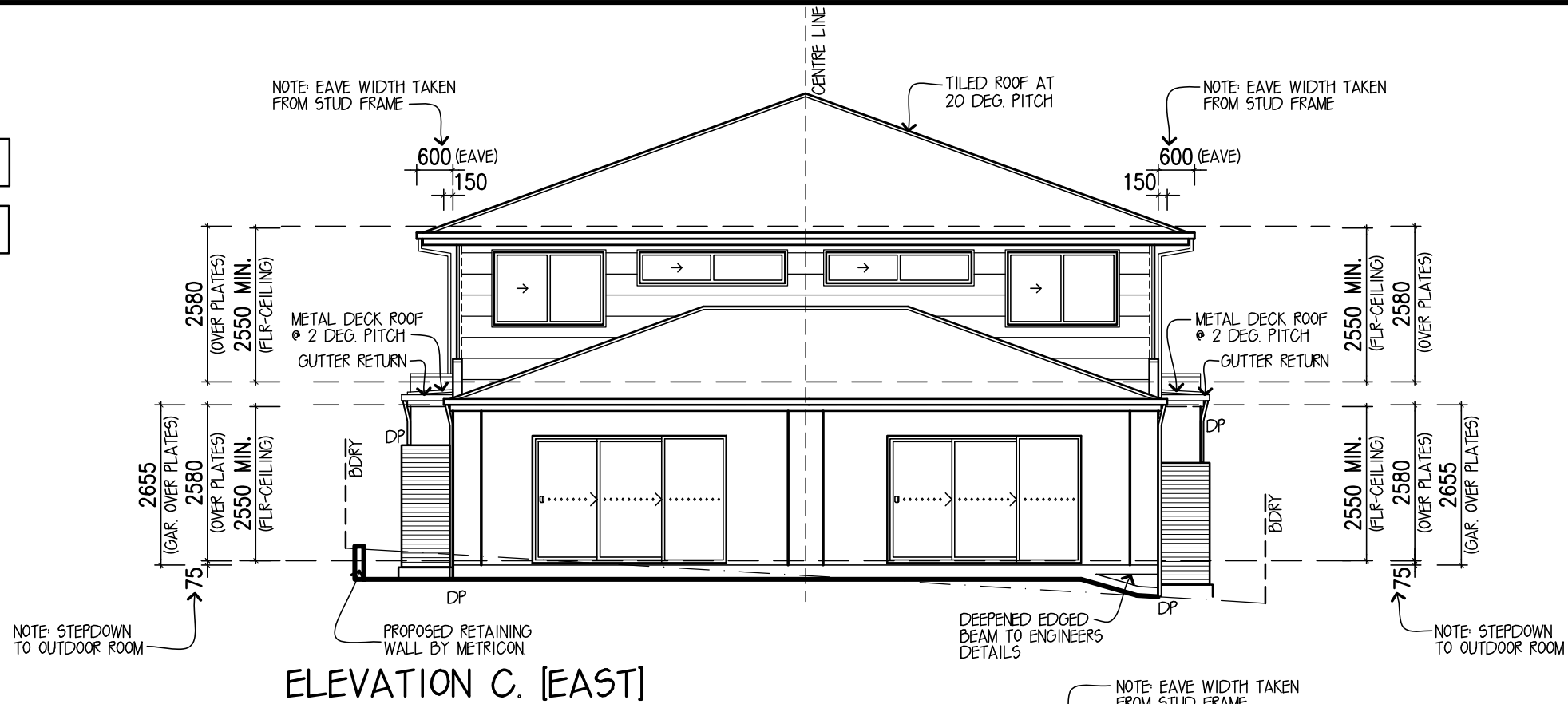
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DRAWN: DA4	CHECK: DA4	SHEET: 4 of 14
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PROVIDE JAMES HARDIES
SCYON STRIA CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: S-TYP-CLAD-02

DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING

DENOTES WINDOWS/DOORS WITH
TRANSLUCENT GLAZING



SYMBOL LEGEND

M/B	RECESSED ELECTRICITY METER BOX	AJ	ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS
RWH	DOWNPIPE W/- RAINWATER HEAD		
DP	ROTATING ROOF VENTILATOR		



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

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DESIGN: GRANGE 18
FACADE: ASPIRE
GARAGE: SINGLE
CEILING: 25, L/R
LOCATION: F

ELEVATIONS

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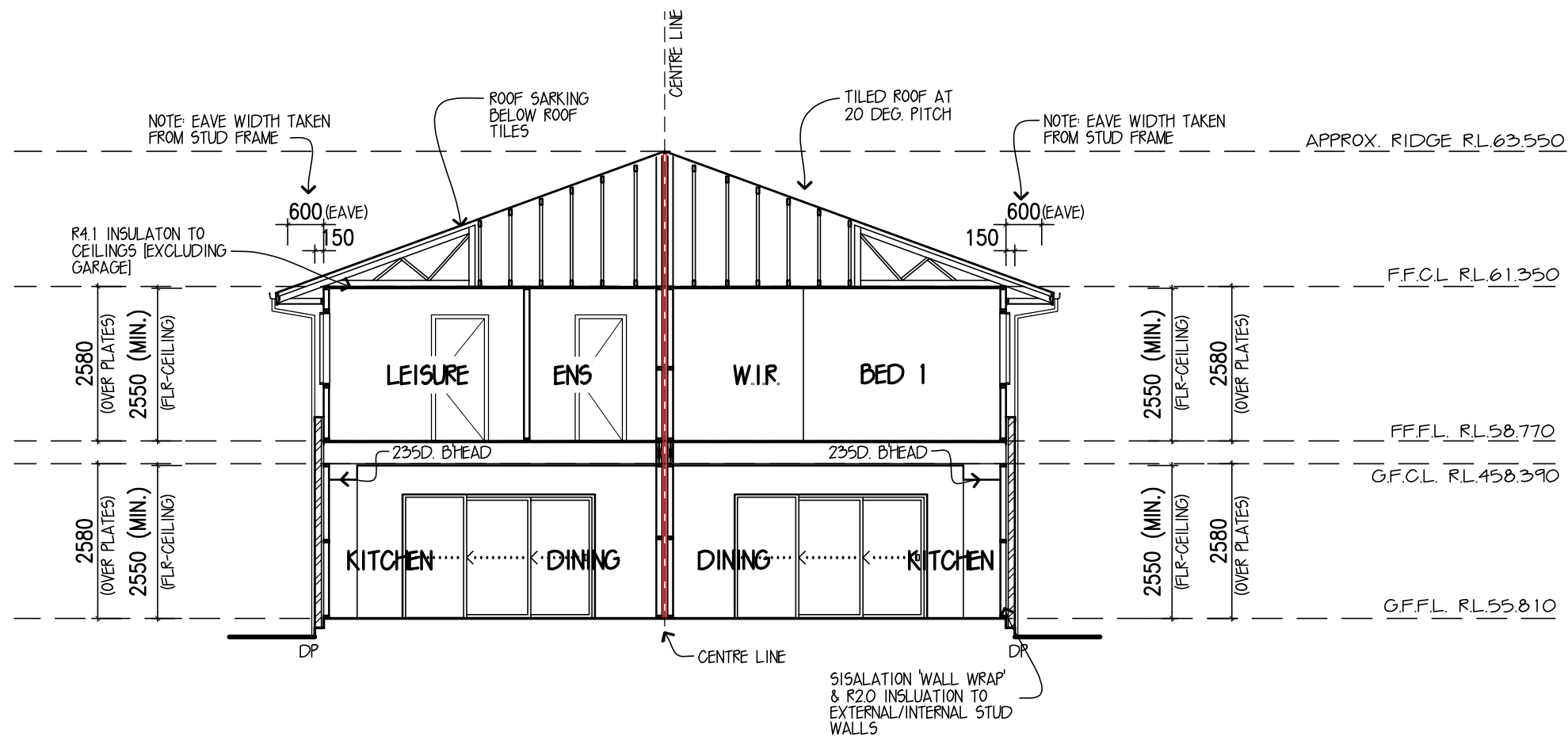
OWNER: MR. SAM SAMMOUR
LOT32 NO.4 DUDLEY STREET
BALGOWLAH

JOB No: 707083-707085 DATE: 10.03.2020

FC DATE: DD.MM.YYYY MST VER: 08.04.2018

SCALE: 1:100 ON A3 SHEET REVISION: C

DRAWN: DA4 CHECK: DA4 SHEET: 5 of 14



SECTION X-X



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CONSENT**

DA2020/0676

DESIGN: **GRANGE 18**

FACADE: **ASPIRE** CEILING: **25, L/R**

GARAGE: **SINGLE** LOCATION: **F**

SECTION

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LOT32 NO.4 DUDLEY STREET
BALGOWLAH

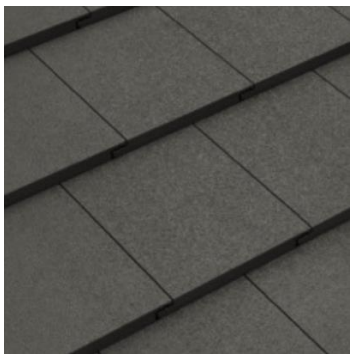
JOB No: **707083-707085** DATE: **10.03.2020**

FC DATE: **DD.MM.YYYY** MST VER: **08.04.2018**

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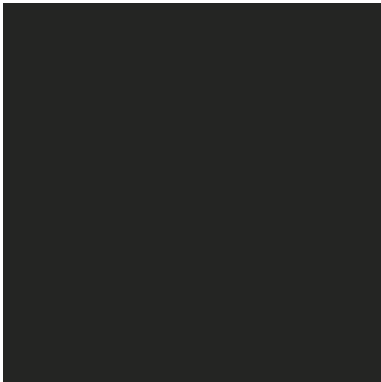
DRAWN: **DA4** CHECK: **DA4** SHEET: **6 of 14**

ROOF TILE



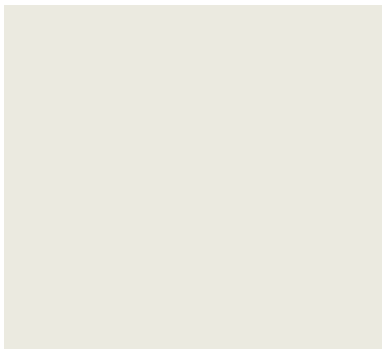
BRISTILE PRESTIGE
TUNGSTEN

GUTTER



COLORBOND MONUMENT

ALU FRAMES /FASCIA / EAVES /
LINING



COLORBOND SURFMIST

WEATHERBOARD / MAIN
DOWNPIPES / RENDER



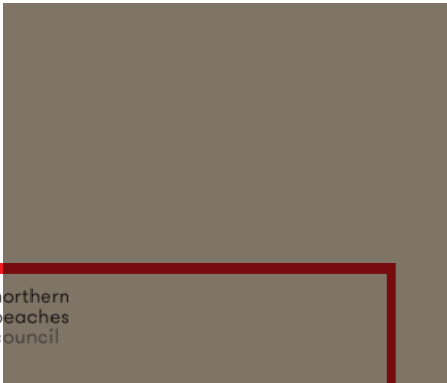
DULUX VANILLA QUAKE

BRICKS



AUSTRAL URBAN ONE
SILVER

EPS RENDER / DOWNPIPES



DULUX RATTLE SKIN

GARAGE



X

ENTRY DOOR



CABOTS JARRAH



northern
beaches
council

**THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2020/0676

TO BE TORRENS TITLED

NOTE:
AREAS AND DIMENSIONS ARE SUBJECT TO
FINAL SURVEY AND COUNCIL APPROVAL

SURVEY NOTES:

THIS PLAN HAS BEEN PREPARED WITH THE INTENTION OF PROVIDING AN INDICATIVE DESIGN TO ACCOMPANY A DEVELOPMENT APPLICATION TO NORTHERN BEACHES COUNCIL.

THE INFORMATION DEPICTED ON THIS PLAN IS NOT TO BE USED FOR ANY REASON OTHER THAN WHAT IS STATED ABOVE.

ALL DIMENSIONS, AREAS AND TOTAL NUMBER OF LOTS SHOWN ON THIS PLAN ARE APPROXIMATE AND SUBJECT TO FIELD SURVEY AND ALSO TO THE REQUIREMENTS OF COUNCIL AND ANY OTHER AUTHORITY WHICH MAY HAVE REQUIREMENTS UNDER ANY RELEVANT LEGISLATION.

IN PARTICULAR, NO RELIANCE SHOULD BE PLACED ON THE INFORMATION ON THIS PLAN FOR DETAILED DESIGN OR FOR ANY FINANCIAL DEALINGS INVOLVING THE LAND.

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UNLESS STAMPED BY COUNCIL, THIS PLAN IS NOT A PLAN OF AN APPROVED DEVELOPMENT.

THIS NOTE IS AN INTEGRAL PART OF THE PLAN.

STREET

DUDLEY

900 PVC OUTLET

BENCH MARK
SCREW IN KERB
RL 54.80 (AHD)

1500 PVC OUTLET

1 STOREY
BRICK RESIDENCE
TILE ROOF
"No.6"
UNDER DEMOLITION

33
DP 5769

PROPOSED
LOT 1
349.5m²

PROPOSED
LOT 2
349.5m²

110
DP 774196

BALGOWLAH GOLF COURSE



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CONSENT**

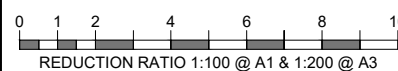
DA2020/0676

SP57467

3 STOREY
FREESTANDING BRICK TOWNHOUSES
ROOF DECKS
"No.2"

DRAWING No:
134143_SUR_PROSUB_4 DUDLEY ST
BALGOWLAH

REV	REVISION DETAILS	DATE



CLIENT:	METRICON PTY LTD	CLIENT No:	707083/707085	LOT No.	32	CONTOUR INTERVAL:	0.2m
REF:	S#134143	SURVEY FILE:	134143LZ20191118DE	SECTION	-	DATUM:	AHD
SURVEYED BY:	L ZHENGQIANG	DATE OF SURVEY:	18-11-2019	PLAN No.	DP 5769	AUSTRALIAN HEIGHT DATUM	PM 1163
DRAWN BY:	S BRYANT	CHECKED BY:	G TOWNEND	SUBURB	BALGOWLAH	ORIGIN OF LEVELS:	
				LGA	NORTHERN BEACHES	RL:	48.909
				PARISH	MANLY COVE		
				COUNTY	CUMBERLAND		



PLAN SHOWING
PROPOSED SUBDIVISION
OF LOT 32 IN DP 5769
"No. 4" DUDLEY STREET,
BALGOWLAH

SHEET No.	1
No. of SHEETS:	1
SITE No:	S#134143
REV:	-