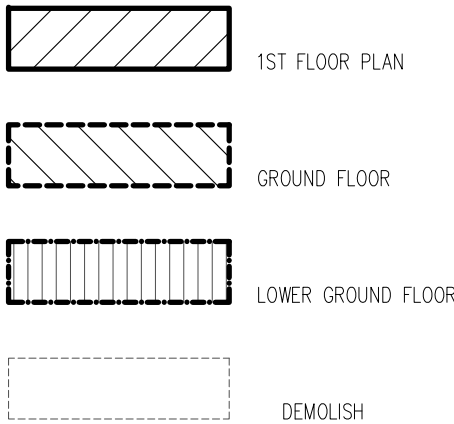


SITE PLAN AND SITE ANALYSIS PLAN
1:200

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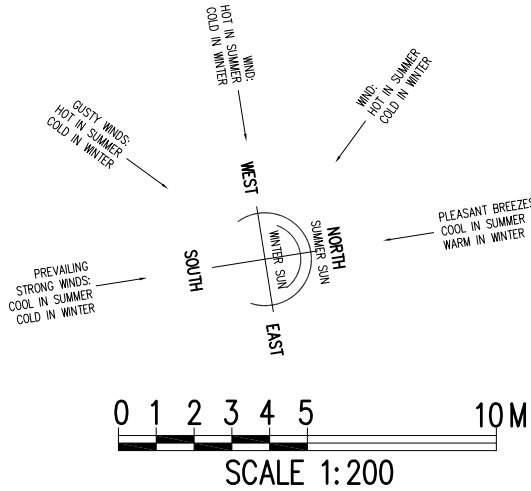
Assessor name: Stefanie Simpson
Accreditation No.: HERA 10035
Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

<http://www.hero-software.com.au/pdf/HR-UHXD8Y-01>



KEY

- CAR ENTRY POINT
- SUN DIRECTION - 22 JUNE
- NOISE SOURCE
- DISTRICT VIEWS OVER ADJOINING HOUSES



GENERAL NOTES:


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DESIGN BY:
MICHAL KORECKY
21 NALYA ROAD, NARRAWEE NSW 2099
ABN: 79 393 130 294
Email: koreckym@gmail.com
Mob: 0438 148 944

PROJECT:
PROPOSED RESIDENCE
45 OXFORD FALLS ROAD, BEACON HILL
NSW 2100, LOT 2 IN DP.206629
CLIENT:
JIRI AND MARCELA ALBRECHT

DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 1



Certificate No. #HR-UHxD8Y-01
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Assessor name


Stefanie Simpson

Accreditation No.

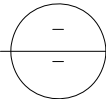
HERA 10035

Property Address

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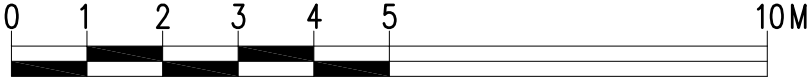


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PROPOSED LOWER GROUND FLOOR PLAN

1:100



SCALE 1:100

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DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 2

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Assessor name: Stefanie Simpson
Accreditation No.: HERA 10035
Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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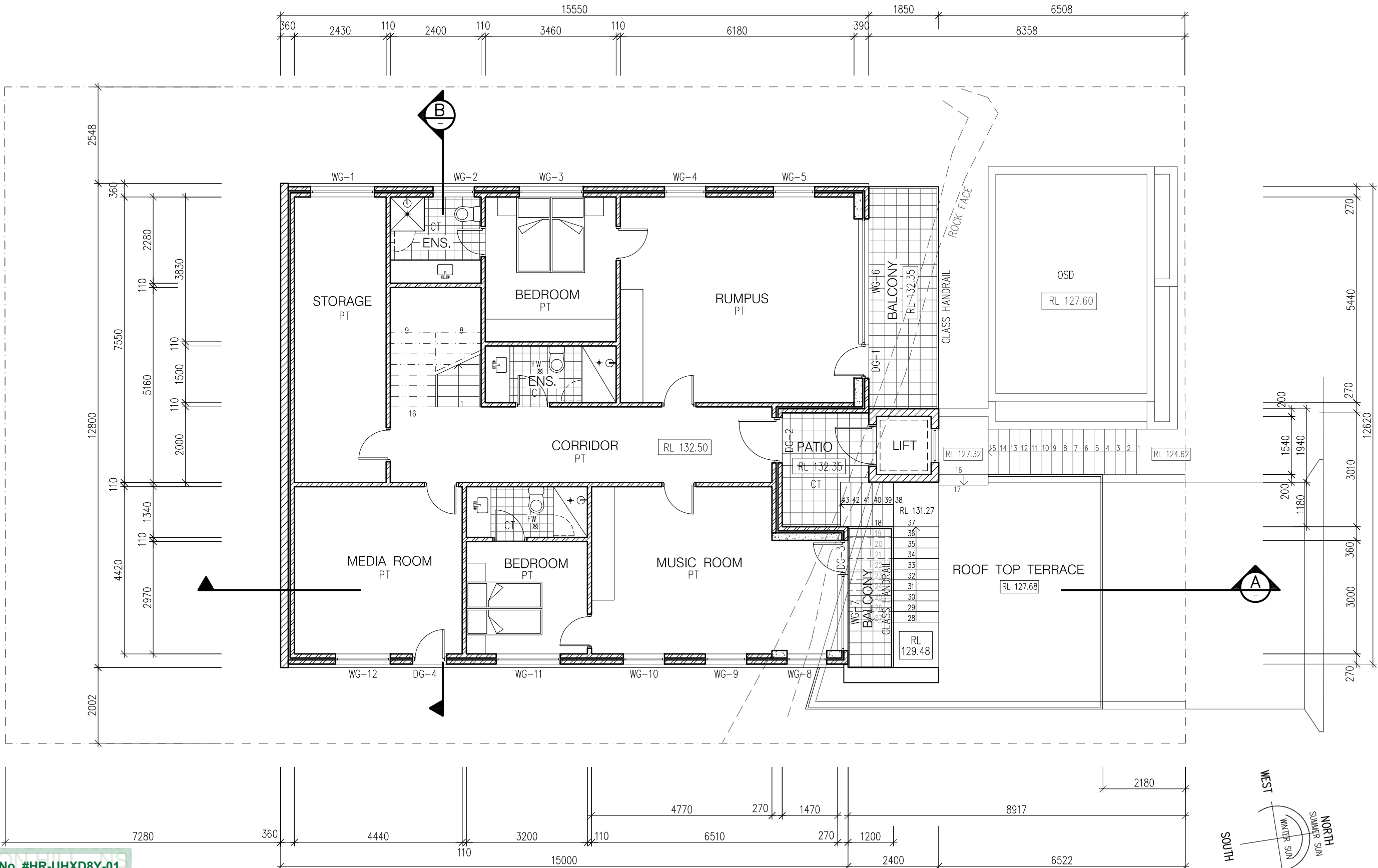
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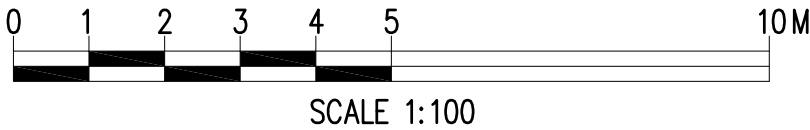
DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 3

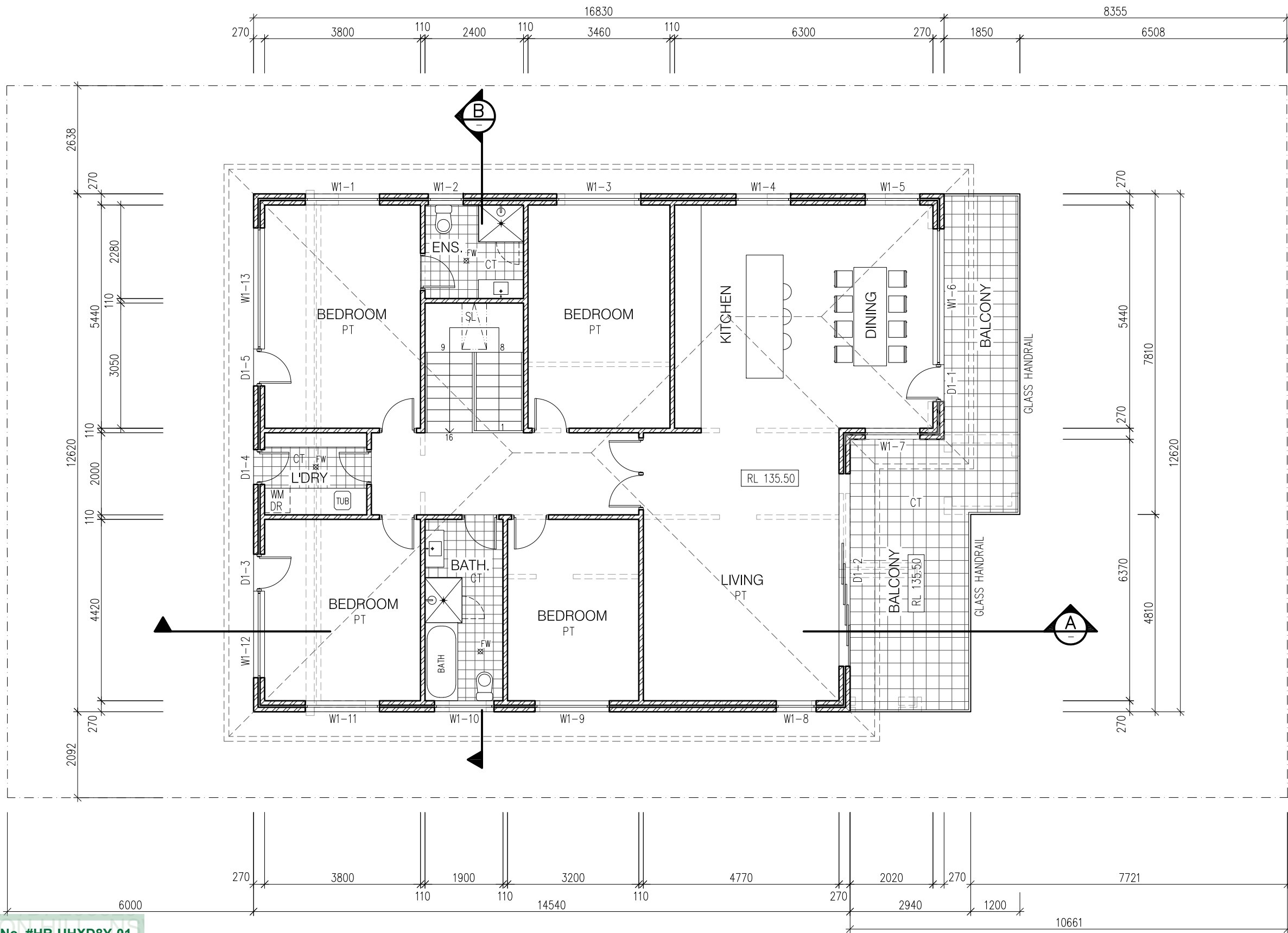


PROPOSED GROUND FLOOR PLAN
1:100

SPEC

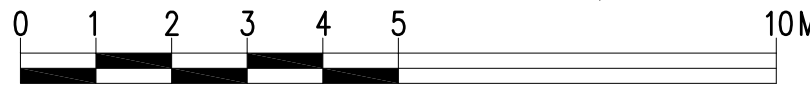
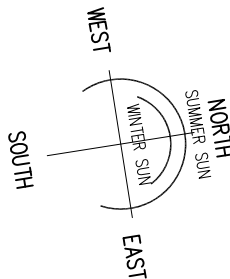
PT: POLISHED TIMBER
CT: CERAMIC TILES





SPEC

PT: POLISHED TIMBER
CT: CERAMIC TILES

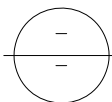


SCALE 1:100

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Assessor name: Stefanie Simpson
Accreditation No.: HERA 10035
Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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PROPOSED FIRST FLOOR PLAN

1:100

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Mob: 0438 148 944

PROJECT:

**PROPOSED RESIDENCE
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NSW 2100, LOT 2 IN DP.206629**

CLIENT:

JIRI AND MARCELA ALBRECHT

DATE: 30/05/25

SCALE: AS NOTED

DRAWN: MK

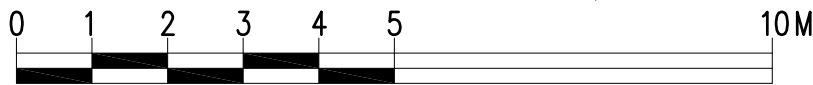
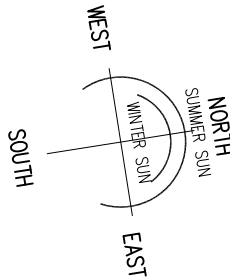
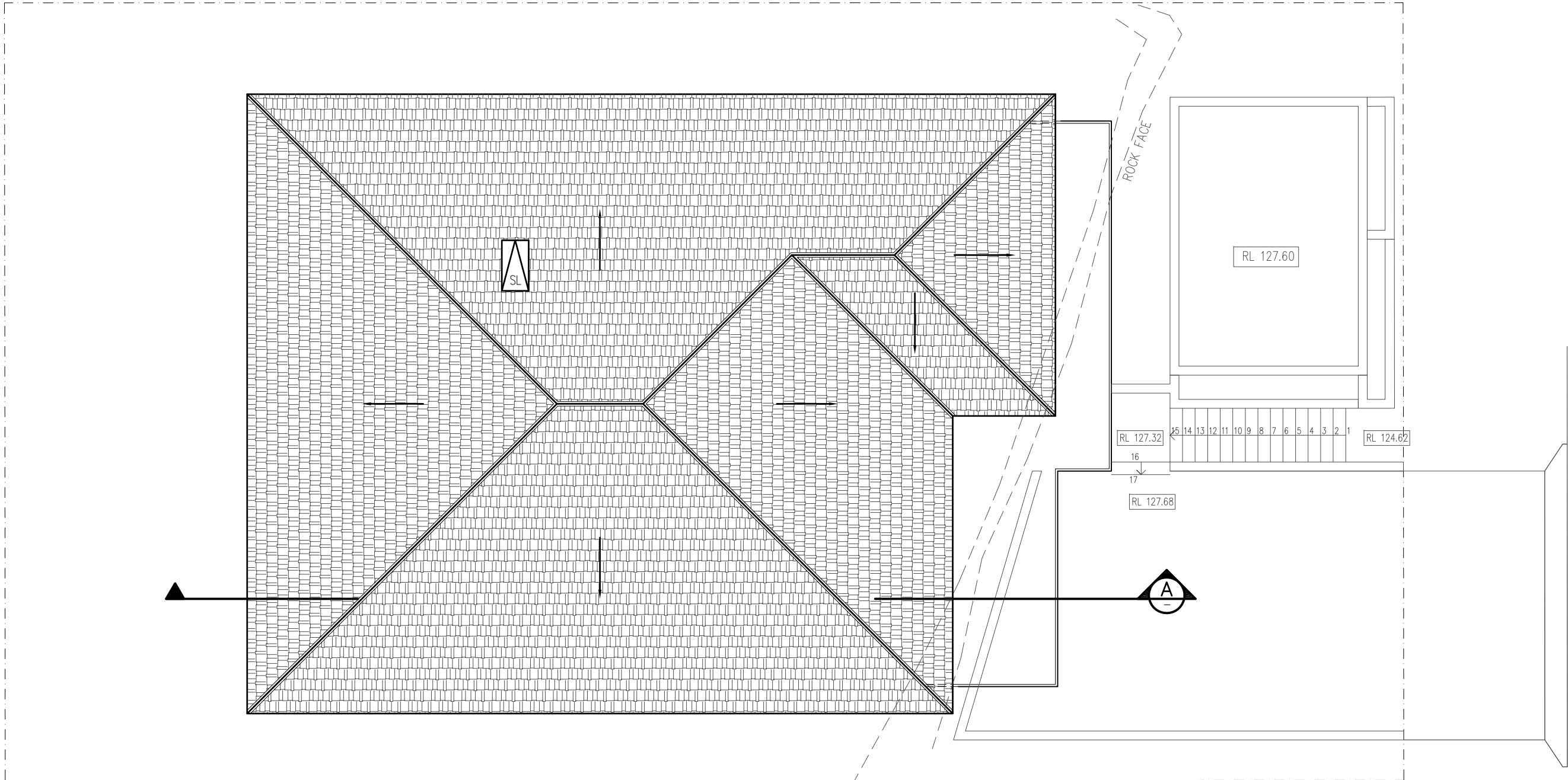
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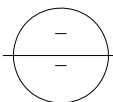
18080

SHEET:

4




SCALE 1:100




PROPOSED ROOF PLAN

1:100

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Assessor name Stefanie Simpson
Accreditation No. HERA 10035
Property Address 45 Oxford Falls Road, Beacon Hill, NSW, 2100



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NSW 2100, LOT 2 IN DP.206629

CLIENT:

JIRI AND MARCELA ALBRECHT

DATE: 30/05/25

SCALE: AS NOTED

DRAWN: MK

ISSUE: 1

DRAWING Nr :

18080

SHEET:

5

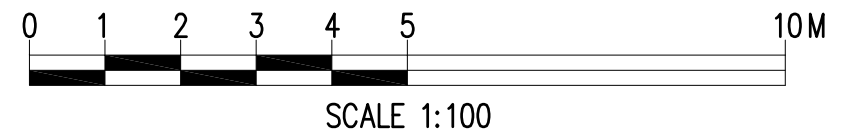


PROPOSED NORTH ELEVATION
1:100

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Accreditation No.: HERA 10035
Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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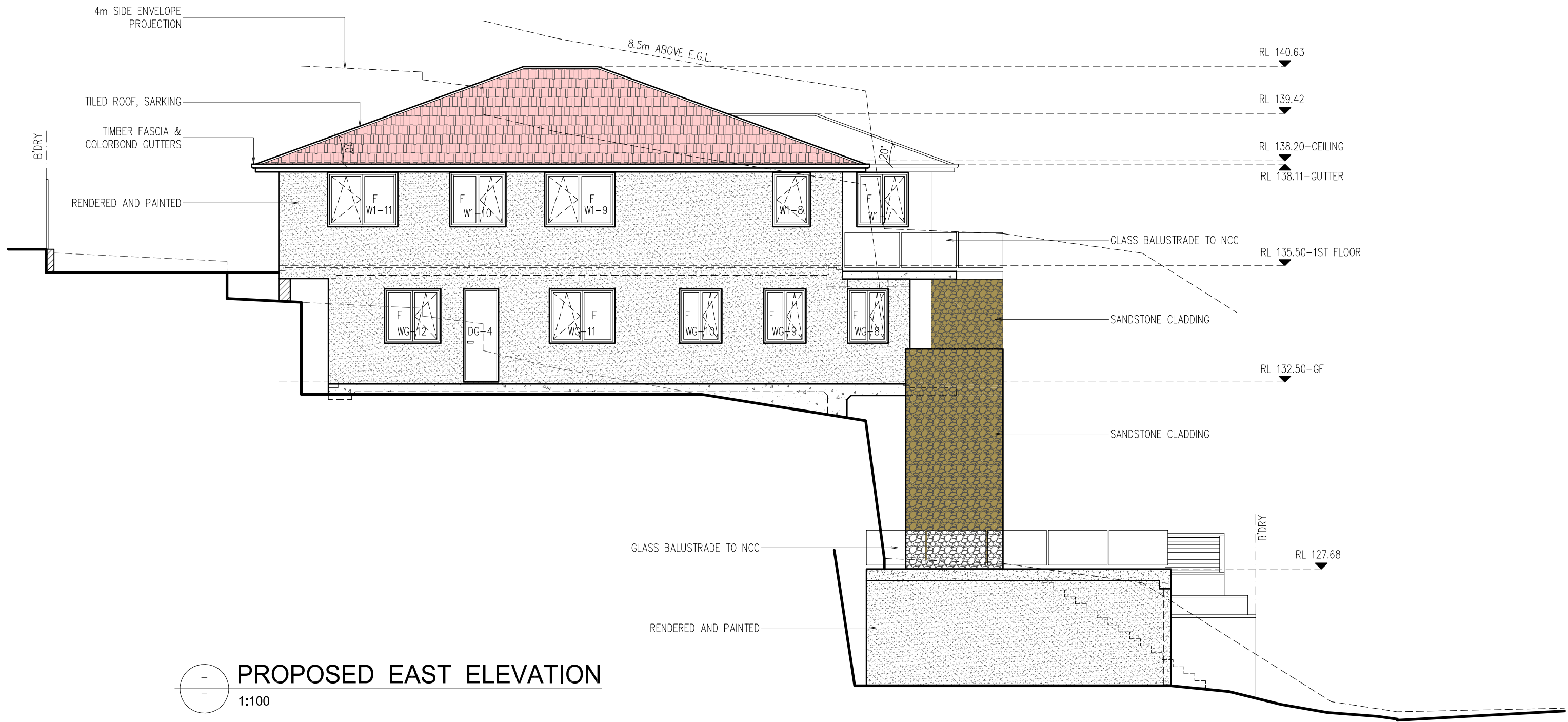
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NSW 2100, LOT 2 IN DP.206629
CLIENT:
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DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 6



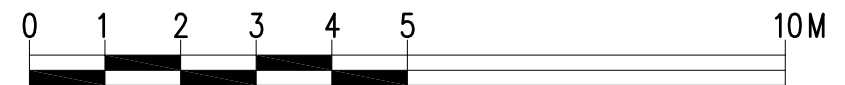
PROPOSED EAST ELEVATION

1:100

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Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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SCALE 1:100

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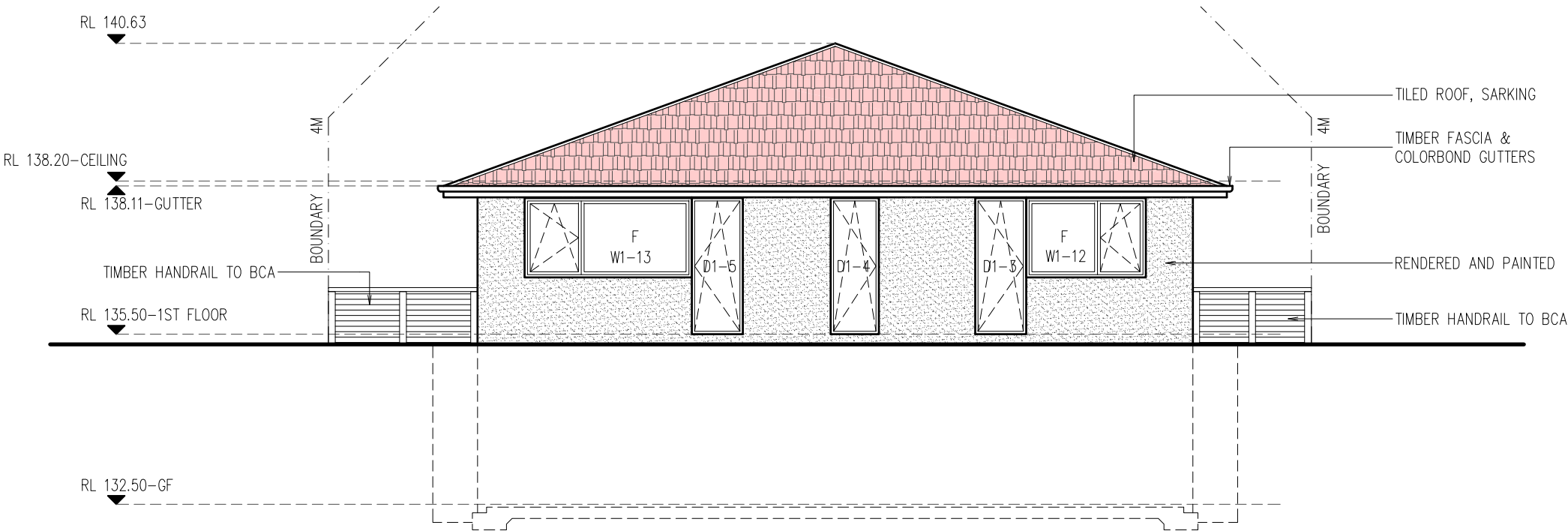
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CLIENT:
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DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 7




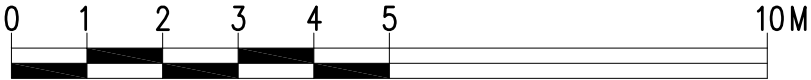
PROPOSED SOUTH ELEVATION
1:100



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Accreditation No.	HERA 10035
Property Address	45 Oxford Falls Road, Beacon Hill, NSW, 2100


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SCALE 1:100

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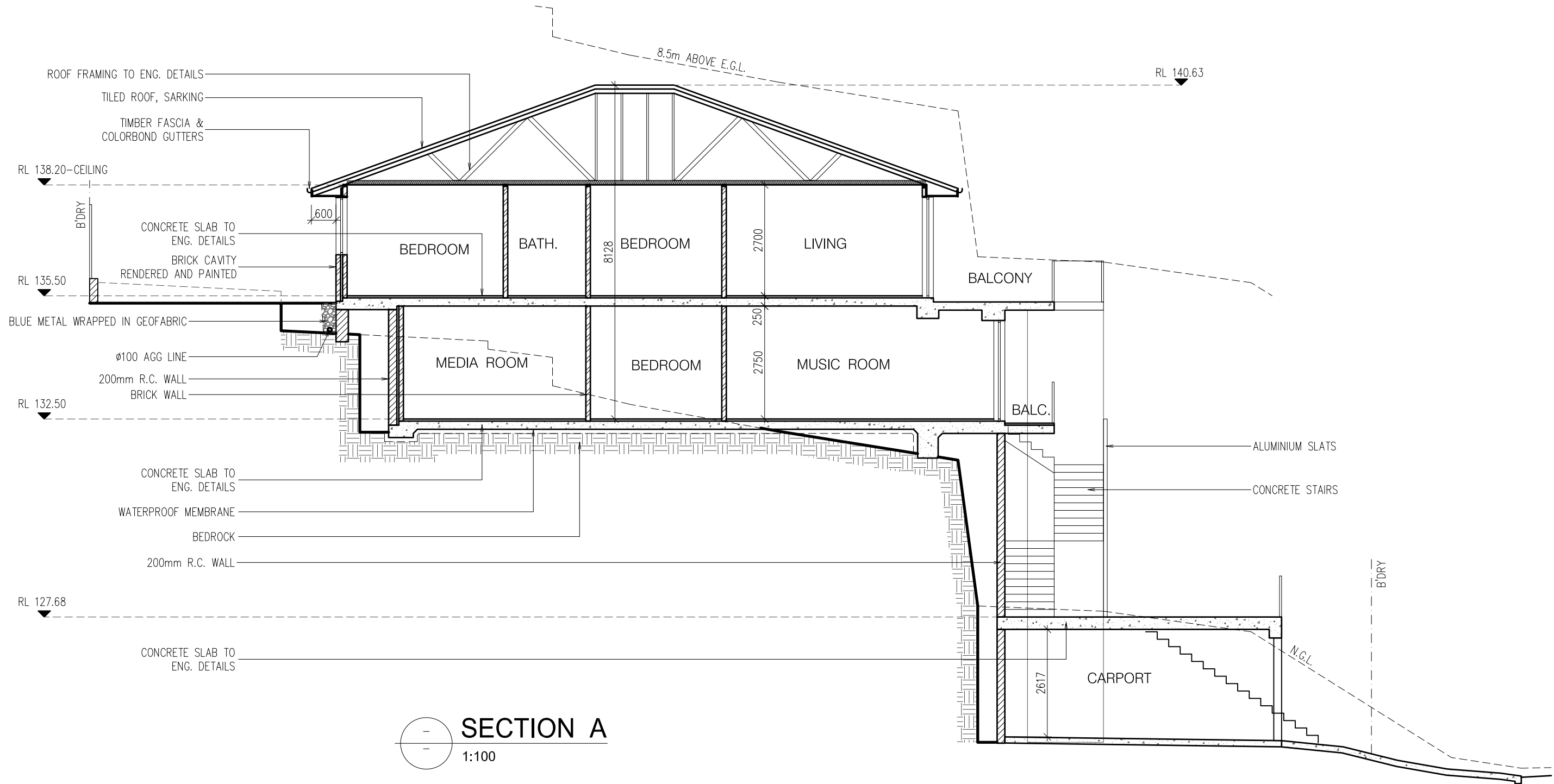
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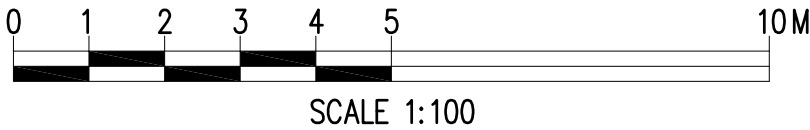
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DRAWN: MK	ISSUE: 1
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SECTION A
1:100






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Accreditation No.
Property Address

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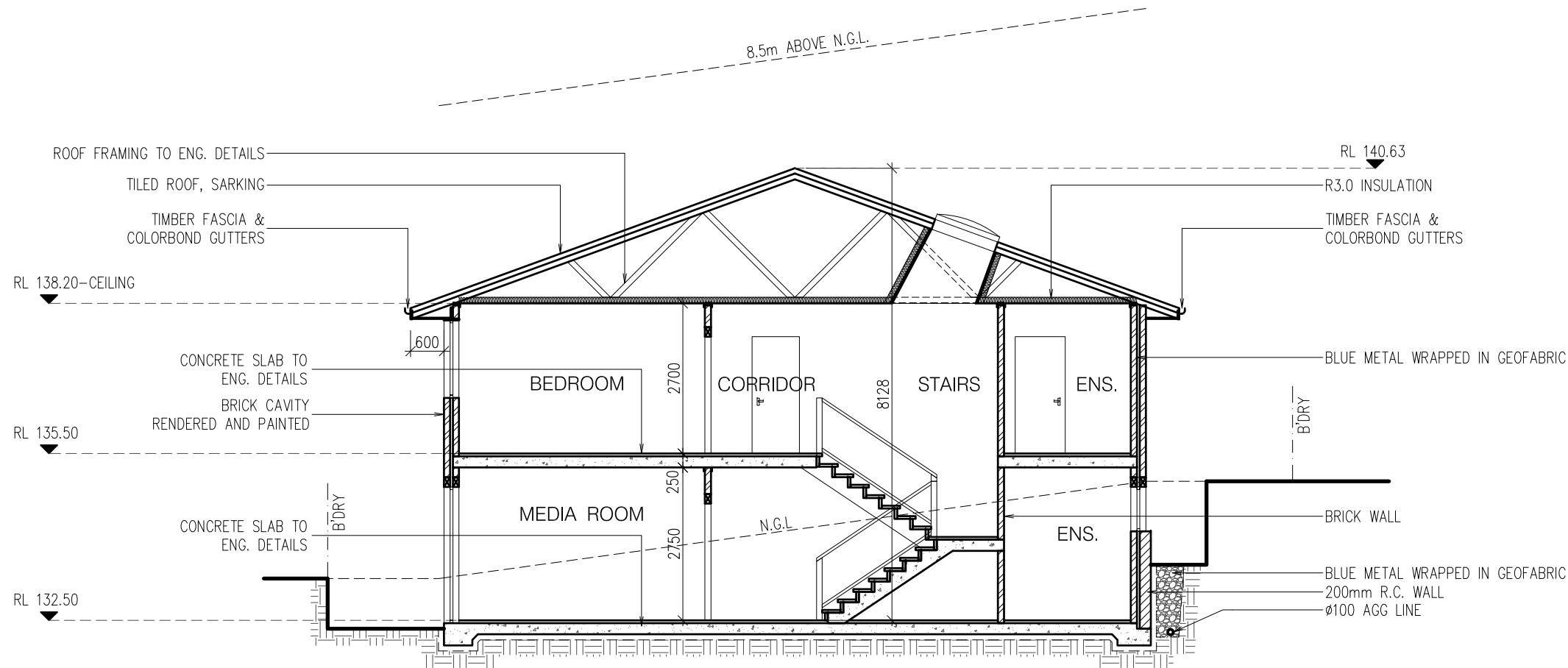
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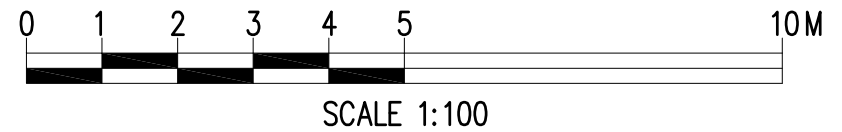
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DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 10



SECTION B
1:100



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DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 11

NATHERS INCLUSIONS SUMMARY

NatHERS Thermal Comfort Inclusions – 45 Oxford Falls Rad, Beacon Hill

External Walls

Face brick cavity wall, rendered inside for a total R value 1.59

External Colour

Dark (SA > 0.7)

Internal walls

Single-skin brick rendered

Plasterboard walls to Skylight cavity, R2.0 insulation

External Floor

Concrete slab on ground

Suspended concrete floor

Internal Floor

Suspended concrete floor between levels, no insulation required

Floor coverings

Tiles to wet areas, timber elsewhere

Roof and Ceilings

Tile roof with sarking

Plasterboard ceiling with R3.0 insulation (insulation only value)

Plasterboard ceiling with R3.0 insulation (insulation only value), where balcony above

External Colour

Dark (SA > 0.7)

Ceiling Penetrations

Sealed IC rated LED downlights, one every 5.0m²

Glazing Doors and Windows

Tilt & turn + hinged

U-value: 3.0 (equal to or lower than) SHGC: 0.48 (±5%)

Sliding + fixed

U-value: 3.0 (equal to or lower than) SHGC: 0.56 (±5%)

Given values are AFRC total window system values (glass and frame)


Frame colour:

Dark (SA > 0.7)

Skylights

Operable, U-value: 2.61 (equal to or lower than) SHGC: 0.21 (±5%)

WINDOWS AND DOOR SCHEDULE				
	ORIENT.	SIZE		AREA (m2)
		W	H	
WG-1	WEST	1690	800	1.35
WG-2	WEST	1090	800	0.87
WG-3	WEST	1690	1200	2.03
WG-4	WEST	1090	1400	1.53
WG-5	WEST	1090	1400	1.53
WG-6	NORTH	3310	1400	4.63
WG-7	NORTH	2010	1400	2.81
WG-8	EAST	1050	1400	1.47
WG-9	EAST	1090	1400	1.53
WG-10	EAST	1090	1400	1.53
WG-11	EAST	1690	1400	2.37
WG-12	EAST	1450	1400	2.03
DG-1	NORTH	900	2400	2.16
DG-2	NORTH	1200	2400	2.88
DG-3	NORTH	900	2400	2.16
DG-4	EAST	900	2400	2.16
W1-1	WEST	1810	1200	2.17
W1-2	WEST	850	1400	1.19
W1-3	WEST	2050	1400	2.87
W1-4	WEST	1330	1400	1.86
W1-5	WEST	1330	1400	1.86
W1-6	NORTH	3310	1400	4.63
W1-7	EAST	1330	1400	1.86
W1-8	EAST	970	1400	1.36
W1-9	EAST	1810	1400	2.53
W1-10	EAST	1450	1400	2.03
W1-11	EAST	1810	1400	2.53
W1-12	SOUTH	2110	1400	2.95
W1-13	SOUTH	2950	1400	4.13
D1-1	NORTH	900	2400	2.16
D1-2	NORTH	4690	2400	11.26
D1-3	SOUTH	900	2400	2.16
D1-4	SOUTH	900	2400	2.16
D1-5	SOUTH	900	2400	2.16



Certificate No. #HR-UHXD8Y-01
Scan QR code or follow website link for rating details.

Assessor name


Stefanie Simpson

Accreditation No.

HERA 10035

Property Address

45 Oxford Falls Road, Beacon Hill, NSW, 2100



<http://www.hero-software.com.au/pdf/HR-UHXD8Y-01>

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DESIGN BY:

MICHAL KORECKY

21 NALYA ROAD, NARRAWEENA NSW 2099

ABN: 79 393 130 294

Email: koreckym@gmail.com

Mob: 0438 148 944

PROJECT:

PROPOSED RESIDENCE

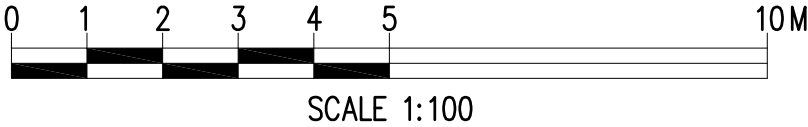
45 OXFORD FALLS ROAD, BEACON HILL

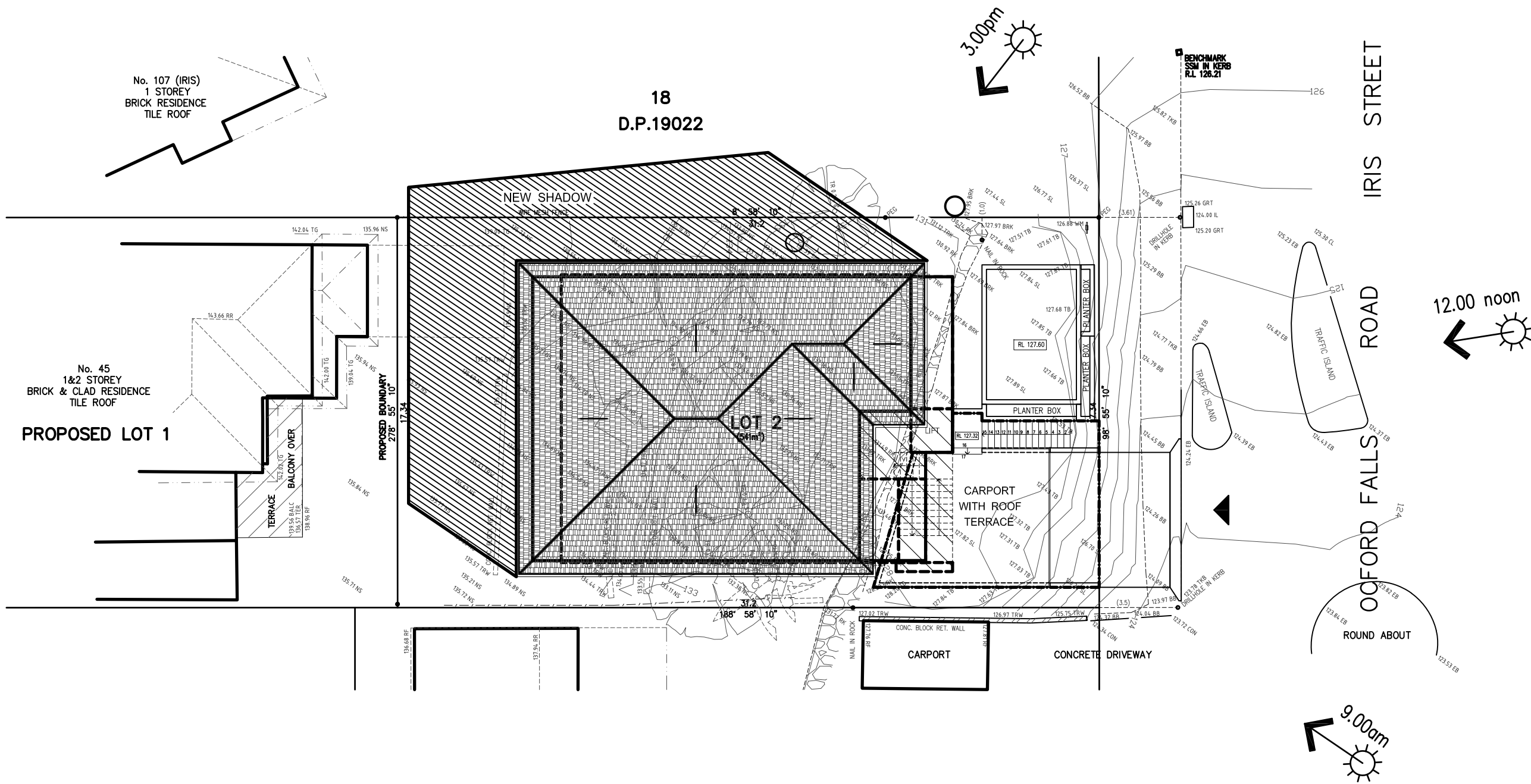
NSW 2100, LOT 2 IN DP.206629

CLIENT:

JIRI AND MARCELA ALBRECHT

DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 12

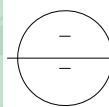




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Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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SHADOW DIAGRAM AZIMUTH 43° ALTITUDE 20° 21/6 - 9:00

1:200

0 1 2 3 4 5 10M
SCALE 1: 200

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45 OXFORD FALLS ROAD, BEACON HILL
NSW 2100, LOT 2 IN DP.206629

CLIENT:

JIRI AND MARCELA ALBRECHT

DATE: 30/05/25

SCALE: AS NOTED

DRAWN: MK

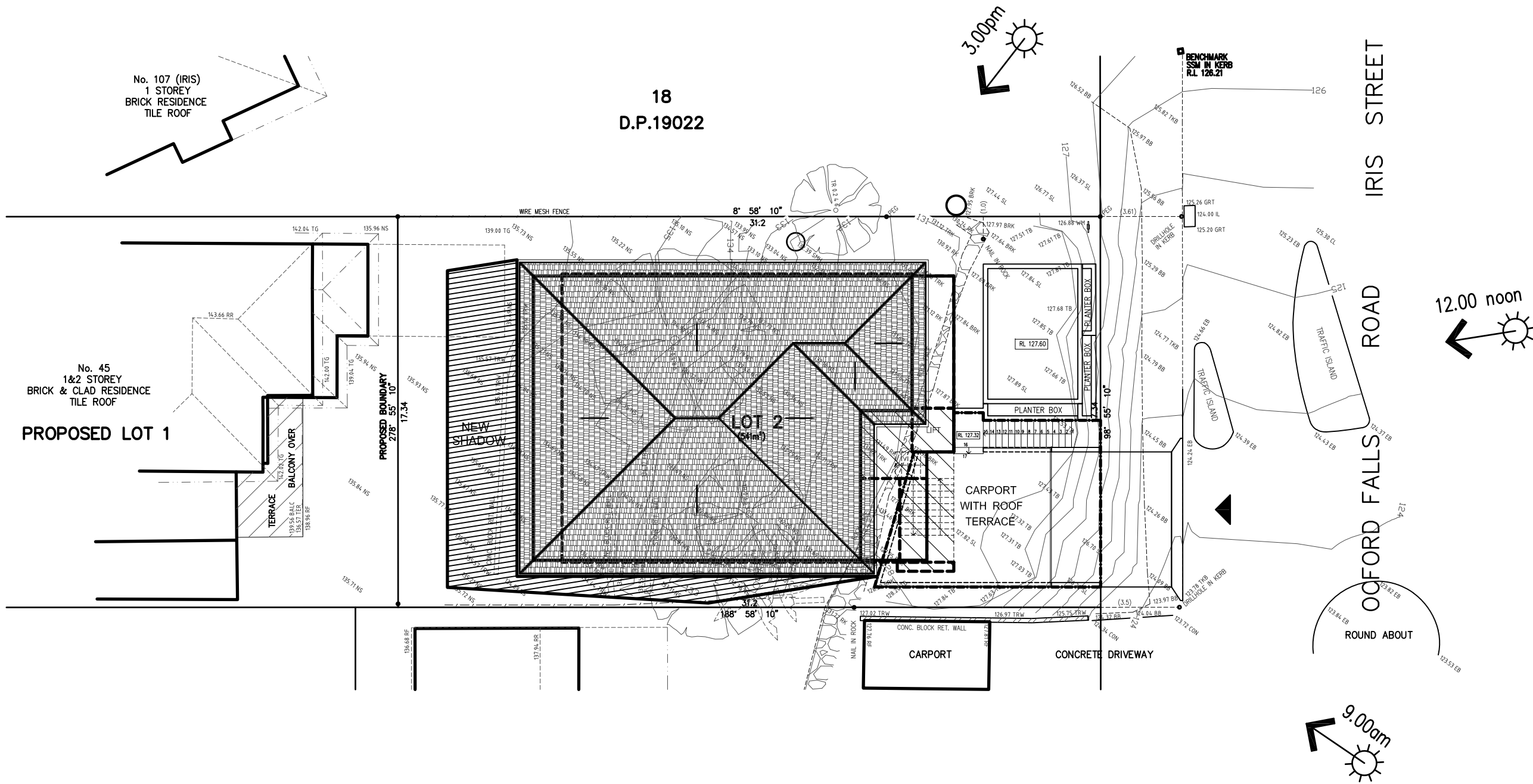
ISSUE: 1

DRAWING Nr :

18080

SHEET:

13



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Assessor name: Stefanie Simpson
Accreditation No. HERA 10035
Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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GENERAL NOTES:

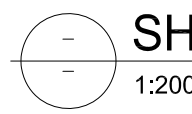
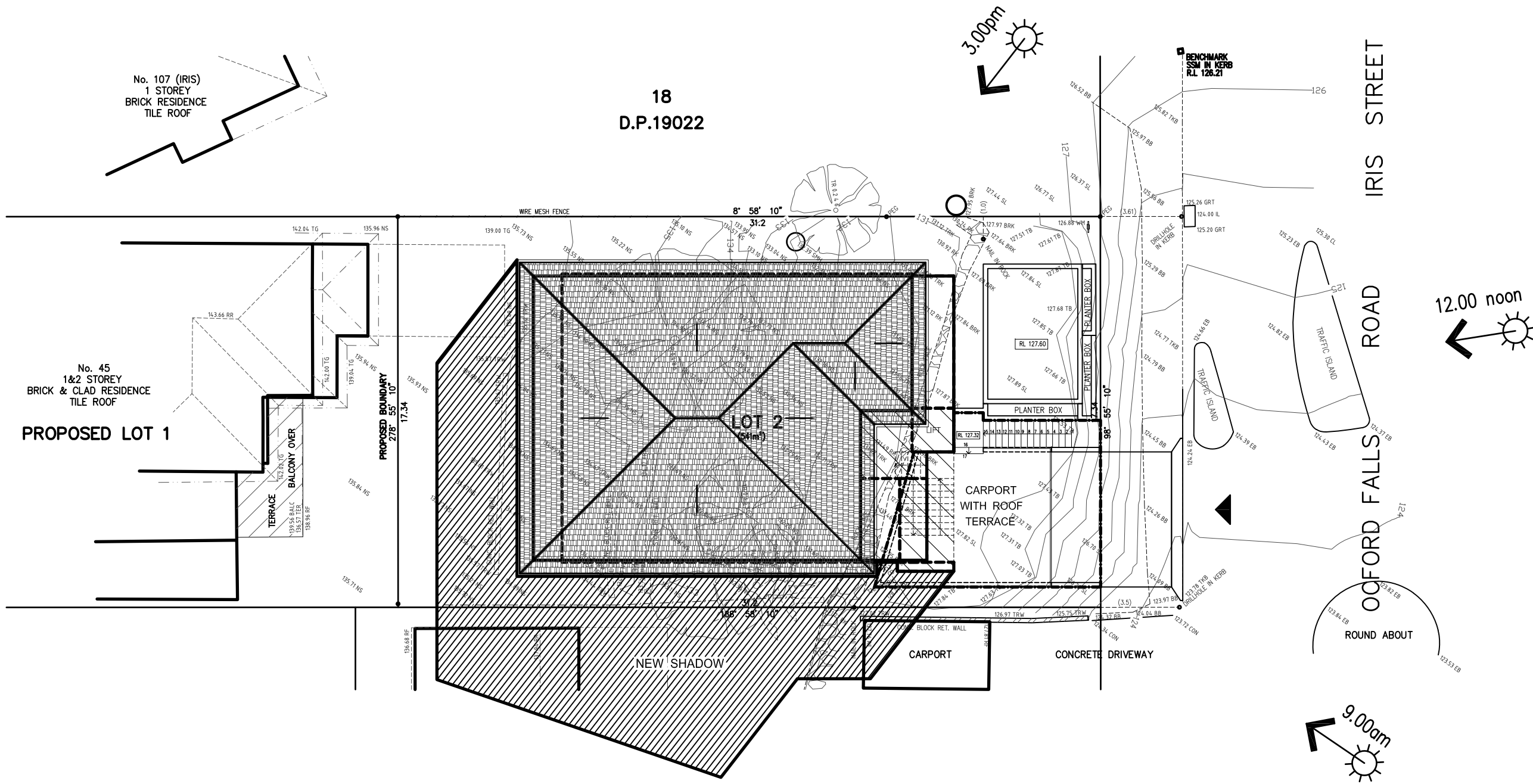
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DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 14



SHADOW DIAGRAM AZIMUTH -43° ALTITUDE 20° 21/6 - 3:00

1:200

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Accreditation No.: HERA 10035
Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

<http://www.hero-software.com.au/pdf/HR-UHxD8Y-01>

0 1 2 3 4 5 10M
SCALE 1: 200

GENERAL NOTES:

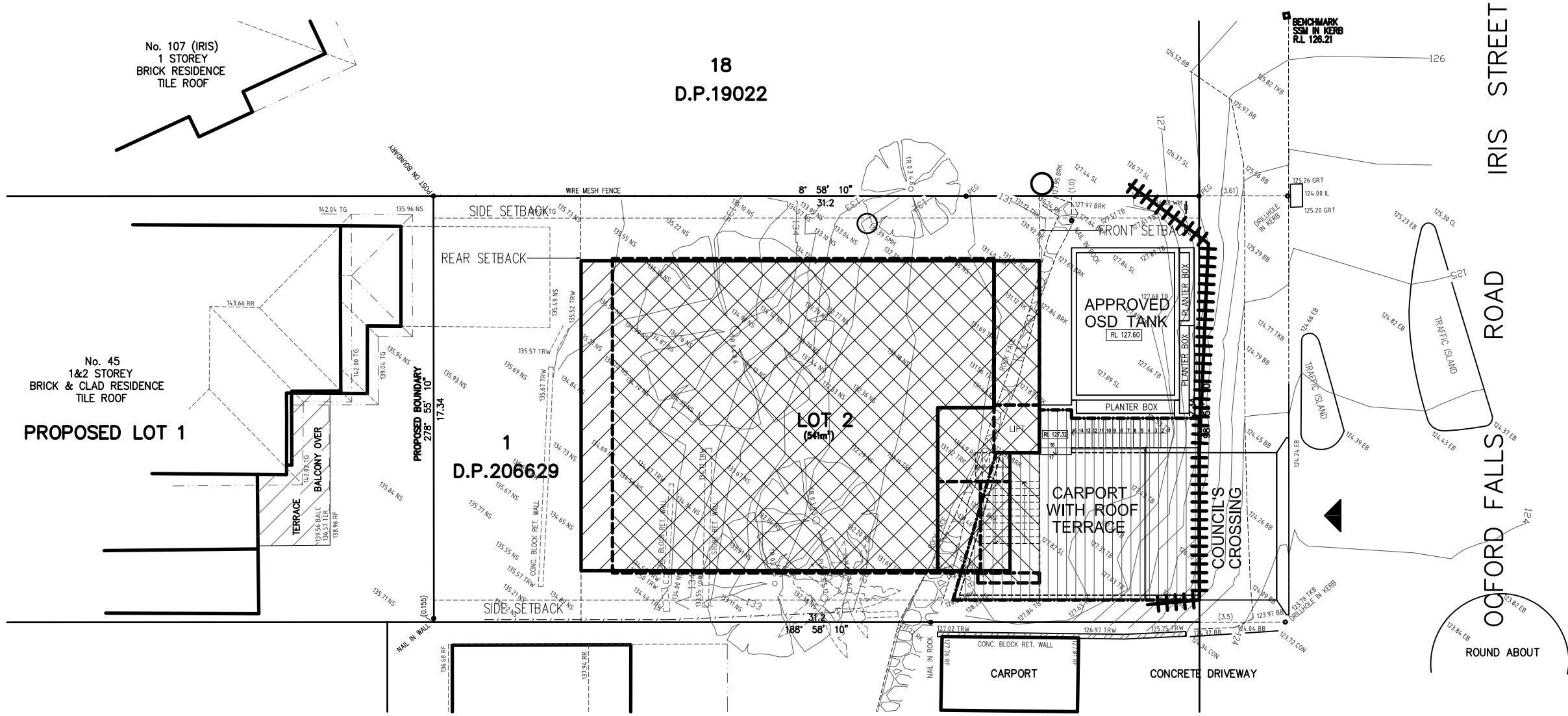
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NSW 2100, LOT 2 IN DP.206629
CLIENT:
JIRI AND MARCELA ALBRECHT

DATE: 30/05/25	SCALE: AS NOTED
DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 15



EROSION AND SEDIMENT MANAGEMENT PLAN

1:200

SOIL CONSERVATION NOTES

A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.

CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDDED ON 50 – 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED

B. DURING CONSTRUCTION

- 1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
- 2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.
- 3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.
- 4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.
- 5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.

Drainage area 0.4ha MAX. Slope gradient 1:2 MAX. Slope length 40m MAX.

ANGLE FIRST STAKE TOWARDS PREVIOUSLY LAID STRAW BALE.

STAKES DRIVEN 0.6m INTO GROUND

DISTURBED AREA

UNDISTURBED AREA

100 DEEP

Direction of flow

STRAW BALE SEDIMENT FILTER

GEOTEXTILE FILTER FABRIC

STAKES

RUNOFF WATER WITH SEDIMENT

BURIED FABRIC

FILTERED WATER

GEOTEXTILE FILTER FABRIC

DROP INLET WITH GRATE

GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP

WIRE AND STEEL MESH OR SIMILAR

Disturbed area

3 m max

GEOTEXTILE FILTER FABRIC

0.6m INTO GROUND

UNDISTURBED AREA

Direction of flow

SEDIMENT FENCE

CONSTRUCTION SITE

BERM (300 MIN. HIGH)

MIN LENGTH 15 m

MIN. WIDTH 3 m

GEOTEXTILE FABRIC

50-75 mm GRAVEL

RUN OFF FROM PAD DIRECTED TO SEDIMENT TRAP

EXISTING ROADWAY

TEMPORARY CONSTRUCTION EXIT

SEDIMENT CONTROL FENCE

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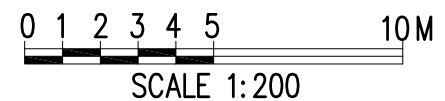
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Assessor name: Stefanie Simpson

Accreditation No.: HERA 10035

Property Address: 45 Oxford Falls Road, Beacon Hill, NSW, 2100

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PROJECT:

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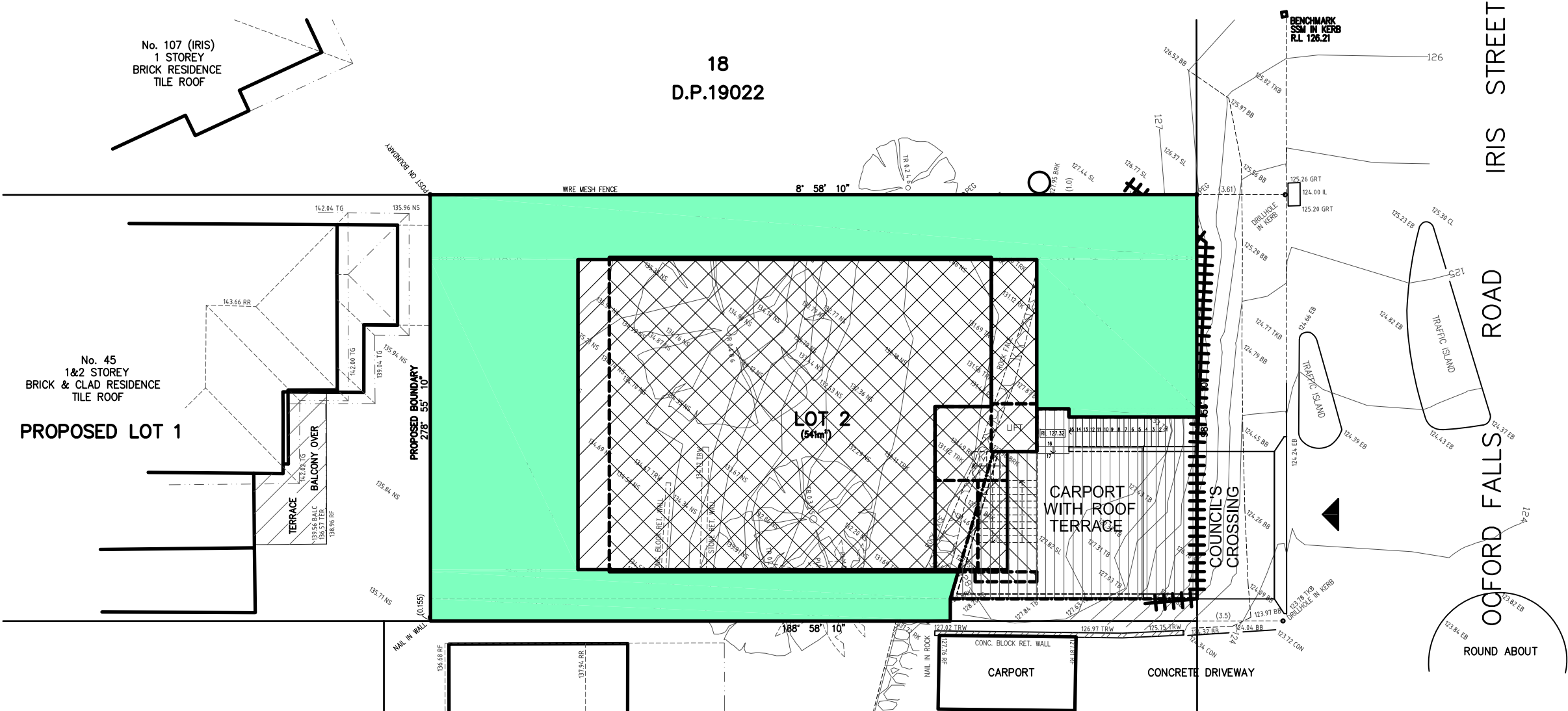
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NSW 2100, LOT 2 IN DP.206629

CLIENT:

JIRI AND MARCELA ALBRECHT

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DRAWN: MK	ISSUE: 1
DRAWING Nr : 18080	SHEET: 16



LANDSCAPE OPEN SPACE CALCULATION SHEET

L.O.S. CALCULATION	(m2)
SITE AREA	541.0
L.O.S. 1	241.1
TOTAL L.O.S.	222.9 (44.5%) > 40%

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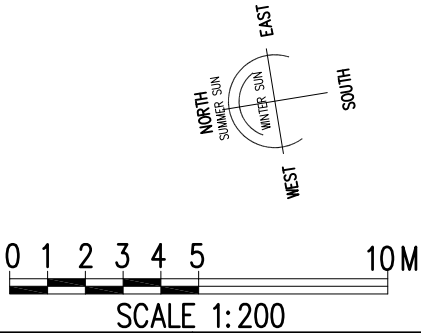
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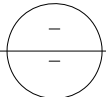
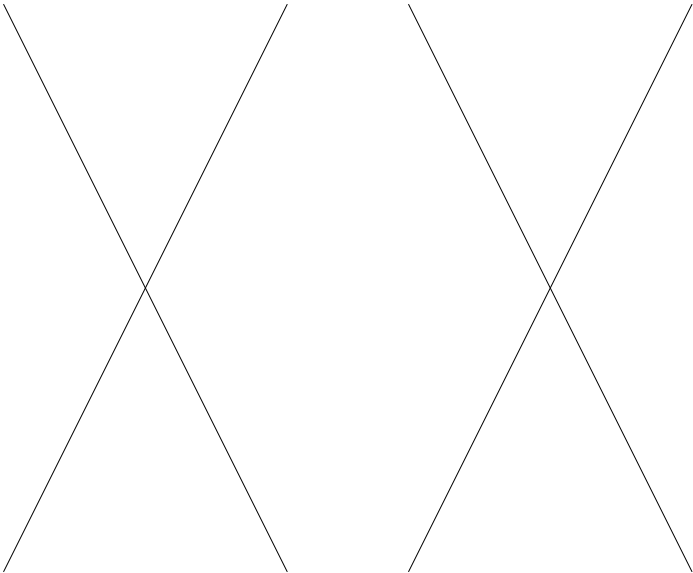
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BASIX COMMITMENTS

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Assessor nameStefanie Simpson

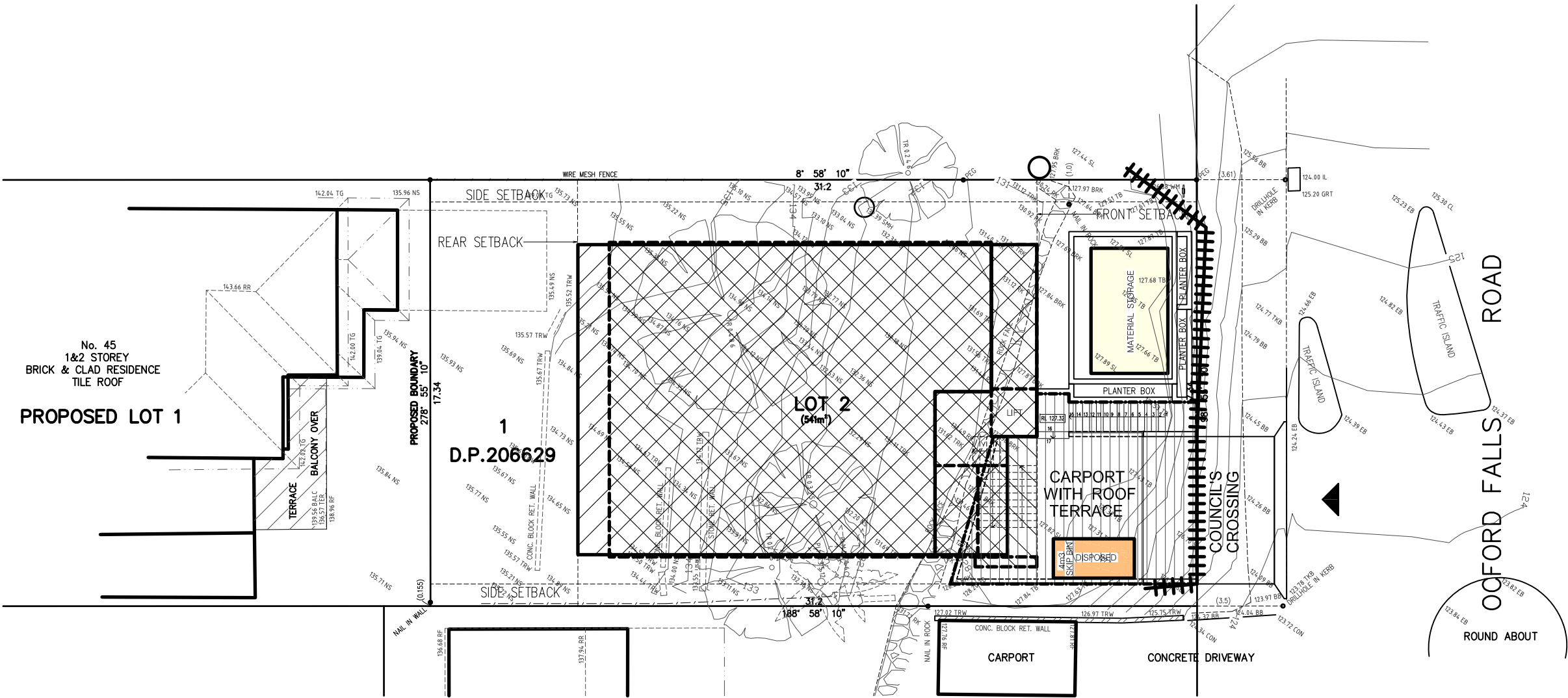
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WASTE MANAGEMENT PLAN
1:200

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