

SWIMMING POOL NOTES:

SP01. POOL LOCATION:

CUSTOMERS MUST SATISFY THEMSELVES TO THE CORRECT LOCATION OF THE POOL, SET OUT PEGS PRIOR TO THE COMMENCEMENT OF THE EXCAVATION,

SP02. DIMENSIONS:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALE.

SP03. FOUNDATIONS:

- 1. TO BE NATURALLY OCCURRING MATERIAL CAPABLE OF BEING EXCAVATED TO A VERTICAL FACE AND OF MINIMUM SAFE BEARING CAPACITY OF 500kPa.
- 2. UNDERSIDE OF THE CONCRETE FLOOR TO BE SEPARATED FROM THE UNDERLYING MATERIAL BY A LAYER OF APPROVED MEMBRANE – 250µm MIN OR SIMILAR,

SP04. REINFORCEMENT:

- 1. ALL RODS TO BE GRADE 250 DEFORMED BARS IN ACCORDANCE WITH AS4671 UNLESS NOTED OTHERWISE – GRADE S,
- 2. RADIUS OF BENDS FOR COPING BARS 50mm,
- 3. RODS TO BE LAPPED A MINIMUM OF 400mm AND TO BE WIRE TIED AT EACH 2ND INTERSECTION,
- 4. REINFORCEMENT SHALL HAVE THE FOLLOWING CLEAR COVER OF CONCRETE;
 - 4.1. WALLS AND STEPS 50mm INSIDE FACE,
 - 4.2. FLOORS AND COPING 50mm TO TOP OF CONC, WIDTH OF COPING FINISH IS APPROX,
 - 4.3. EARTH FACES 65mm,
 - 4.4. FORMWORK FACES 40mm,
 - 4.5. WHERE COPING IS MORE THAN 300mm ABOVE NATURAL GROUND LEVEL, THE HORIZONTAL REINFORCEMENT IS TO BE INCREASED TO S12–200 FOR A DISTANCE OF 400mm BELOW NATURAL GROUND LEVEL,
- 5. HORIZONTALS ABOVE GROUND LEVEL:
 - 5.1. 25MPa CONCRETE S12–150
 - 5.2. 32MPa & ABOVE S12–150,
- 6. RADIUS OF BEND FOR COPING BARS 50mm,
- 7. REINFORCEMENT IS BE CHAIRED TO PREVENT MOVEMENT DURING PLACEMENT OF CONCRETE, AND MAINTAIN CLEAR COVER AS SPECIFIED IN 4.
 - 7.1. CONE CHAIRS ARE NOT TO BE USED AGAINST FORM,
 - 7.2. FLOOR TO BE CHAIRED AT 600 INTERSECTIONS,

SP05. CONCRETE:

- 1. MATERIALS AND WORKMANSHIP GENERALLY TO CONFIRM TO THE REQUIREMENTS OF AS3600 & AS2783,
- 2. CONCRETE DESIGN STRENGTH (f'c) TO BE 25MPa AT 28 DAYS, UNLESS OTHERWISE STATED,
- 3. CONCRETE TO BE PNEUMATICALLY PLACED PREFERABLY IN A SINGLE UNINTERRUPTED OPERATION. SHOULD A BREAKDOWN OF PLANT OCCUR THE CONSULTING ENGINEERS MUST BE NOTIFIED IMMEDIATELY.

SP06. CONCOURSE:

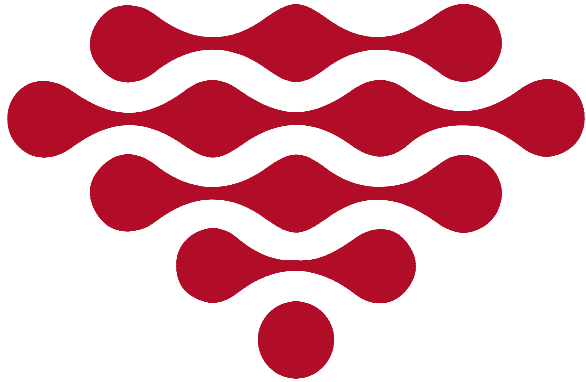
- 1. ONLY OPEN TYPE OR GLASS PANEL FENCING TO 1.2m HIGH MAY BE SUPPORTED OFF CONCOURSE AS DESIGNED. ALL FENCING TO BE IN ACCORDANCE WITH AS1926.1 & AS1926.2 AND THE ERECTION OR ALTERATION TO BE THE RESPONSIBILITY OF THE APPLICANT. THE FENCING IS PART OF THE APPLICATION,
- 2. SPIGOTS ARE TO BE CORED NO CLOSER THAN 170mm FROM STRUCTURAL EDGE OF COPING,
- 3. THE POOL SHELL IS DESIGN IN ISOLATION, NO FITMENTS, OR LOADING TO BE PLACES ON CONCOURSE OR POOL SHELL WITHOUT THE EXPRESS PERMISSION OF CRYSTAL POOLS,
- 4. ANY PAVING LAID ADJACENT TO POOL COPING MUST HAVE 15mm WIDE CONSTRUCTION OR EXPANSION JOINTS. IF PAVING LAID IN MORTAR, EXPANSION JOINT MUST BE INSERTED BETWEEN PAVING & POOL COPING. LEAVE 3mm GAPS BETWEEN PAVERS LAID ON SAND,
- 5. POOL HAS BE DESIGNED TO MAINTAIN A CONSTANT 100mm FREEBOARD, OVERFILLING OF THE POOL WILL RESULT IN SATURATION OF THE TILE BED AND RISK DELAMINATING COPING FINISHES.

SP07. EMPTYING POOL:

POOL TO BE EQUIPPED WITH HYDROSTATIC PRESSURE RELIEF VALVE TO SAFEGUARD AGAINST EXTERNAL WATER PRESSURE WHEN POOL IS EMPTY. DESPITE THIS PROVISION THE APPROVAL OF CRYSTAL POOLS MUST BE OBTAINED BEFORE EMPTYING THE POOL

SP08. DIVING:

THIS POOL IS NOT DESIGNED FOR DIVING.



CRYSTAL
POOLS

For: AIR & TIM KIEHNE

#: 0423 328 617

At: 13 ATHOL STREET,
FRENCHS FOREST
NSW 2086

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REVISION	DATE	DESCRIPTION	DRAWN
B	09.10	REVISED POOL PLAN, BDY OFFSET	CMF
A	25.03	ISSUED FOR CONSTRUCTION	CMF
REV.	DATE	AMENDMENT	DRAWN

Consulting Engineer:



Innovative Building Systems Australia Pty Ltd
14 Monterey Parade, Ermington Heights NSW 2115
ACN: 44 124 486 497 Ph: (02) 9804 8725 www.ibsaust.com.au
APPROVED  DATE 25.03.2022
CHRISTIAAN FITZSIMON BSc BE MIEAust # 987546



CRYSTAL POOLS
Australia's most experienced swimming pool builder

1 CENTRAL AVENUE THORNLEIGH NSW 2120

(02) 9875 4555 | SALES@CRYSTALPOOLS.COM.AU

PO BOX 271 PENNANT HILLS NSW 1715

DATUM: FFL OF EXISTING POOL

TOP OF POOL FINISHED, RELATIVE TO DATUM, ALLOW 30mm FOR PAVER: LEVEL

TOP OF POOL STRUCTURE	A	+/-0	RL	.
RELATIVE TO APPROX.	B	+1900	RL	.
NATURAL GROUND LEVELS	C	+1900	RL	.
	D	+1500	RL	.



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CRYSTAL POOLS P/L. JANUARY 2021

DATE

25.03.2022

JOB NUMBER

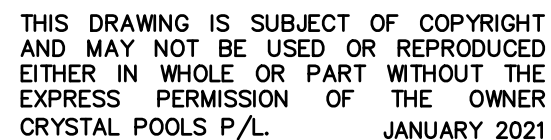
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DWG No.

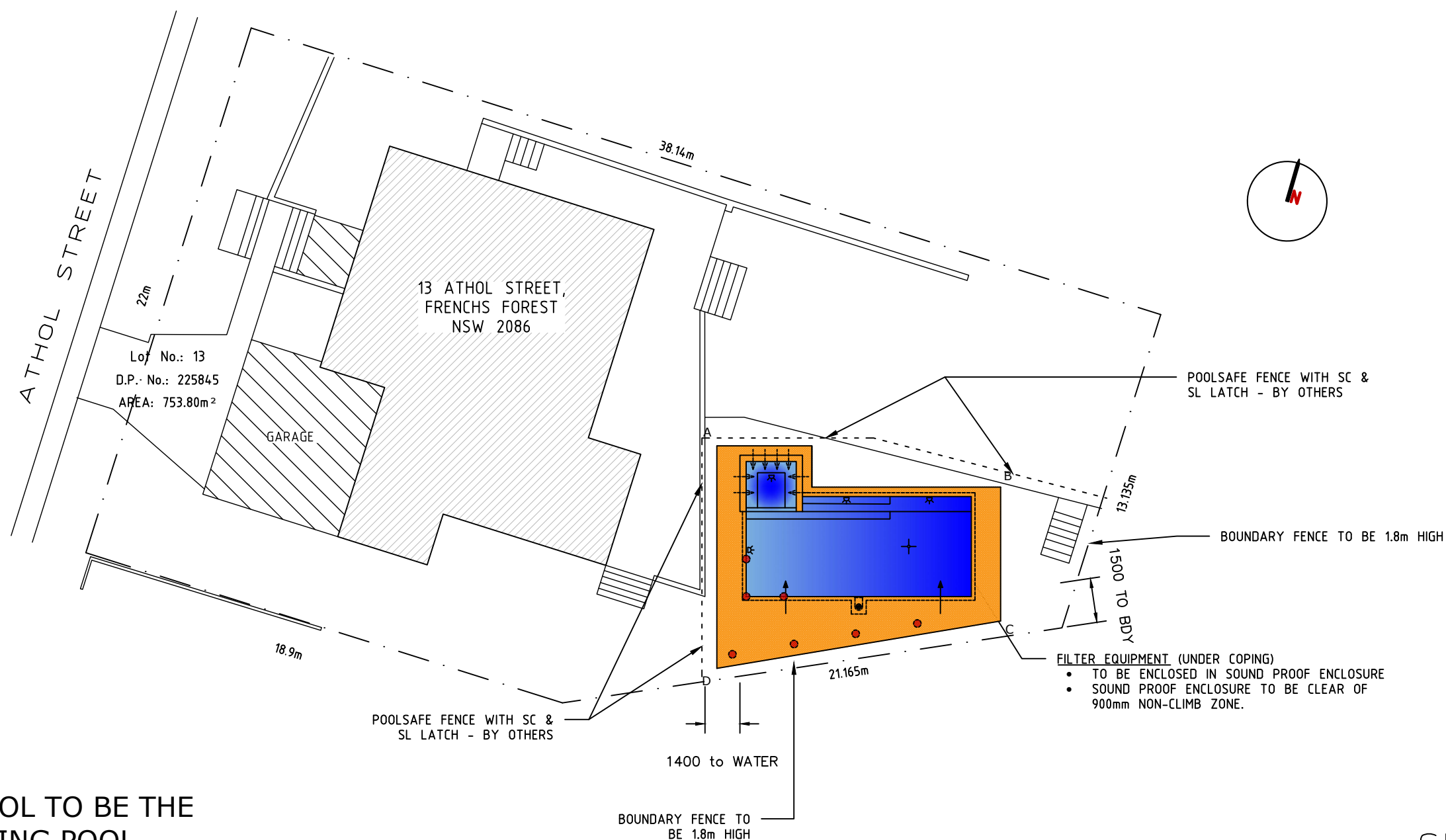
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REV.

C



POOL VOLUME = 51,401 L

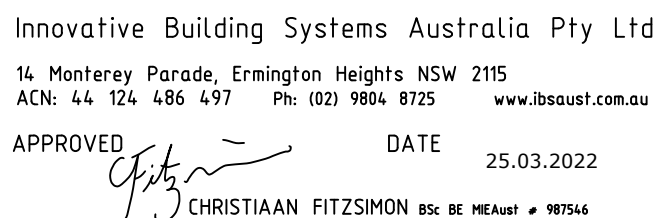


* LOCATION OF POOL TO BE THE SAME AS EXISTING POOL

SITE PLAN
SCALE 1:200

REVISED	09.10	POOL WIDTHS	CMF
B	09.10	REVISED POOL PLAN, BDY OFFSET	CMF
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PROPOSED SWIMMING POOL

FOR: AIR & TIM KIEHNE

#: 0423 328 617

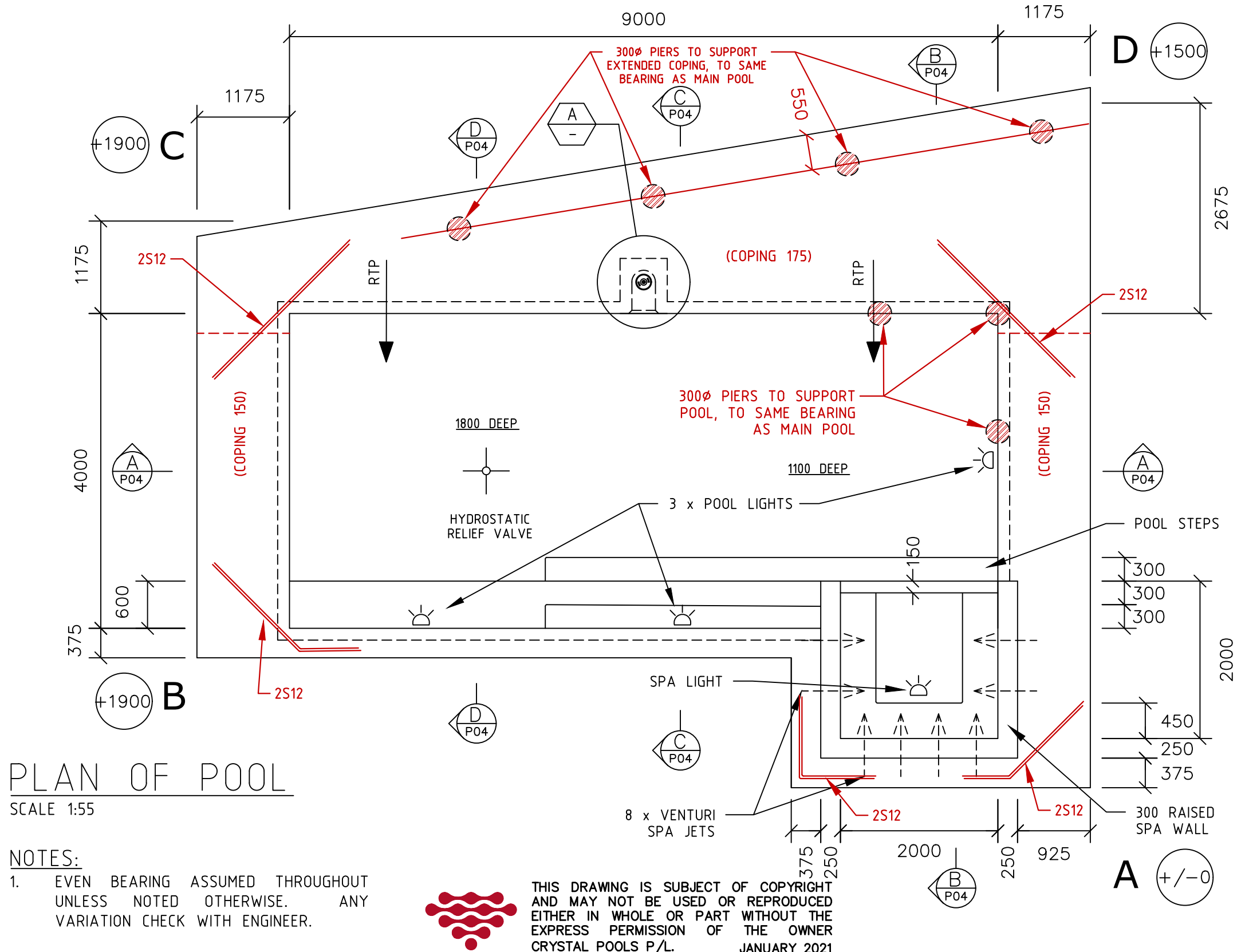
AT: 13 ATHOL STREET,
FRENCHS FOREST
NSW 2086

DATE	25.03.2022
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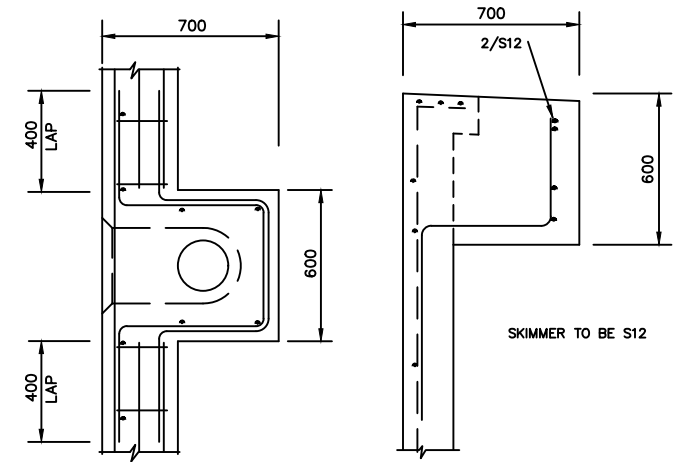
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DWG No.
P02

REV. C



- EQUIPMENT LIST**
- FILTER - WC602
 - PUMP - CLIENTS
 - HEATING - MT400
 - CHEMICAL CONTROLLER - CLIENTS
 - CIRCULATION - 2 RTP's
 - LIGHTS - 4 x UNDERWATER LIGHTS
 - JETS - 8 x VENTURI SPA JETS



SECTIONAL PLAN
DETAIL
SCALE: - NTS

NOTES:
1. SKIMMER BOX
2. SKIMMER TO COMPLY WITH AS1926.3

No. S Bar =	149 S
No. N Bar =	10 N
Volume of Pool =	51,401 L
Concrete Volume =	21.57 m3
Concrete Strength =	32 MPa

DATUM:	FFL OF EXISTING POOL
TOP OF POOL FINISHED, RELATIVE TO DATUM, ALLOW 30mm FOR PAVER:	LEVEL
TOP OF POOL STRUCTURE	A +/-0 RL .
RELATIVE TO APPROX.	B +1900 RL .
NATURAL GROUND LEVELS	C +1900 RL .
	D +1500 RL .

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APPROVED **DATE** 25.03.2022
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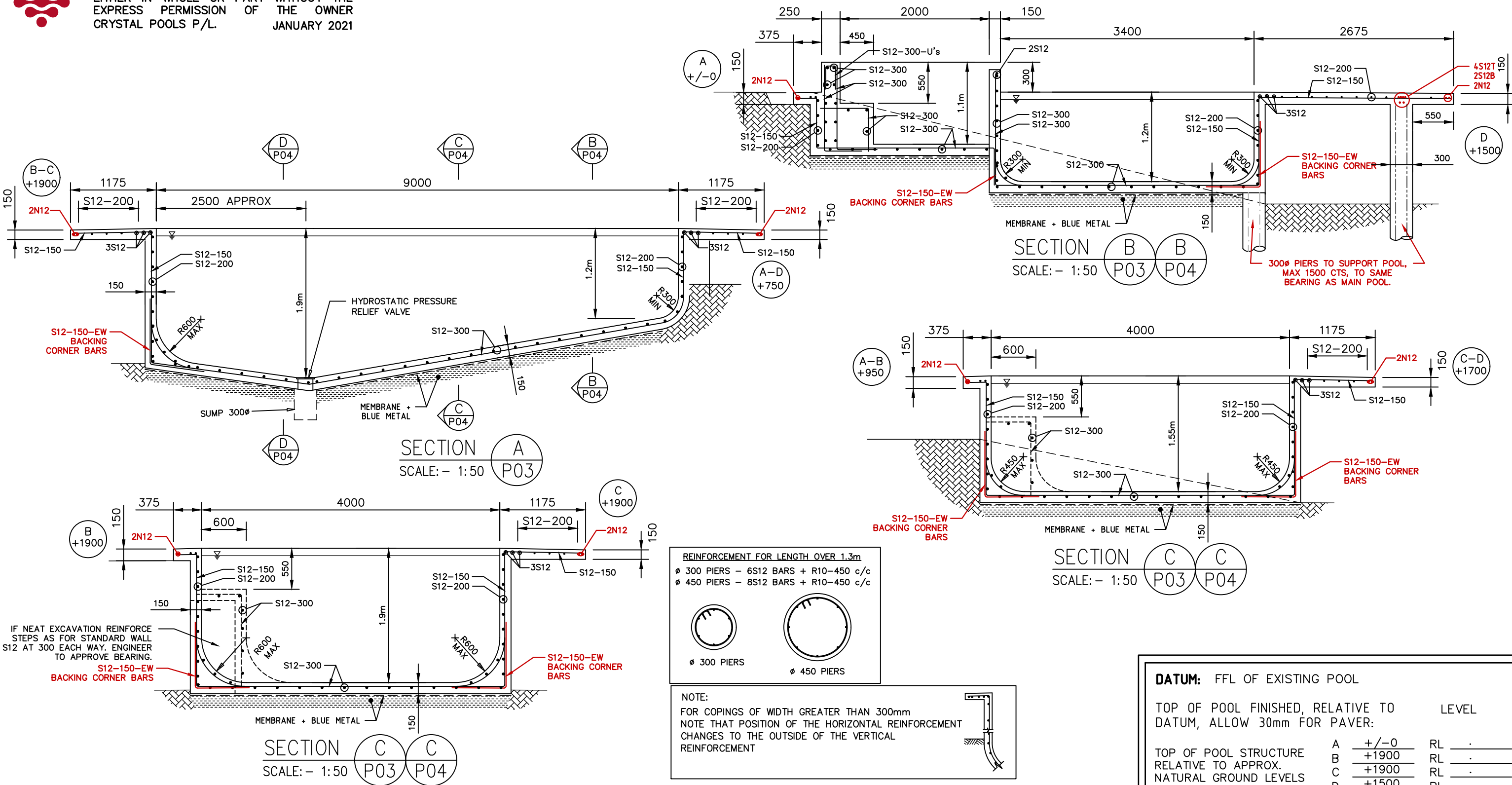
PROPOSED SWIMMING POOL

FOR: AIR & TIM KIEHNE
#: 0423 328 617
AT: 13 ATHOL STREET, FRENCHS FOREST NSW 2086

DATE	25.03.2022
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#: 0423 328 617
AT: 13 ATHOL STREET,
FRENCHS FOREST
NSW 2086

DATE
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JOB NUMBER
14718
DWG No.
P04
REV.
C

NO. 13 ATHOL ST,
FRENCHS FOREST

APPROVALS
DOCUMENTATION

SWIMMING POOL + LANDSCAPE WORKS

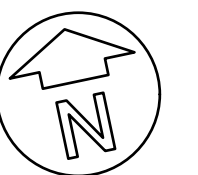
CLIENT
MR & MRS KIEHNE

ADDRESS
13 ATHOL ST, FRENCHS FOREST

STATUS	PROJECT #	SHEET #
DA	220319	L/00

A2

1:100



DRAWING LIST

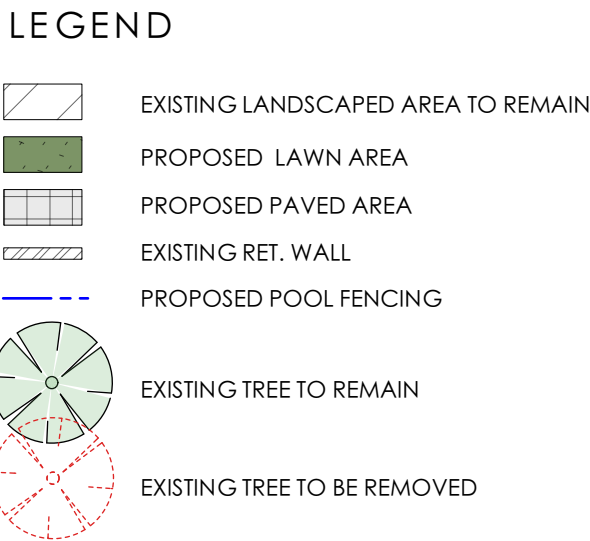
L/00	COVER SHEET
L/01	LANDSCAPE PLAN
L/02	DETAILS SHEET

Aspect Designs
Studio 103
84 Alexander St,
Crows Nest NSW 2065
0418 638 973
joel@aspectdesigns.com.au

aspect
DESIGNS

Site area	753.00m2
Landscaped open space	400m2m2 (53.1%)
Min. required	362.75m2 (40%)

Latin Name	Common Name	Quantity	Scheduled Size	Spread	Height
<i>Cordyline terminalis</i> 'Rubra'	Red Ti	4	5ft	1200	1200
<i>Liriope muscari</i> 'Variegata'	Variegated Lillyturf	101	2.5ft	200	200
<i>Philodendron</i> 'Xanadu'	Dwarf Philodendron	16	5ft	750	1000
<i>Viburnum odoratissimum</i>	Sweet Viburnum	10	45ft	1500	2000



aspect
DESIGNS

OUTLINE LANDSCAPE SPECIFICATION (AS APPLICABLE)

Preparation by Builder: Builder shall ensure that a minimum 450mm of topsoil in garden areas and a minimum 150mm of topsoil in lawn areas exists. Should required depths not exist Builder shall contact Landscape Architect and ask for instructions prior to completion of excavation works.

Excavate as necessary, then fill with approved site topsoil to allow for minimum 500mm soil depth in garden areas and 150mm soil depth in lawn areas and to gain required shapes & levels. Ensure all garden and lawn areas drain satisfactorily. All levels & surface drainage shall be determined by others & approved on site by Head Contractor. Note: Approved imported topsoil mix may be utilised if there is insufficient site topsoil available. State in Tender a m3 rate for additional imported topsoil and the quantities of both site topsoil and imported topsoil allowed for in Tender.

Initial Preparation: Verify all dimensions & levels on site prior to commencement. Do not scale from drawings. Locate all underground & above ground services & ensure no damage occurs to them throughout contract. Spray approved weedicide to all proposed lawn & garden areas to manufacturer's directions. Remove existing concrete pathways, footings, walls etc. not notated to be retained & weeds from site. Levels indicated on Plan are nominal only and are derived from Architectural Plans & Drawings by others. Final structural integrity of all items shall be the sole responsibility of Landscape Contractor.

Tree Protection: Trees to be retained shall be protected during site works and construction by the erection of solid barricades to the specification of Council. Storage of machinery or materials beneath canopy of trees to be retained shall not be permitted. Changes to soil level and cultivation of soil beneath canopy of trees to be retained shall not be permitted unless under direct supervision of Landscape Architect. Existing trees shall be pruned to Landscape Architects onsite instructions.

Soil Preparation: Cultivate to depth of 300mm all proposed lawn & garden areas incorporating minimum 100mm depth of organic clay breaker into existing site soil. Do not cultivate beneath existing trees to be retained. In areas where fill is required gain required shapes & levels using a premium grade soil mix. In areas where excavation is required (if in clay) over excavate as required to to allow for installation of 500mm depth of premium grade topsoil mix to garden areas and 300mm depth of premium grade topsoil mix to lawn areas. Undertake all required action to ensure that no rootballs of proposed plants sit in clay wells and that all garden areas and lawn areas drain satisfactorily. Note it is intended that wherever possible existing levels shall not be altered through garden and lawn areas. It is the Contractors responsibility to ensure that the end result of the project is that all lawn and garden areas drain sufficiently (both surface & subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Should alternative works to those specified be required to achieve the above result, Contractor shall inform Builder at time of Tender and request instructions.

Planting: Purchase plants from an approved nursery. Plants to be healthy & true to type & species. Set out plants to positions indicated on plan. Following approval, plant holes shall be dug approximately twice width and to 100mm deeper than plant rootballs that they are to receive. Base and sides of hole shall be further loosened. Fertiliser, followed by 100mm depth of topsoil mix shall then be placed into base of hole and lightly consolidated. Base of hole shall then be watered. Remove plant container and install plant into hole. Rootball shall be backfilled with surrounding topsoil and topsoil firmed into place. An approved shallow dish shall be formed to contain water around base of stem. Base of stem of plant shall finish flush with finished soil level. Once installed plant shall be thoroughly watered and maintained for the duration of the Contract.

Staking: All trees shall be staked using 2 x 38mm x 38mm x 2000mm long hardwood stakes per plant and with hessian webbing ties installed to Landscape Architect's on site instructions.

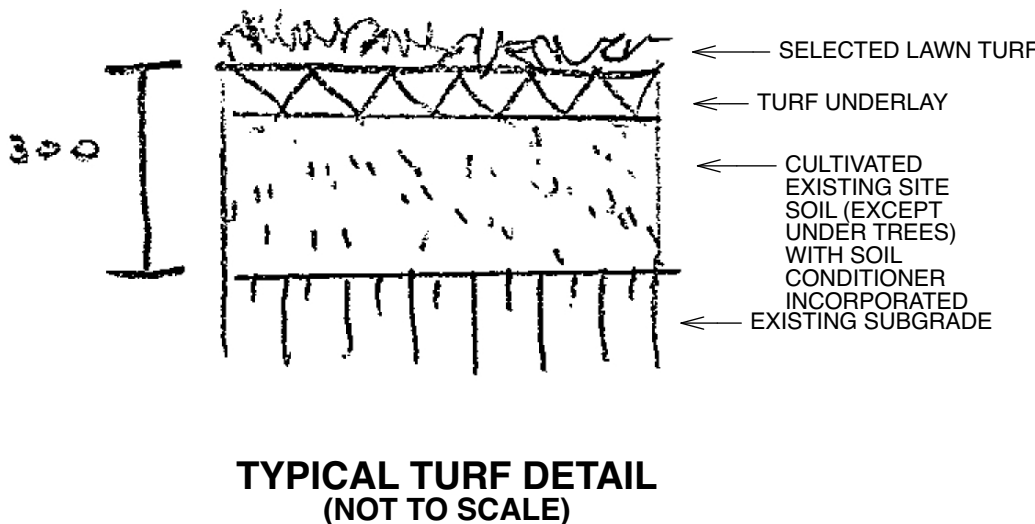
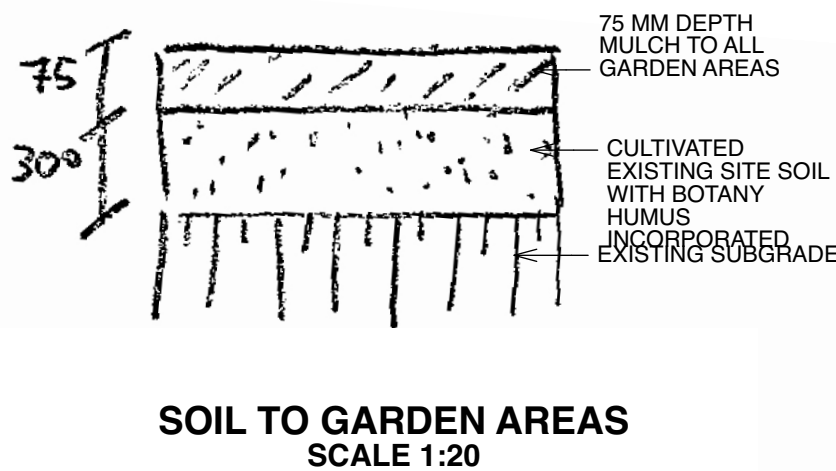
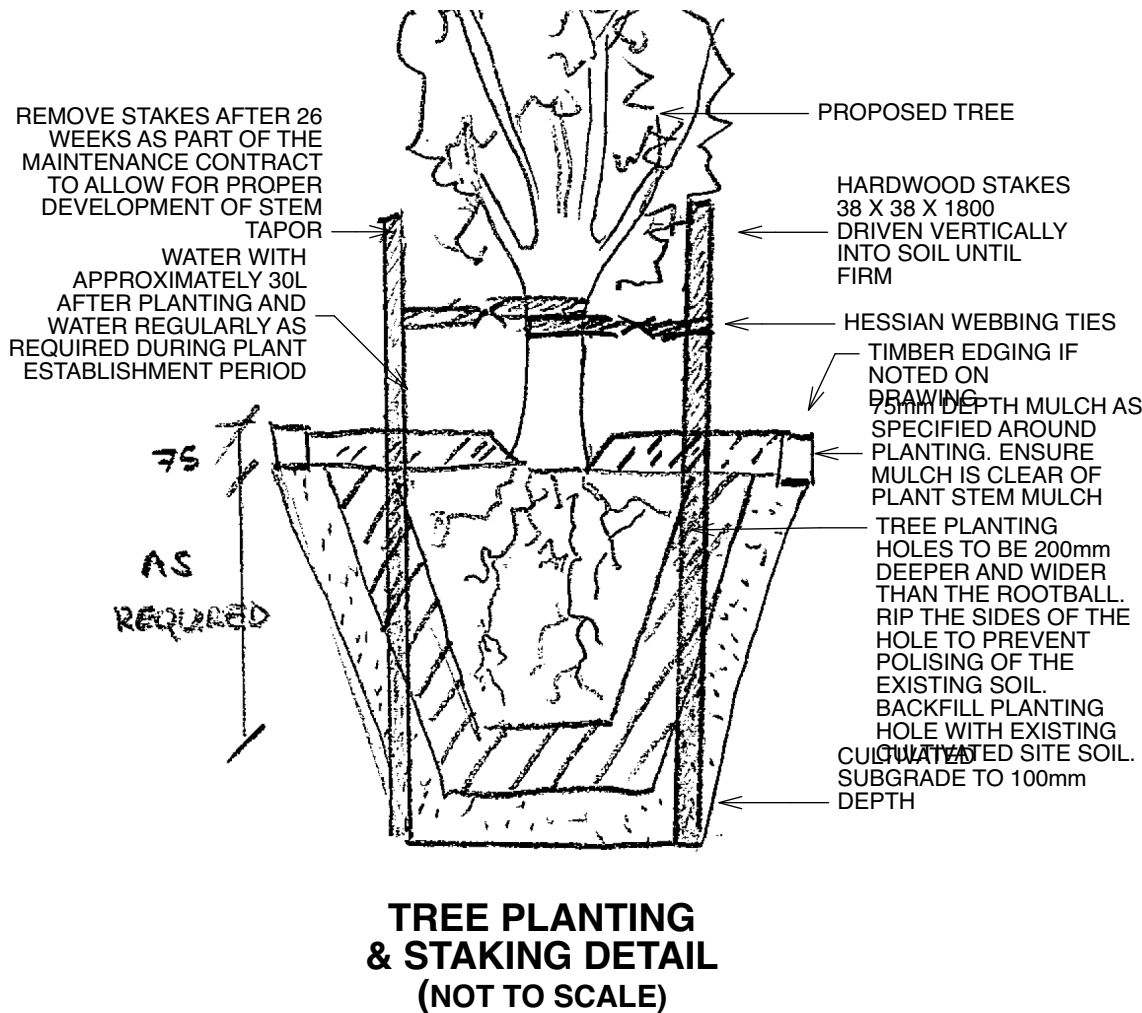
Mulching: Install 75mm depth of 25mm diameter hardwood mulch to all garden areas, coving mulch down around all plant stems & to finish flush with adjacent surfaces.

Fencing: Retain all existing fences unless advised otherwise by builder. Install timber paling fences to heights indicated on Plan.

Paving: Areas to be paved shall be excavated or filled to allow for installation of bedding materials. Levels and falls shall be as per Plan. Surface drainage on paving shall be towards grated drains with all drains connected to stormwater system and installed by Builder.

Irrigation: Contractor shall supply and install an approved fully automatic, vandal resistant, computerised irrigation system to all garden and lawn areas, excluding council nature strip. Entire system shall be to approval of Water Board and shall utilise pop-up sprinklers and electronic controllers. Contractor shall be responsible to ensure that system is able to satisfactorily operate on available water pressure. Power supply for use by irrigation system shall be provided to an approved location near southwest corner of residence by others and shall consist of an approved weatherproof G.P.O. The irrigation system controller shall be housed in an approved waterproof cabinet mounted to external wall of residence.

Completion: Prior to practical completion remove from site all unwanted debris occurring from work. Satisfy Council that all landscaping work has been undertaken in strict accordance with Councils landscape codes & guidelines.



REVISION	DATE	AMMENDMENT	DRAWN	NORTH 	Client: MR & MRS KIEHNE	Title: LANDSCAPE DETAILS SHEET	Scale: N/A	Sheet: A2	PROPOSED POOL + LANDSCAPE WORKS	
1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE 2. ALL DIMENSION TO BE VERIFIED ON SITE PRIOR TO PROCEEDING WITH THE WORK. ASPECT DESIGNS ARE TO BE NOTIFIED IN WRITING OF ANY DISCREPANCIES 3. THIS DRAWING MUST BE READ IN CONIUNCTION WITH ALL RELEVANT CONTRACTS, REPORTS, SPECIFICATIONIONS © COPYRIGHT OF THIS DRAWING AND THE DESIGN DESCRIBED HEREIN IS VESTED IN ASPECT DESIGNS					Site Address: 13 ATHOL ST, FRENCHS FOREST	Date 16.12.22	Sheet No: L/02	Rev:	Aspect Designs Studio 103 84 Alexander St, Crows Nest NSW 2065 0418 638 973 joel@aspectdesigns.com.au aspect DESIGNS	
					Drawing Status: DA	Project Number: 220319				