

ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979

NOTICE TO APPLICANT OF DETERMINATION

OF A COMPLYING DEVELOPMENT CERTIFICATE

**STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT
CODES) 2008 – GENERAL HOUSING CODE**

Applicant's Name and Address:

STEELBOND (SYDNEY) PTY LTD, PO BOX 314, REVESBY NORTH NSW 2212

Being the applicants in respect of Complying Development Certificate No **CDC0038/13**

Pursuant to section 85A of the Environmental Planning and Assessment Act 1979, notice is hereby given of the determination by Pittwater Council, as the consent authority, of this Complying Development Certificate application for:

AN ELECTRONIC OPERABLE LOUVERED AWNING

At:

LOT 127 DP 13760

183 HUDSON PARADE, CLAREVILLE NSW 2107

BUILDING CLASSIFICATION: 10a

LANDUSE ZONE: 2(a)

Decision:

A Complying Development Certificate has been granted subject to the conditions as detailed under SEPP (Exempt and Complying Development Codes) 2008 Part 3, Division 3, Subdivision 3.37 to 3.45 and in accordance with the approved plans and documents listed hereunder.

- Architectural details plan no's 04-13 sheets 2 and 3, dated 2 April 2013.
- Architectural plans by STEELBOND, dated 2 April 2013.
- Statement of Environmental Effects prepared by STEELBOND, undated.
- Structural Certification by Stephen Savage of CSG Engineers Pty Ltd, dated 4 April 2013.

Endorsement date of issue: 59 April 2013

This Certificate lapses:
(5 years from endorsement date)



Andrew Caponas
DEVELOPMENT COMPLIANCE OFFICER
Accreditation No: BPB1575

CONDITIONS

Part 7, DIV 2A, Clauses 136A – 136H

Environmental Planning and Assessment Regulation 2000

(In addition to the conditions prescribed under the Codes SEPP)

- a. All works are to be carried out in accordance with the requirements of the Building Code of Australia.
- b. Residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance being entered into and be in force before any building work authorised to be carried out by the certificate commences.

A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out:

- a. showing the name, address and telephone number of the Principal Certifying Authority for the work, and
- b. showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
- c. stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

Residential building work within the meaning of the Home Building Act 1989 must not be carried out unless the Principal Certifying Authority for the development to which the work related (not being the Council) has given the Council written notice of the following information:

- a. In the case of work for which a principal contractor is required to be appointed:
 - i. the name and licence number of the principal contractor, and
 - ii. the name of the insurer by which the work is insured under Part 6 of the Act.
- b. In the case of work to be done by an owner-builder:
 - i. the name of the owner-builder, and
 - ii. if the owner-builder is required to hold an owner-builder permit under the Act, the number of the owner-builder permit.

Subdivision 1 Conditions applying before works commence

3.37 Protection of adjoining areas

(1) A temporary hoarding or temporary construction site fence must be erected between the work site and adjoining lands before the works begin and must be kept in place until after the completion of works if the works:

- (a) could cause a danger, obstruction or inconvenience to pedestrian or vehicular traffic, or
- (b) could cause damage to adjoining lands by falling objects, or
- (c) involve the enclosure of a public place or part of a public place.

(2), (3) (Repealed)

Note. See the entry in the General Exempt Development Code for scaffolding, hoardings and temporary construction site fences.

3.38 Toilet facilities

(1) Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

(2) Each toilet must:

- (a) be a standard flushing toilet connected to a public sewer, or
- (b) have an on-site effluent disposal system approved under the Local Government Act 1993, or
- (c) be a temporary chemical closet approved under the Local Government Act 1993.

3.39 Garbage receptacle

(1) A garbage receptacle must be provided at the work site before works begin and must be maintained until the works are completed.

(2) The garbage receptacle must have a tight fitting lid and be suitable for the reception of food scraps and papers.

3.39A Notification to neighbours

The person having the benefit of the complying development certificate must give at least 2 days' notice in writing of the intention to commence the works to the owner or occupier of each dwelling that is situated within 20m of the lot on which the works will be carried out.

3.39B Adjoining wall dilapidation report

(1) If a wall on a lot is to be built to a boundary and there is a wall (the *adjoining wall*) on the lot adjoining that boundary that is less than 0.9m from that boundary, the person having the benefit of the complying development certificate must obtain a dilapidation report on the adjoining wall.

(2) If the person preparing the report is denied access to the adjoining lot for the purpose of inspecting the adjoining wall, the report may be prepared from an external inspection of the adjoining wall.

(3) In this clause:

dilapidation report means a report, prepared by a professional engineer, confirming the structural condition of the adjoining wall before the development commences.

Subdivision 2 Conditions applying during the works

Note. The Protection of the Environment Operations Act 1997 and the Protection of the Environment Operations (Noise Control) Regulation 2008 contain provisions relating to noise.

3.40 Hours for construction

Construction may only be carried out between 7.00 am and 5.00 pm on Monday to Saturday and no construction is to be carried out at any time on a Sunday or a public holiday.

3.41 Compliance with plans

Works must be carried out in accordance with the plans and specifications to which the complying development certificate relates.

3.42 Sedimentation and erosion controls

Run-off and erosion controls must be effectively maintained until the site has been stabilised and landscaped.

3.43 Maintenance of site

- (1) Building materials and equipment must be stored wholly within the work site unless an approval to store them elsewhere is held.
- (2) Waste materials must be disposed of at a waste management facility.
- (3) The work site must be left clear of waste and debris at the completion of the works.

Subdivision 3 Construction requirements

3.44 Staging construction

- (1) If the complying development is the erection of, or alterations or additions to, a dwelling house, the roof stormwater drainage system must be installed and connected to the drainage system before the roof covering is installed.
- (2) Any approval that is required for connection to the drainage system under the Local Government Act 1993 must be held before the connection is carried out.
- (3) If the complying development involves the construction of a vehicular access point, the access point must be completed before the occupation certificate for the complying development on the site is obtained.

3.45 Utility services

If the complying development requires alteration to, or the relocation of, utility services on the lot on which the complying development is carried out, the complying development is not complete until all such works are carried out.

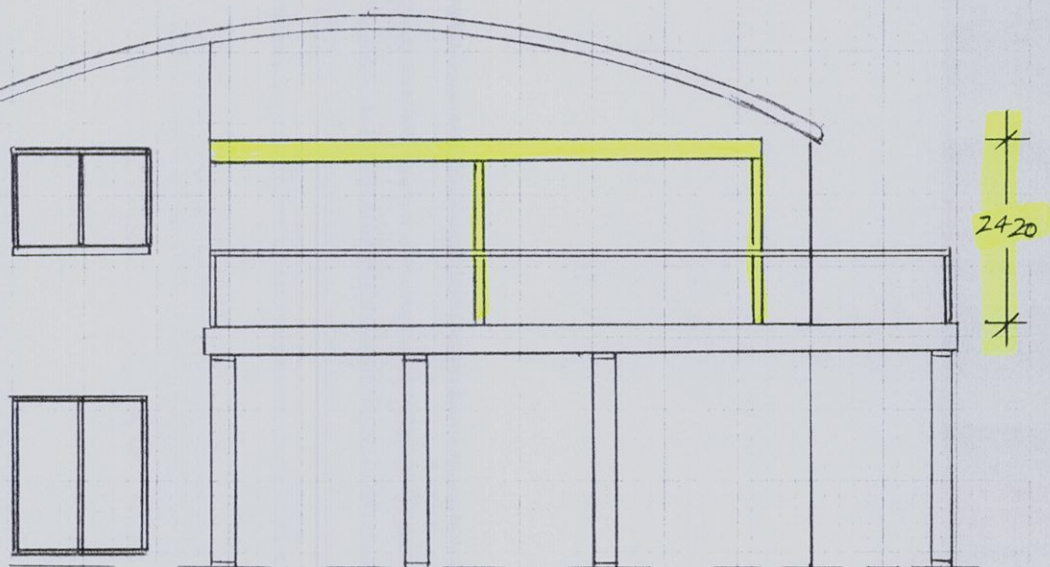
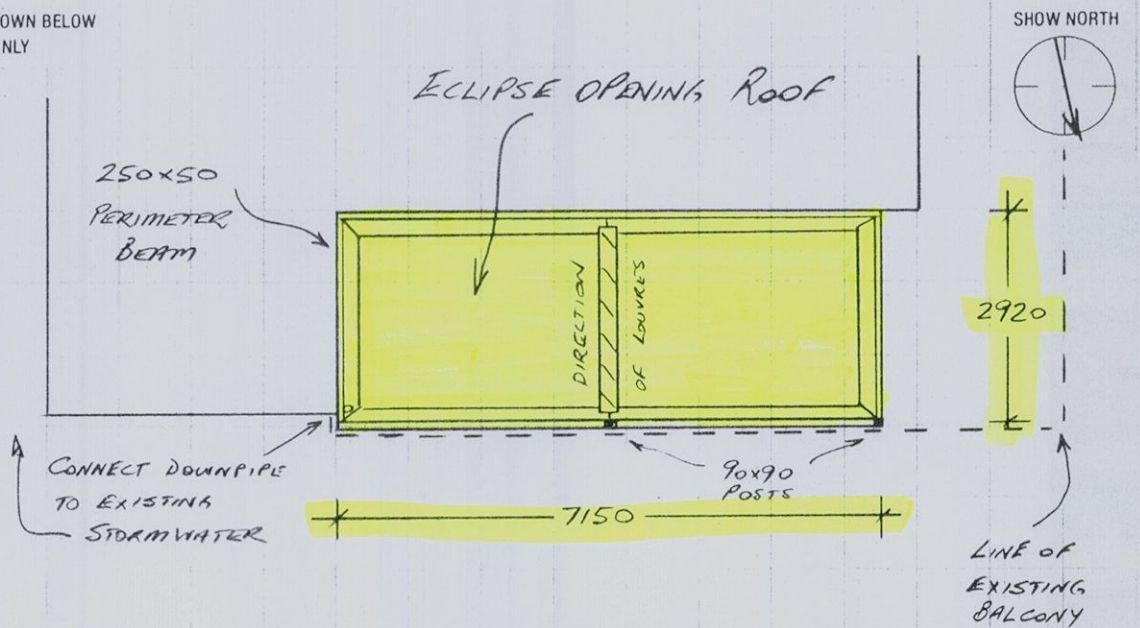
CLIENT'S NAME WENDY ANNE McCLURE & AYE SEE TAN
ADDRESS 183 HUDSON PDE CLAREVILLE
PHONE _____
DESIGN CONSULTANT LANCE CALVERT
MOBILE 0427 588 826
DATE 2/4/13

No. _____

MEASUREMENTS SHOWN BELOW
ARE APPROXIMATE ONLY

DO NOT WRITE IN THE MARGIN ALL DRAWINGS FROM OUTSIDE FACING HOUSE

**PITTSWATER COUNCIL
COMPLYING DEVELOPMENT CERTIFICATE**
Number: **CDC 0038/13**
This is a copy of submitted plans, documents
or Certificates associated with the issue of
the Complying Development Certificate.
Endorsed by: A. Calvert
Date: **29 APR 2013**



NORTH ELEVATION

Purchaser's Signature Mr _____

Ms _____

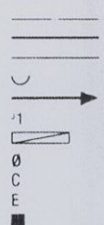
NOTE: ALL COUNCIL, ENGINEERING & HOW INSURANCE CHARGES PAYABLE SEPARATELY

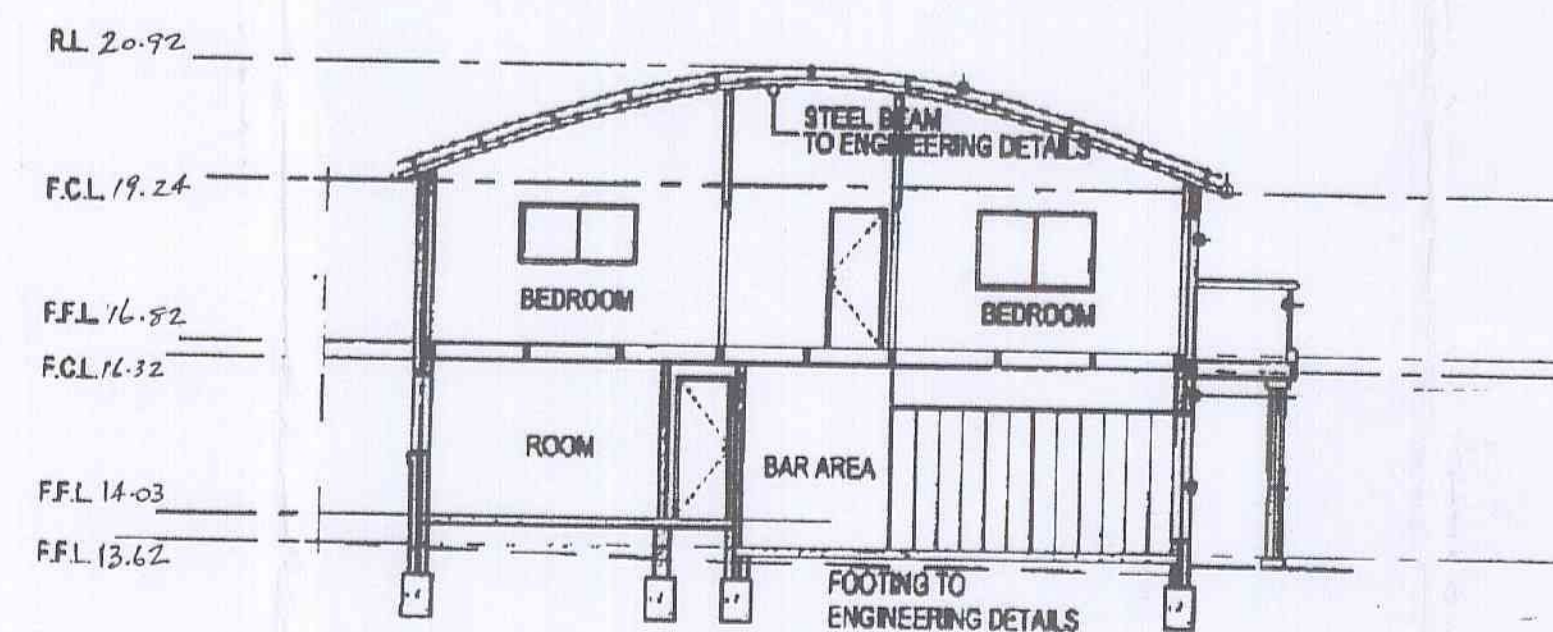
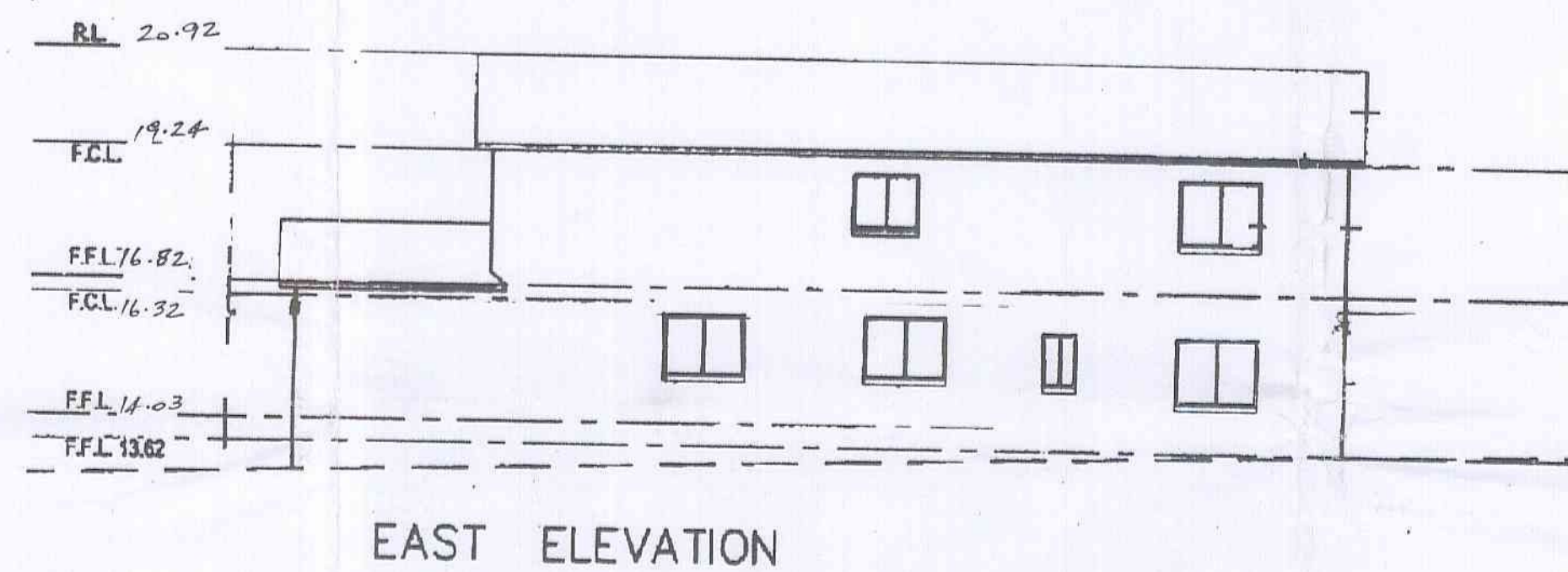
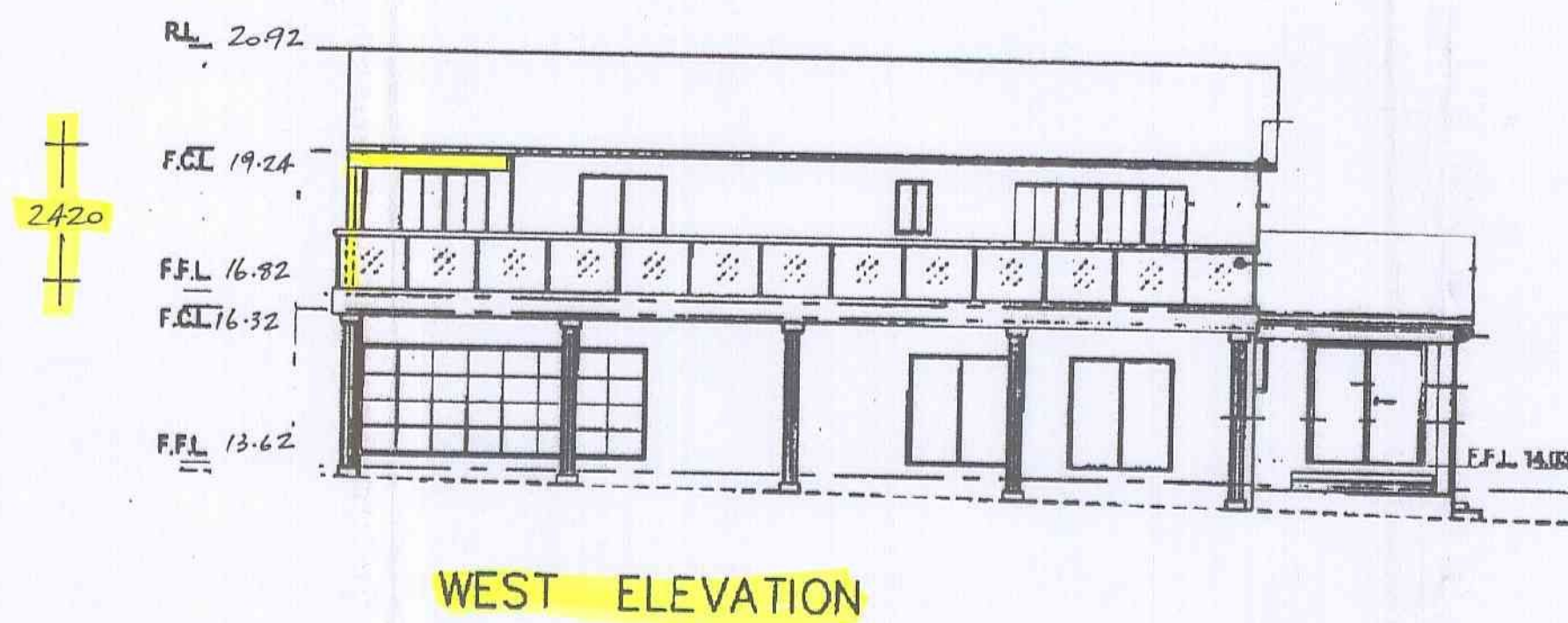
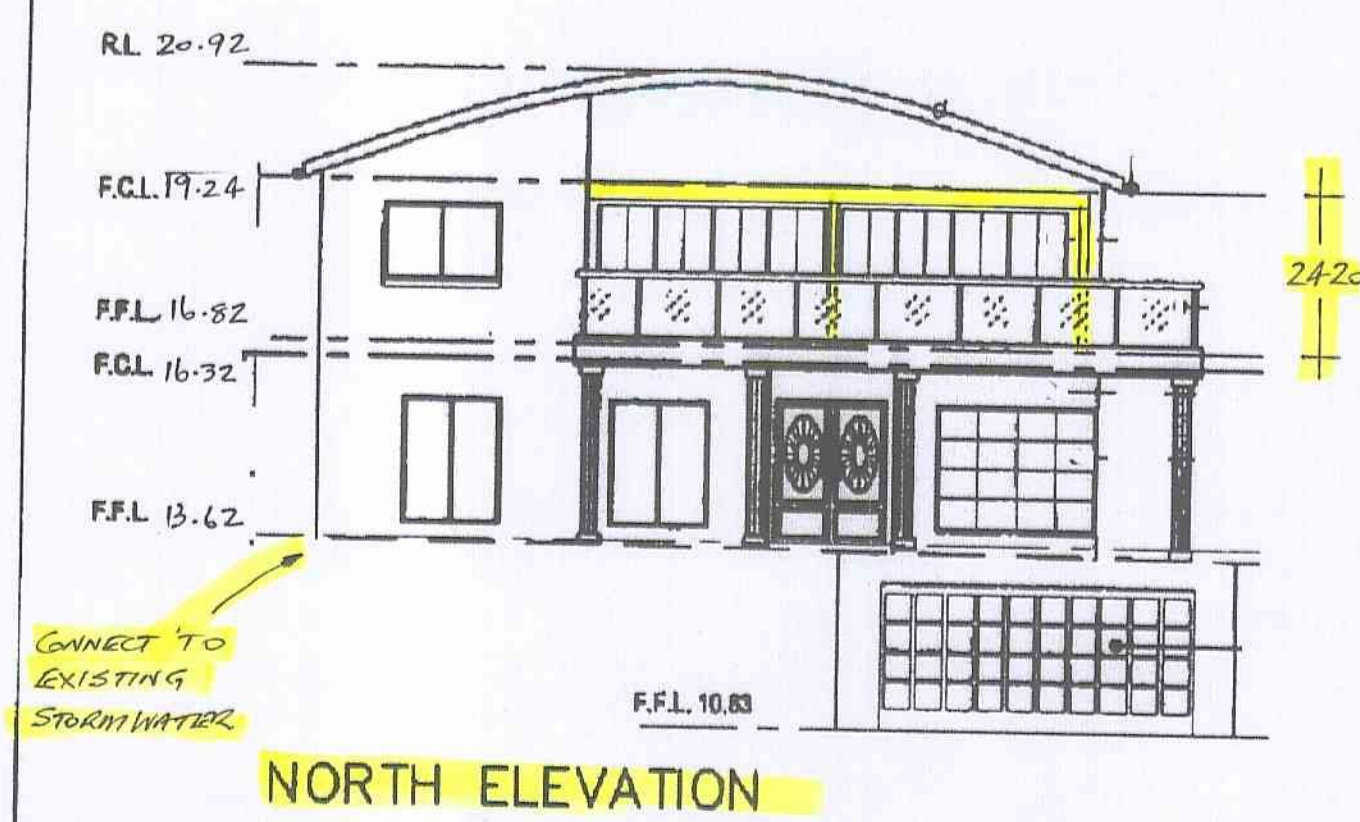
NOTE:

1. All External Dimensions are overall
2. Indicate All Beams
3. Indicate Dimensions of Internal Beams to Centre Line
4. Indicate All Roof Lights
5. Indicate Position of all Columns
6. Indicate Fall Direction & Downpipe Locations

1. The company will only rely on written instructions. No verbal agreements are acceptable or binding.
2. Variations to this offer must be in writing and signed by all parties.
3. Purchaser agrees to pay on demand 90% of value of work completed.
4. Gutters will be subject to overflow.
5. Steelbond is entitled to a variation for any hidden problems with the site which are only revealed when doing the work.
6. All excess materials remain the property of Steelbond.

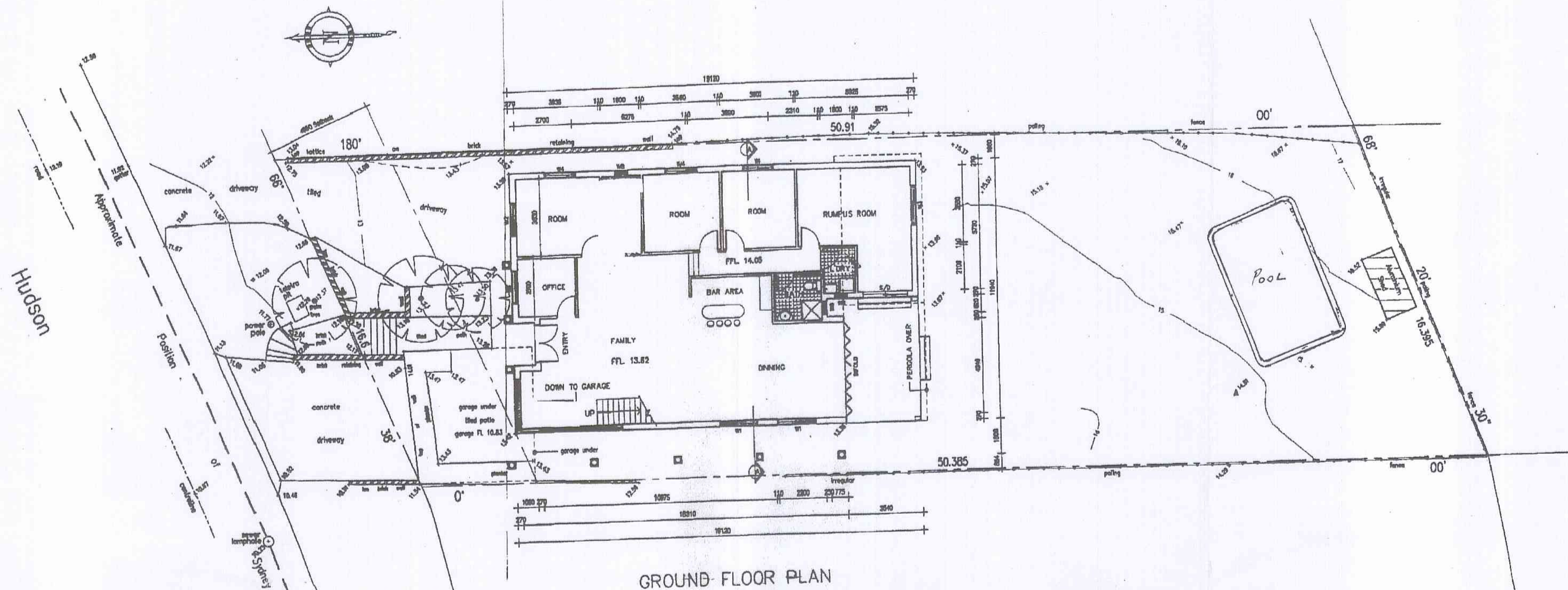
Back Channel
Beam
Gutter Line (front face)
Beam/Beam Bracket Direction
Roof Fall
Beam Join Position
Translucent Sheet
Downpipe
Column on Concrete
Column into Earth
Column Position





AMENDMENTS	SCALE	DATE	DESIGNED BY	APPROVED BY	ISSUE FOR	PROJECT: EXTENSION & ALTERATION	JOB No.
	1:100		D.Y			ADDRESS: 183 HUDSON PARADE, CLAREVILLE	04 - 13
			CHECKED BY			CLIENT: WENDY ANNE MCCLURE AYE SEE TAN	SHEET No. 35

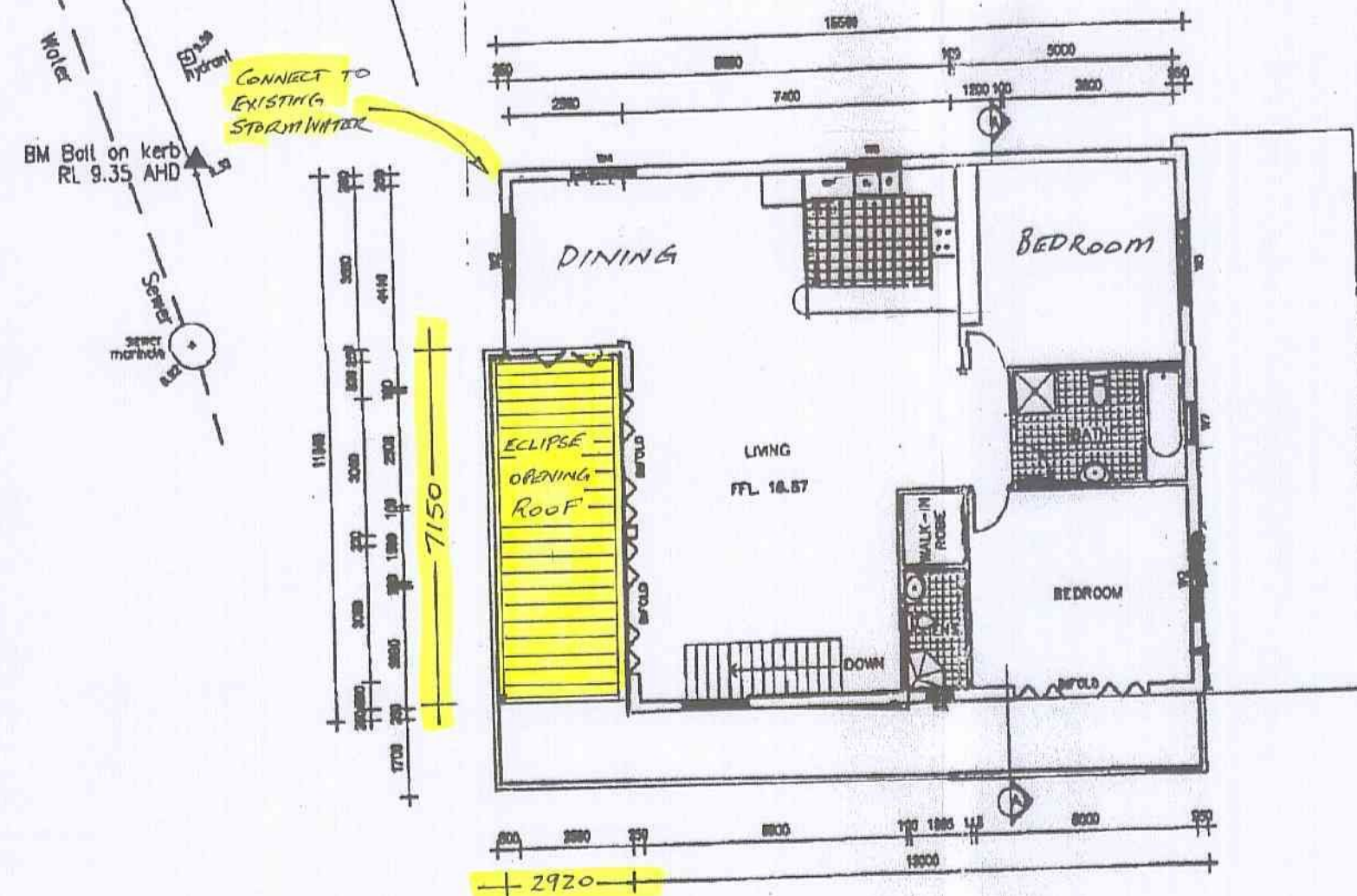
PITTSWATER COUNCIL
COMPLYING DEVELOPMENT CERTIFICATE
Number: CDC 0038113
This is a copy of submitted plans, documents or Certificates associated with the issue of the Complying Development Certificate.
Endorsed by: *[Signature]*
Date: 29 APR 2013



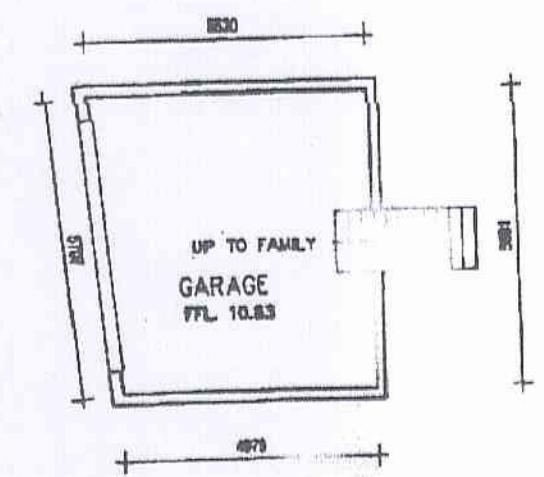
GROUND FLOOR PLAN

SITE CALCULATIONS		
SITE AREA	• 7717	m²
EXISTING		
GROUND FLOOR AREA	• 105.71	m²
FIRST FLOOR AREA	• 88.35	m²
TOTAL OCCUPIED AREA	• 214.12	m²
F.S.R.	• 4.36	1
EXTENSION & ALTERATION		
GROUND FLOOR AREA	• 295.61	m²
FIRST FLOOR AREA	• 185.67	m²
TOTAL OCCUPIED AREA	• 371.29	m²
F.S.R.	• 8.48	1

WINDOW SCHEDULE		
WINDOW	WIDTH	HEIGHT
W. 1	1800	1800
W. 2	1200	1800
W. 3	1800	1800
W. 4	1500	1200
W. 5	1800	800
W. 6	1200	1000
W. 7	900	900
W. 8	600	900
S/D	2100	2100



FIRST FLOOR PLAN



GARAGE PLAN

ACM CIVIL & STRUCTURAL ENGINEERS
 SUITE 5 LEVEL 1, 226 THE BOULEVARDE PUNCHBOWL 2196
 0750 2686

AMENDMENTS	SCALE	DATE	DESIGNED BY	APPROVED BY	ISSUE FOR	PROJECT: EXTENSION & ALTERATION	JOB No.
	1:100	05-02-2004	D.Y		DA	ADDRESS: 163 HUDSON PARADE, CLAREVILLE	04-13
			DRAWN BY	CHECKED BY		CLIENT: WENDY ANNE MCCLURE	SHEET No.
			RV	FF		AYE SEE TAN	2/1