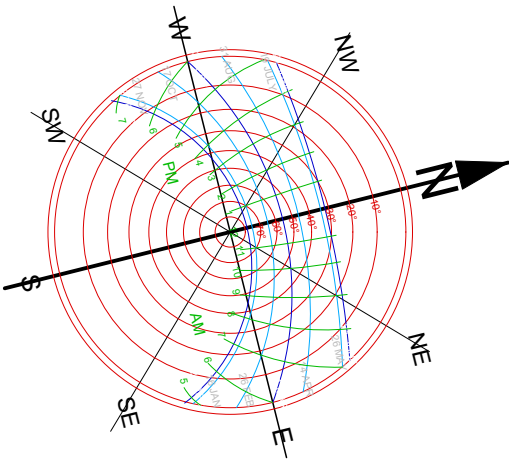
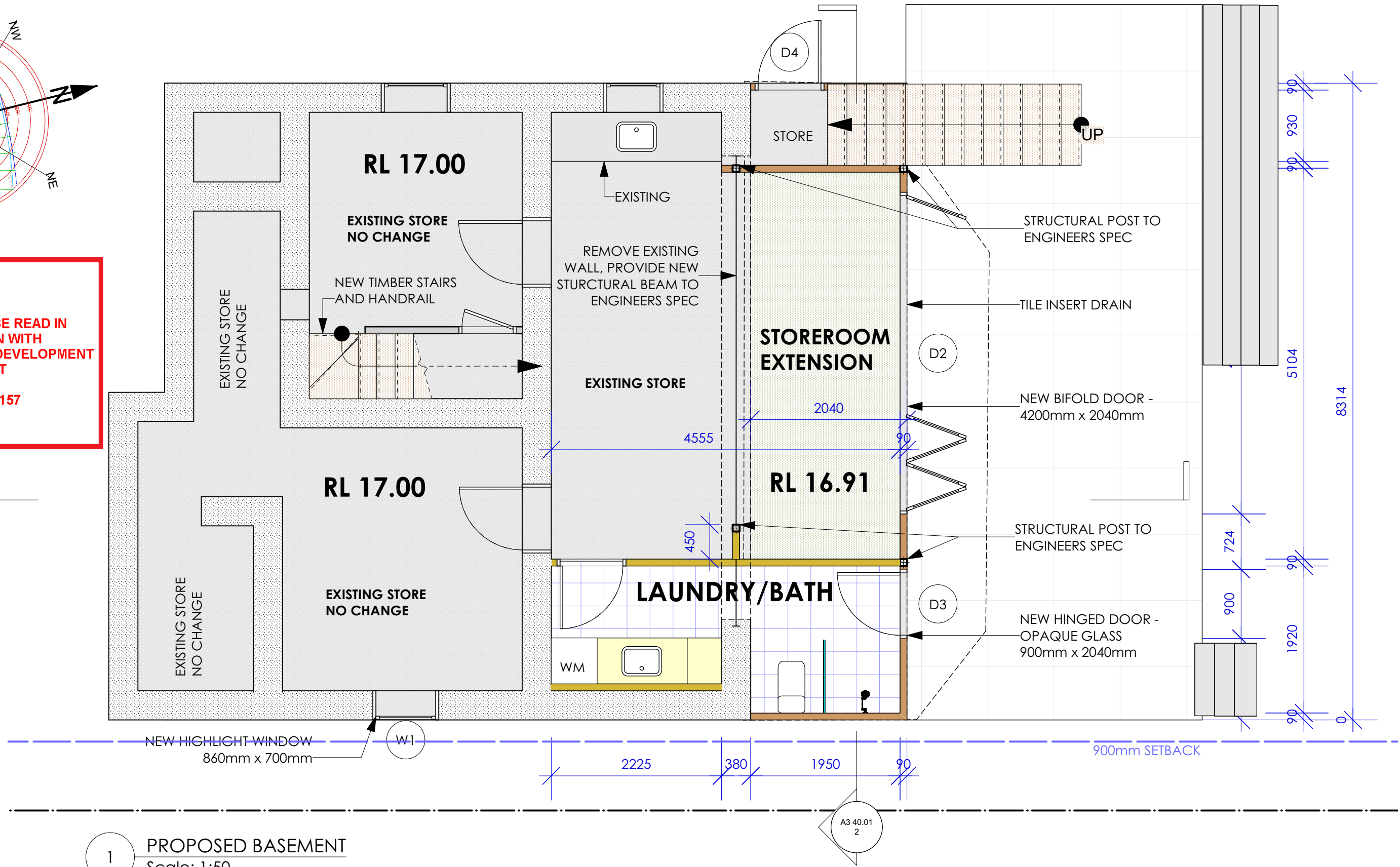
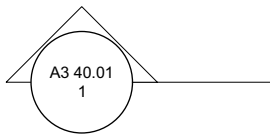




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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2021/0157



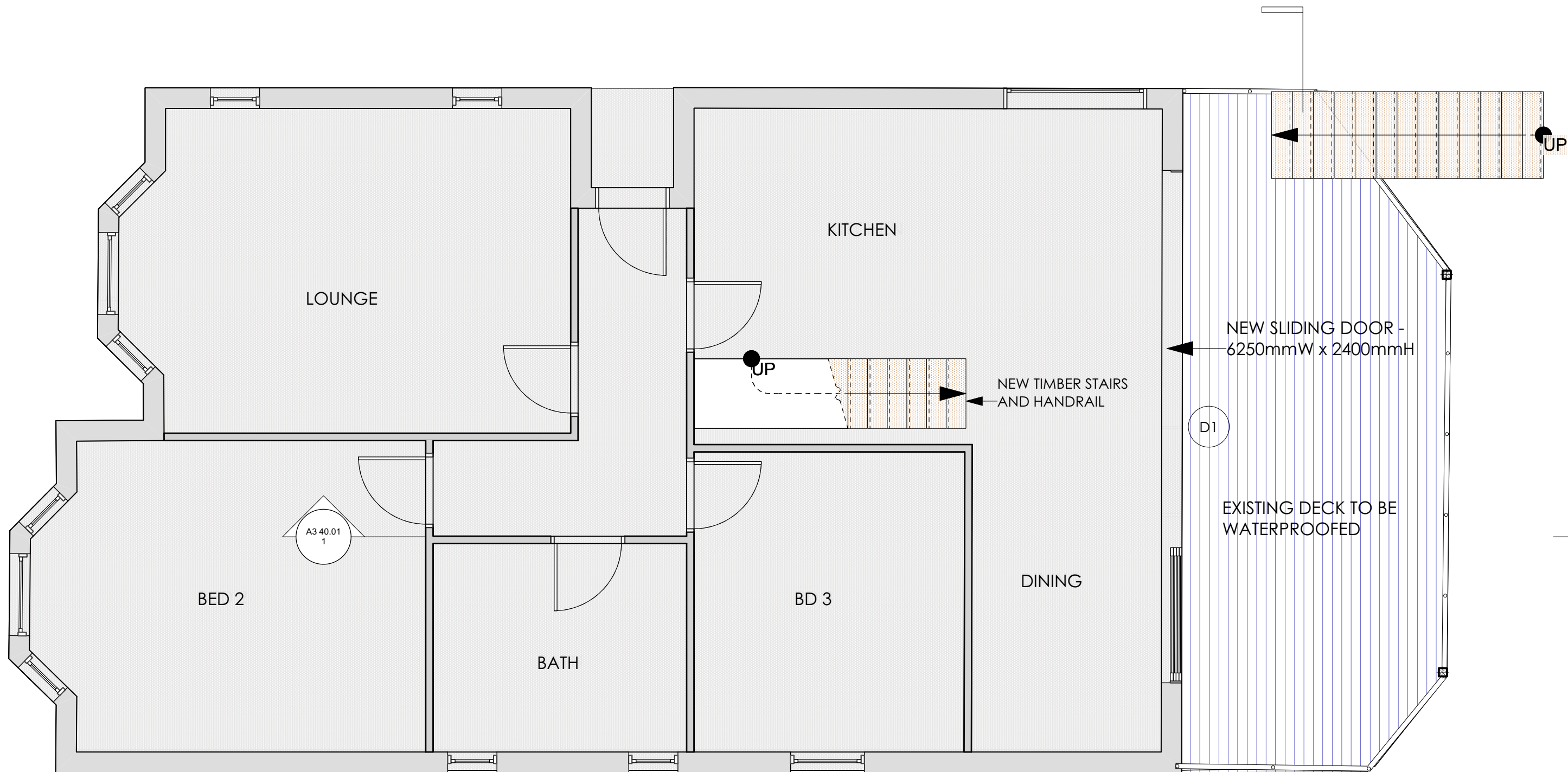
LEGEND

-  **EXISTING FLOOR:** CONCRETE SLAB
-  **NEW FLOOR:** EXISTING CONCRETE SLAB, NEW FLOORBOARDS
-  **EXISTING EXTERNAL WALLS -** SANDSTONE BLOCKS

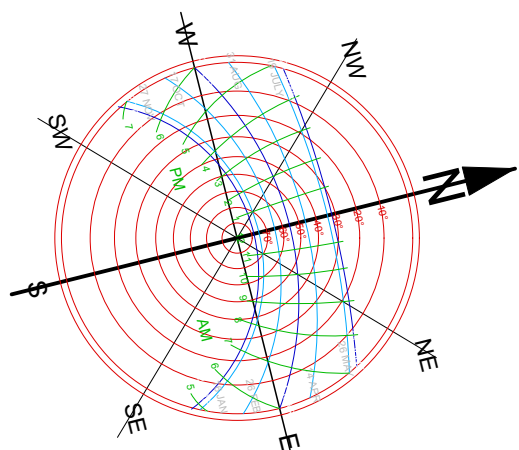
-  **EXTERNAL WALLS:** 90MM STUDS TO AS1684, WRAP WITH BRETABABLE MEMBRANE, INSULATE WITH R2.5 BATTS, CLAD AS SPECIFIED, LINE INTERNALLY WITH PLASTERBOARD (OR FC TO WET AREAS).
-  **INTERNAL WALLS:** TIMBER STUD FRAME 90mm THICK; CLAD EACH SIDE WITH PLASTERBOARD (OR FC SHEET IN WET AREAS). R2 QUIETSTUFF.

 canopy design

1	29/3/21	DA MODIFICATION
6 WATTLE AVE		WATTLE
STEPHANIE AND JEFF LAW		2019-03-11 AS SHOWN @ A3 LP
PROPOSED BASEMENT PLAN		A3 21.01 LP



1 PROPOSED GROUND FLOOR PLAN
Scale: 1:50



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council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
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CONSENT**

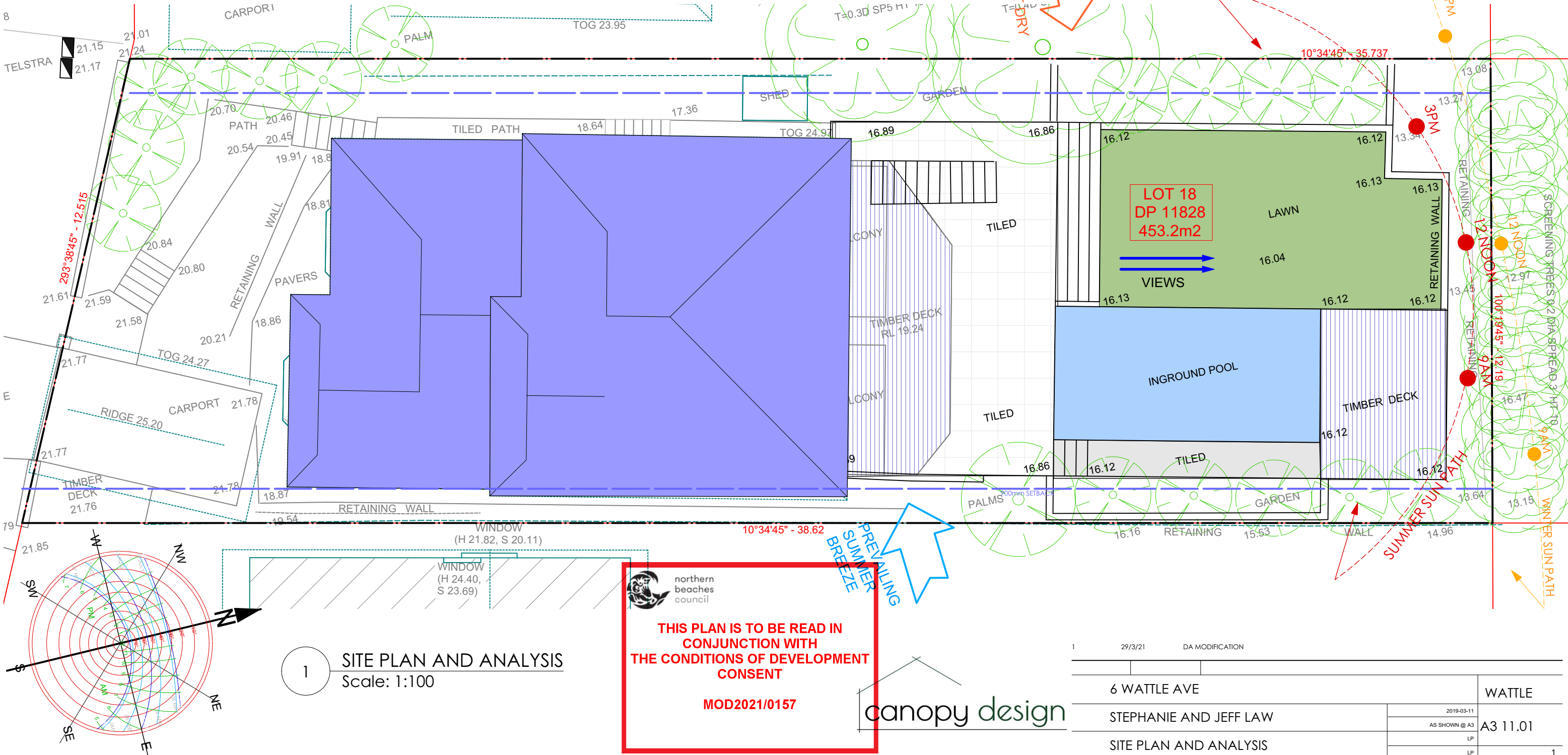
MOD2021/0157

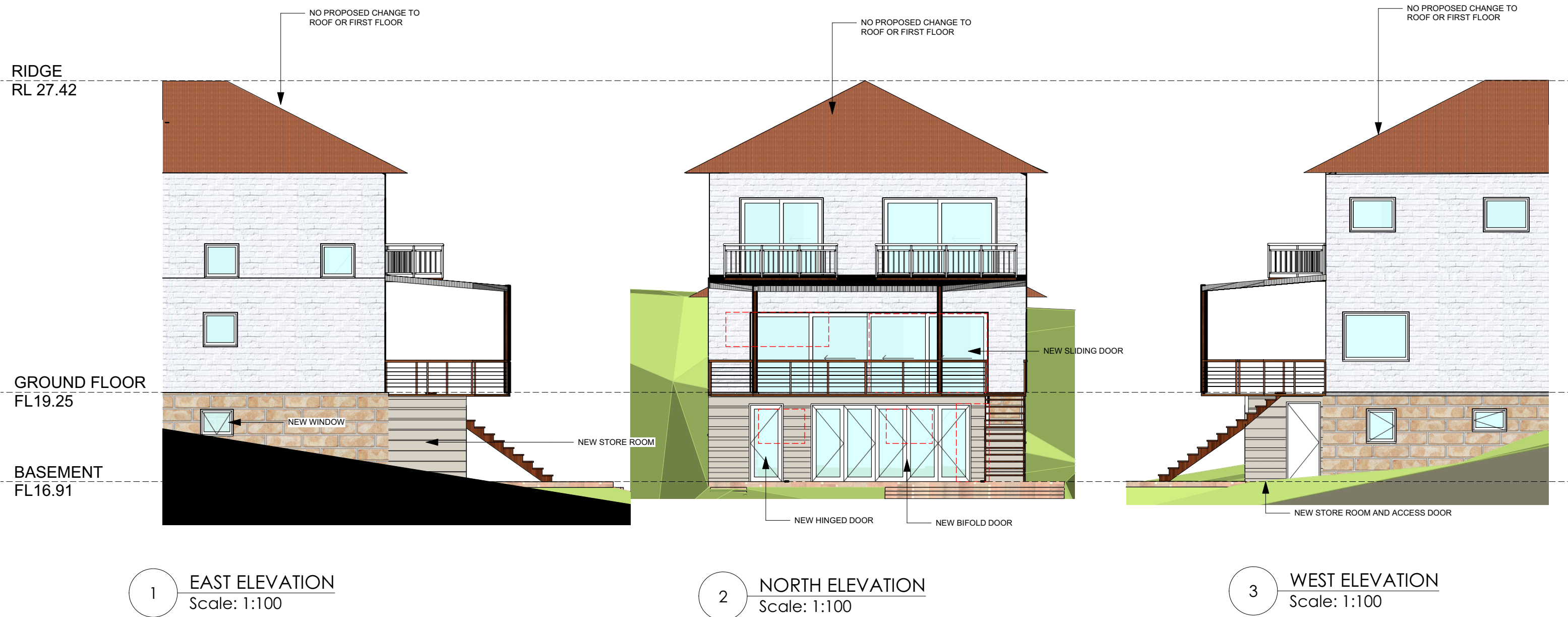
canopy design

1	29/3/21	DA MODIFICATION	
6 WATTLE AVE			WATTLE
STEPHANIE AND JEFF LAW			2019-03-11
PROPOSED GROUND FLOOR PLAN			AS SHOWN @ A3
			LP
			A3 21.02
			LP

- NOTES**
- BUILDING TO INCORPORATE BASIX COMMITMENTS TO COMPLY WITH THE ATTACHED BASIX CERTIFICATE NO. A409560 DATED 29 MARCH 2021
 - SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH AS3786-2014 'SMOKE ALARMS' AND PART 3.7.2 - 'SMOKE ALARMS' OF THE BCA (NB. SMOKE ALARMS TO BE INTERCONNECTED WHERE THERE IS MORE THAN ONE ALARM)
 - TERMITE MANAGEMENT TO COMPLY WITH AS3660-2000 'TERMITE MANAGEMENT - NEW BUILDING WORK'
 - GLAZING TO COMPLY WITH AS1288-2006 'GLASS IN BUILDINGS - SELECTION AND INSTALLATION' AND AS2047-2014 'WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION'
 - WATERPROOFING OF WET AREAS TO COMPLY WITH AS3740 'WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS'. **NO AIR DRIED LIQUID APPLIED TO MEMBRANES SHALL BE USED.**
 - ALL HOT WATER PIPES SHOULD BE INSULATED AS PER AS3500.4
 - ALL REQUIRED FACILITIES FOR A CLASS 1 BUILDING TO BE INSTALLED AS REQUIRED BY PART 3.8.2.2 'REQUIRED FACILITIES' OF THE BCA
 - DOORS TO FULLY ENCLOSED SANITARY COMPARTMENTS TO COMPLY WITH PART 3.8.3 'FACILITIES' OF THE BCA
 - STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 - 'STAIR CONSTRUCTION OF THE BCA (NB. ALL STAIR TREADS TO HAVE A SURFACE THAT IS SLIP RESISTANT IN ACCORDANCE WITH PART 3.9.1.3 OF THE BCA
 - BALUSTRADES CONSTRUCTION TO COMPLY WITH PART 3.9.2.3 - 'BALUSTRADES' OF THE BCA
 - ALL NEW OPENABLE WINDOWS WITHIN A BEDROOM WITH A FLOOR LEVEL 2M OR MORE ABOVE A SURFACE BENEATH TO BE PROTECTED IN ACCORDANCE WITH PART 3.9.2.5 OF THE BCA
 - DAMP PROOF MEMBRANE MUST BE 'HIGH IMPACT', 0.2mm THICK POLYETHYLENE FILM
 - ALL BUILDING WORK TO BE LOCATED WHOLLY WITHIN THE ALLOTMENT BOUNDARIES

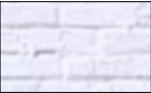
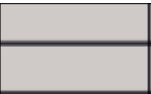
SITE AREA	453.2m2
Gross floor Area (max.)	271.92m2
Existing	205.04
Proposed	222.04
Landscape Area (min.)	103.88m2
Existing	159.07m2
Proposed	142m2
Total Open Space (min.)	249.20m2
Existing	296.79m2
Proposed	279.89m2
MAX BUILDING HEIGHT (8.5m)	no change

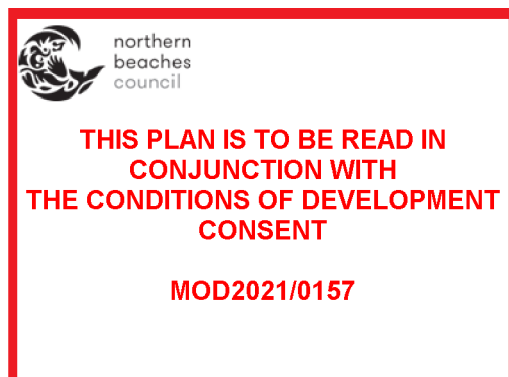




NO CHANGE TO SOUTH ELEVATION - FRONT FACADE

LEGEND

	EXISTING PAINTED BRICK
	EXISTING SANDSTONE
	NEW WEATHERBOARD CLADDING

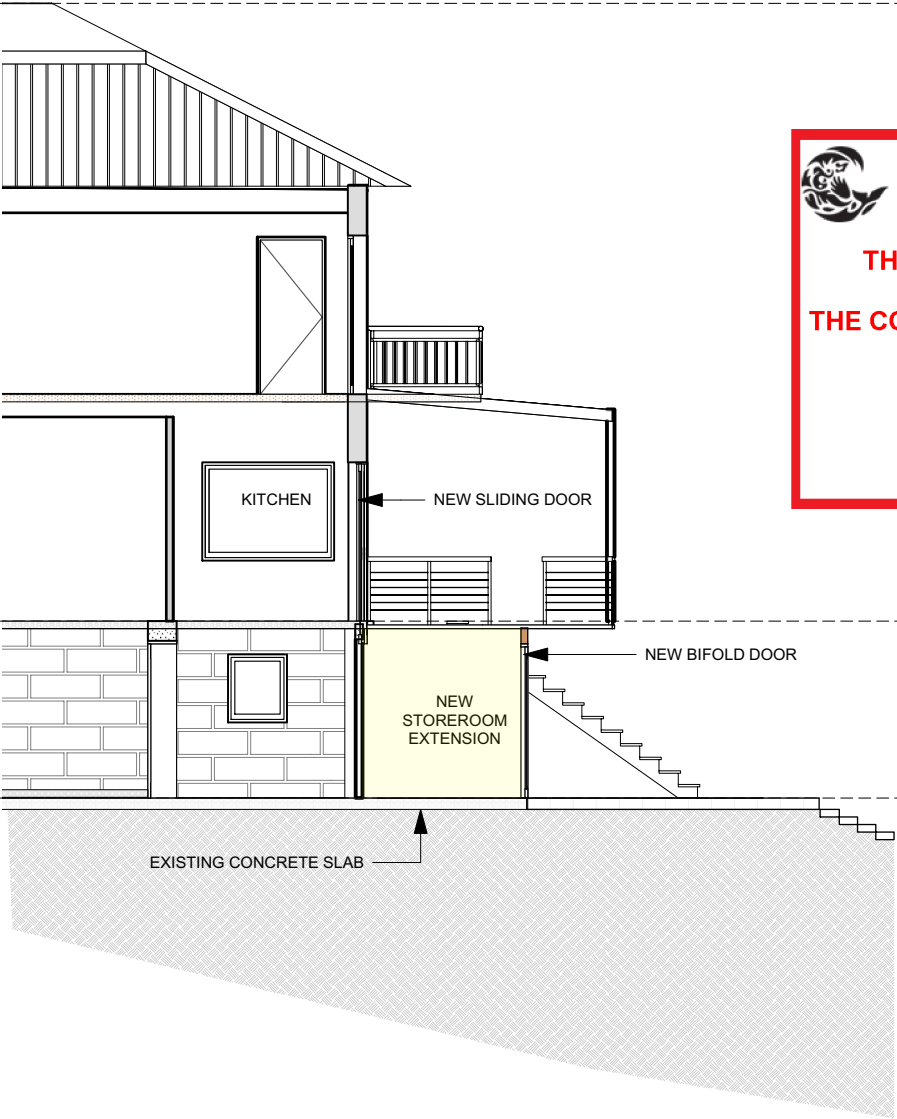


1	29/3/21	DA MODIFICATION	
6 WATTLE AVE			WATTLE
STEPHANIE AND JEFF LAW			2019-03-11 AS SHOWN @ A3 LP
ELEVATIONS			A3 30.01 LP

RIDGE
RL 27.42

GROUND FLOOR
FL19.25

BASEMENT
FL16.91



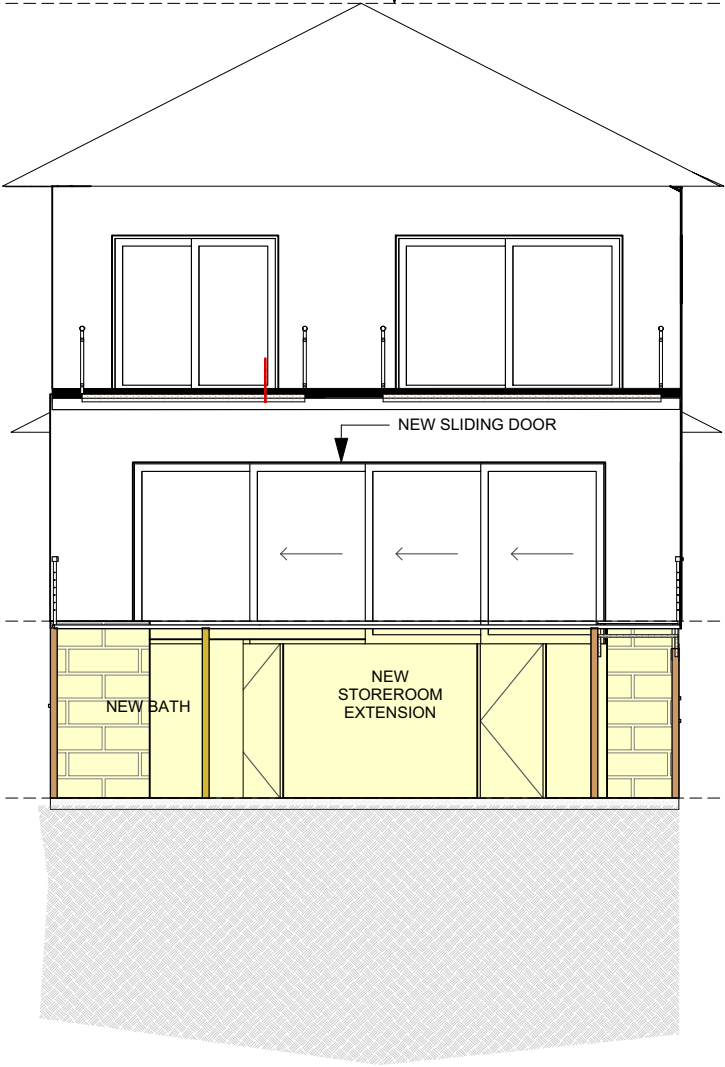
1 SECTION 1
Scale: 1:100

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NO PROPOSED CHANGES TO ROOF AND FIRST
FLOOR



2 SECTION 2
Scale: 1:100



1	29/3/21	DA MODIFICATION	
6 WATTLE AVE			WATTLE
STEPHANIE AND JEFF LAW			2019-03-11 AS SHOWN @ A3 LP A3 40.01
SECTIONS			LP 1