

AREA LOT 34  
VIDE DP 20097: 417.3 m<sup>2</sup>  
BY CALC : 422.7 m<sup>2</sup>

AREA LOT 35  
VIDE DP 20097: 316.2 m<sup>2</sup>  
BY CALC : 322.1 m<sup>2</sup>

**1100**  
BEFORE YOU DIG  
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ORIGIN OF LEVELS:  
PM 53844 RL=15.027 (AHD) FOUND  
ADJACENT TO No.214 MCCARRS  
CREEK ROAD, CHURCH POINT  
ACCURACY OF ORIGIN: ± 0.001m

## STORMWATER TO HYDRAULIC ENG'S DETAILS

## BUSHFIRE ATTACK LEVEL (BAL) FLAME ZONE CONSTRUCTION REQUIRED ( BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

## FSR CALCULATIONS

SITE AREA: 744.84m<sup>2</sup>  
HOUSE AREAS:  
INTERNAL ENTRY FLOOR LIVING: =10.81m<sup>2</sup>  
INTERNAL MIDDLE FLOOR LIVING: =108.92m<sup>2</sup>  
INTERNAL FIRST FLOOR LIVING: = 93.24m<sup>2</sup>  
INTERNAL TOTAL: 212.97m<sup>2</sup>  
FLOOR SPACE RATIO: 0.286:1

NOTE:  
FSR CALCULATED TO INTERNAL FACE OF  
EXTERNAL WALLS AS PER LEP DEFINITION

SITE DETAILS  
LOT NUMBER: 34 & 35  
DP NUMBER: 20097

SITE AREA: 744.84m<sup>2</sup>

## BUILDING AREAS

MIDDLE LEVEL	133.09 m <sup>2</sup>
FIRST FLOOR	104.86 m <sup>2</sup>
GARAGE	41.80 m <sup>2</sup>
MIDDLE BALCONY	24.33 m <sup>2</sup>
ALFRESCO	16.46 m <sup>2</sup>
ENTRY LEVEL	15.63 m <sup>2</sup>
PORCH	2.85 m <sup>2</sup>
Grand total	339.00 m <sup>2</sup>

SITE COVERAGE: 295.01m<sup>2</sup> = 39.60%  
PRIVATE OPEN SPACE: 192.22m<sup>2</sup>

LANDSCAPE:  
TOTAL AREA OF VEGETATION: 449.83m<sup>2</sup> = 60.39%

STORMWATER:  
RAINWATER TANK SIZE: = 3,000 litre  
ROOF AREA CONNECTED TO RAINWATER  
TANK: ( 82 ) % MIN MIN- 148.00m<sup>2</sup> (to eng's details)  
RAINWATER USES: GARDEN/TOILET/LAUNDRY

- ALL CONSTRUCTION WORK TO COMPLY WITH THE NCC  
AND ALL RELEVANT AUSTRALIAN STANDARDS  
-HOUSE LEVELS ARE APPROXIMATE ONLY AND MUST  
BE DETERMINED ON SITE BY BUILDER PRIOR TO  
CONSTRUCTION.  
-DRIVEWAY GRADIENT SHALL COMPLY WITH COUNCILS  
SPECIFICATIONS - GARAGE LEVEL MUST BE CHECKED  
ON SITE SO AS TO COMPLY WITH COUNCILS  
DRIVEWAY SPECIFICATIONS

REFER TO ARBORIST REPORT  
BY: BLUES BROS ARBORICULTURE  
DATED : 14.04.25

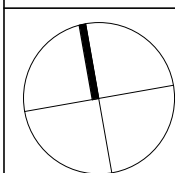
## MARINE RATING "R4"

ALL TRADES & SUPPLIERS TO COMPLY WITH THE  
BCA & ALL RELEVANT AUST STANDARDS

EXTERNAL A/C UNIT, A/C VENTS AND  
DROPPERS ARE APPROX. ONLY  
AND MAY BE RE-POSITIONED ON SITE  
TO SUIT DIFFERENT CONSTRUCTION OR  
NOISE REQUIREMENTS. FINAL POSITION TO  
BE DETERMINED BY A/C CONTRACTOR

## ACID SULFATE EFFECTED SITE REQUIREMENTS ( CLASS 5 )

PROVIDE 32 MPa CONCRETE TO PIERS AND SLAB  
WITH SULFATE RESISTING CEMENT  
PROVIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE



All dimensions shown are to frame, underside  
of roof trusses and FFL (concrete to the  
underside of floor joist  
FFL denotes - concrete level  
floor joist + selected flooring  
All construction work to comply with the NCC  
and all relevant Australian standards  
All previous issues are to be discarded  
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rev	amendment	date	rev	amendment	date
A	FD	16.02.25			
B	AMENDMENT	07.03.25			
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D	AMENDMENT	06.04.25			
E	FFD DA SUBMISSION	29.05.25			



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for / client  
MR AND MRS WANG

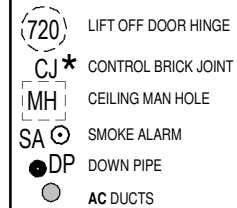
## SITE PLAN

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL

DO NOT SCALE DRAWINGS

stage:	project no:	dwg no:
DA	SE2501	01 / 23
drawn - SB	date:	scale:
checked - SB	16.02.25	1 : 200

## LEGENDS



**NOTE:**  
PROVIDE ENG'S DETAILS FOR ALL:  
CONCRETE SLABS, FOOTINGS & STEEL BEAM

**ALL EXHAUST FANS TO BE  
DUCTED EXTERNALLY**

HEBLE POWERWALL SYSTEM TO BE ERECTED  
IN ACCORDANCE TO MANUFACTURES DETAILS  
AND INSTRUCTIONS

2340H INTERNAL DOOR THROUGHOUT

ELEVATION A

ELEVATION B

ELEVATION C

ELEVATION D

SMOKE-ALARMS TO BE INSTALLED IN ACCORDANCE WITH  
CLAUSE 3.7.2.3 OF THE BCA AND AS 3786-2014.  
ALL FLOOR WASTES ARE TO BE PROVIDED WITH DRAINAGE FLANGES  
IN ACCORDANCE WITH AS 3740-2010 TO ALL WET AREAS  
(BATHROOM AND LAUNDRIES). **FLANGES TO BE RECESSED IN FLOOR**  
ALL STAIRS AND STAIR FINISHES ARE TO COMPLY WITH CLAUSE 3.9.1.  
ALL BALUSTRADES ARE TO BE A MINIMUM 1M HIGH AND  
TO COMPLY WITH CLAUSE 3.9.2.  
ALL WINDOW OPENINGS MUST BE PROVIDED WITH PROTECTION,  
WHERE THE FLOOR BELOW THE WINDOW IS 2M OR MORE ABOVE  
THE SURFACE BENEATH

**BASIX**

ALL PLANS TO BE READ IN  
CONJUNCTION WITH THE BASIX  
CERTIFICATE AND ITS SCHEDULE OF  
COMMITMENTS, WHICH ARE TO BE  
COMPLIED WITH IN FULL

**AREAS**

MIDDLE LEVEL	133.09 m <sup>2</sup>
FIRST FLOOR	104.86 m <sup>2</sup>
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PROVIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE

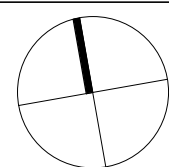
**ENSURE THAT RECESSED PUDDLE FLANGES  
ARE INSTALLED TO ALL WASTE PIPES AS PER AS.3740**

**MARINE RATING "R4"**

ALL TRADES & SUPPLIERS TO COMPLY WITH  
THE BCA & ALL RELEVANT AUST STANDARDS

**BUSHFIRE ATTACK LEVEL (BAL)  
FLAME ZONE CONSTRUCTION REQUIRED  
( BAL IN ACCORDANCE WITH AS3959-2009 )**

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009



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FFL denotes - concrete level  
floor joist + selected flooring  
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and all relevant Australian standards  
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for / client

MR AND MRS WANG

**ENTRY FLOOR LEVEL**

location

LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL

**DO NOT SCALE DRAWINGS**

stage:

DA

drawn - SB

checked - SB

project no:

SE2501

date:

16.02.25

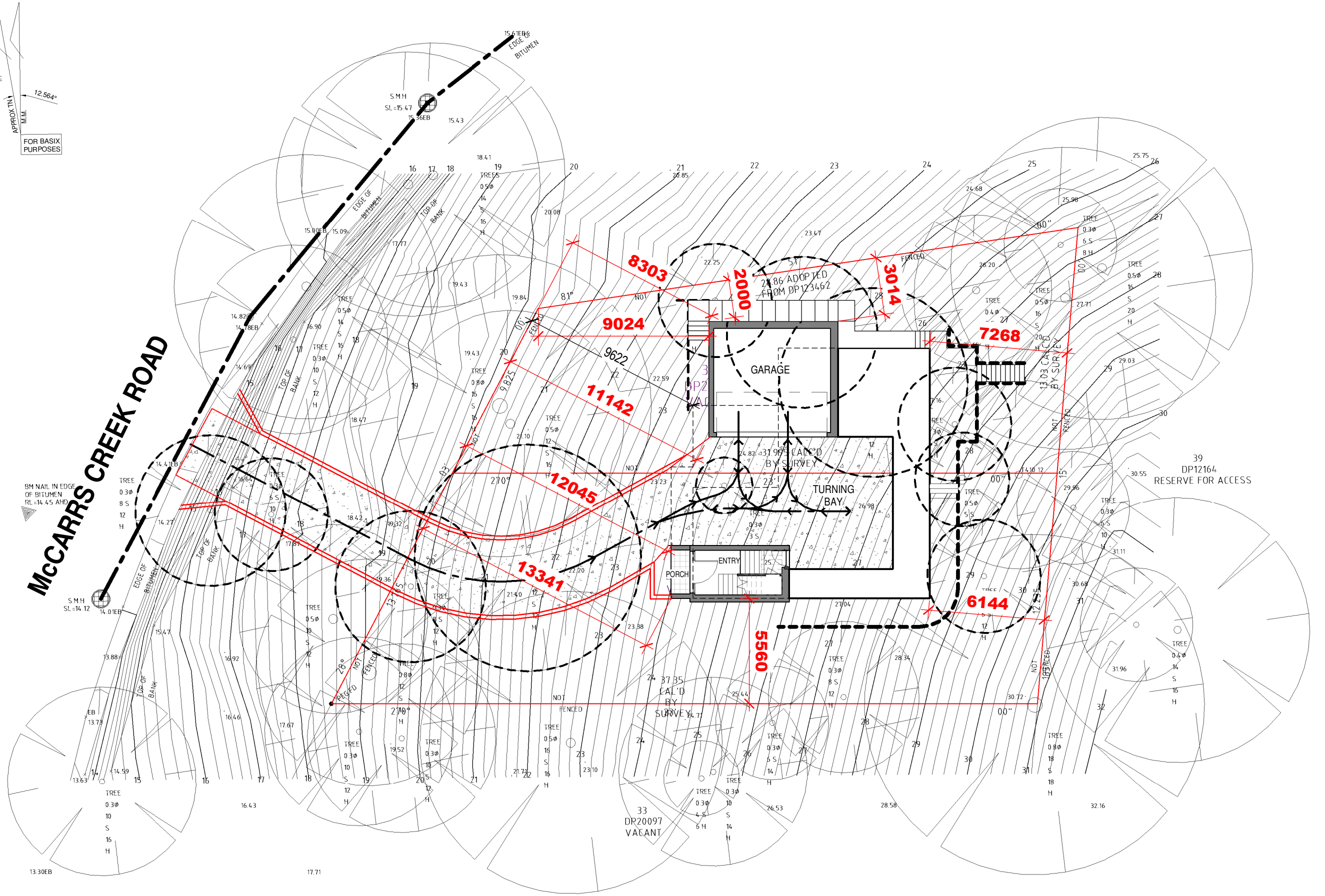
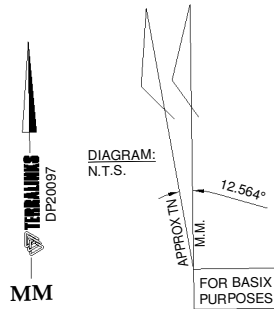
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02 / 23

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1 : 100





MCCARRS CREEK ROAD

BM NAIL IN EDGE  
OF BITUMEN  
RL=14.45 AHD

S.M.H.  
SL=14.12

14.01EB

13.88

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# LEGENDS

- (720) LIFT OFF DOOR HINGE
- CJ\* CONTROL BRICK JOINT
- MH CEILING MAN HOLE
- SA SMOKE ALARM
- DP DOWN PIPE
- AC DUCTS
- CEILING FAN NUMBER DENOTES DIAMETER

**NOTE:**  
PROVIDE ENG'S DETAILS FOR ALL:  
CONCRETE SLABS, FOOTINGS & STEEL BEAM

**ALL EXHAUST FANS TO BE  
DUCTED EXTERNALLY**

2340H INTERNAL DOOR THROUGHOUT

## BASIX

ALL PLANS TO BE READ IN  
CONJUNCTION WITH THE BASIX  
CERTIFICATE AND ITS SCHEDULE OF  
COMMITMENTS, WHICH ARE TO BE  
COMPLIED WITH IN FULL

ELEVATION (A)

## MARINE RATING "R4"

ALL TRADES & SUPPLIERS TO COMPLY WITH  
THE BCA & ALL RELEVANT AUST STANDARDS

## BUSHFIRE ATTACK LEVEL (BAL)

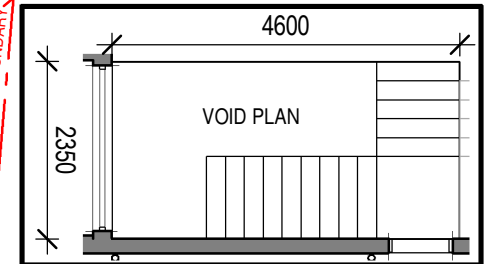
FLAME ZONE CONSTRUCTION REQUIRED  
(BAL IN ACCORDANCE WITH AS3959-2009)

TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

## ELEVATION (B)

HEBLE POWERWALL SYSTEM TO BE ERECTED  
IN ACCORDANCE TO MANUFACTURES DETAILS  
AND INSTRUCTIONS

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WHERE THE FLOOR BELOW THE WINDOW IS 2M OR MORE ABOVE  
THE SURFACE BENEATH



ELEVATION (C)

## AREAS

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FIRST FLOOR	104.86 m <sup>2</sup>
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PORCH	2.85 m <sup>2</sup>
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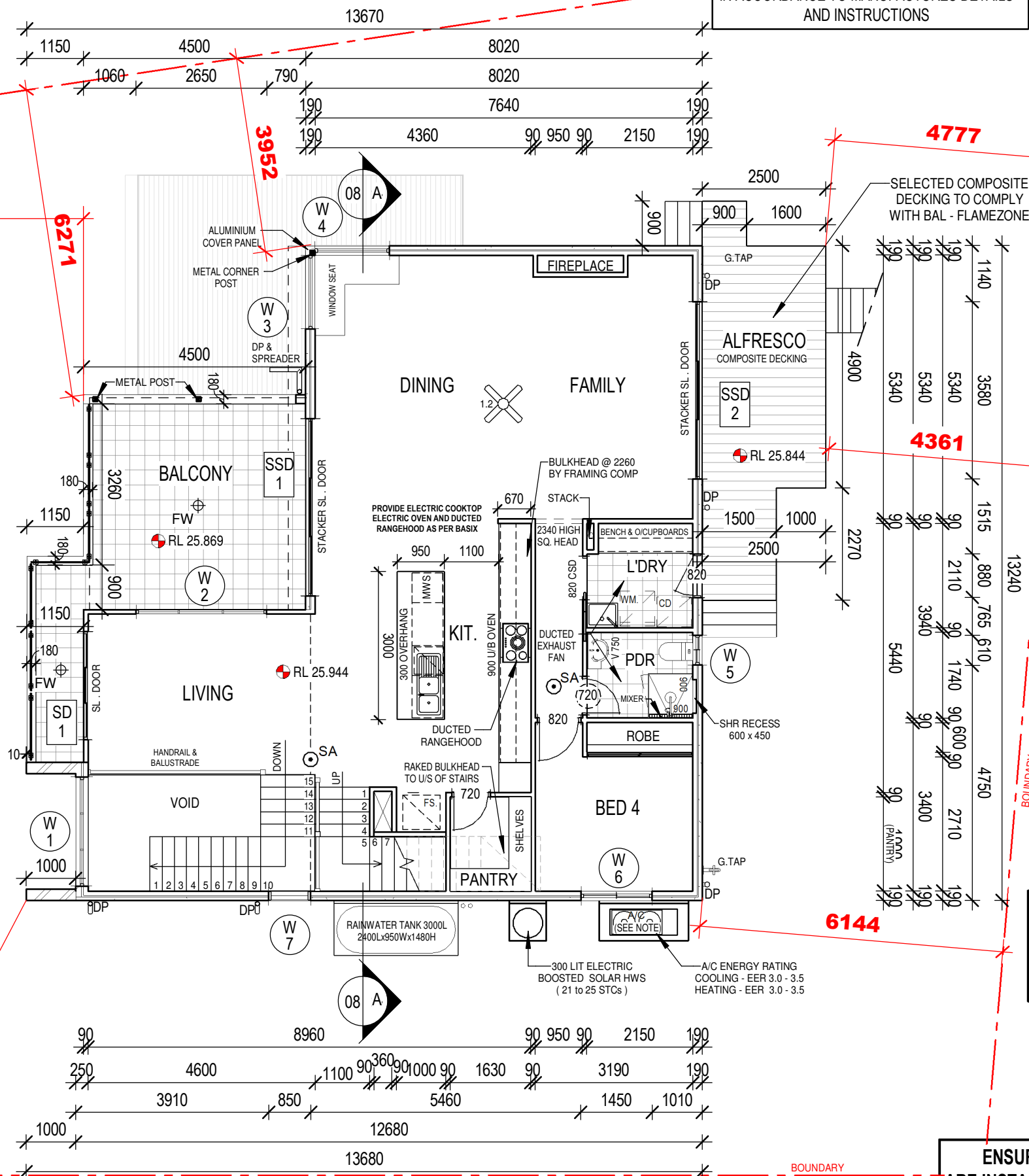
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## ACID SULFATE EFFECTED SITE REQUIREMENTS (CLASS 5)

PROVIDE 32 MPa CONCRETE TO SLAB WITH  
SULFATE RESISTING CEMENT  
PROVIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE

**ENSURE THAT RECESSED PUDDLE FLANGES  
ARE INSTALLED TO ALL WASTE PIPES AS PER AS.3740**

## ELEVATION (D)



for / client  
MR AND MRS WANG

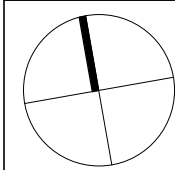
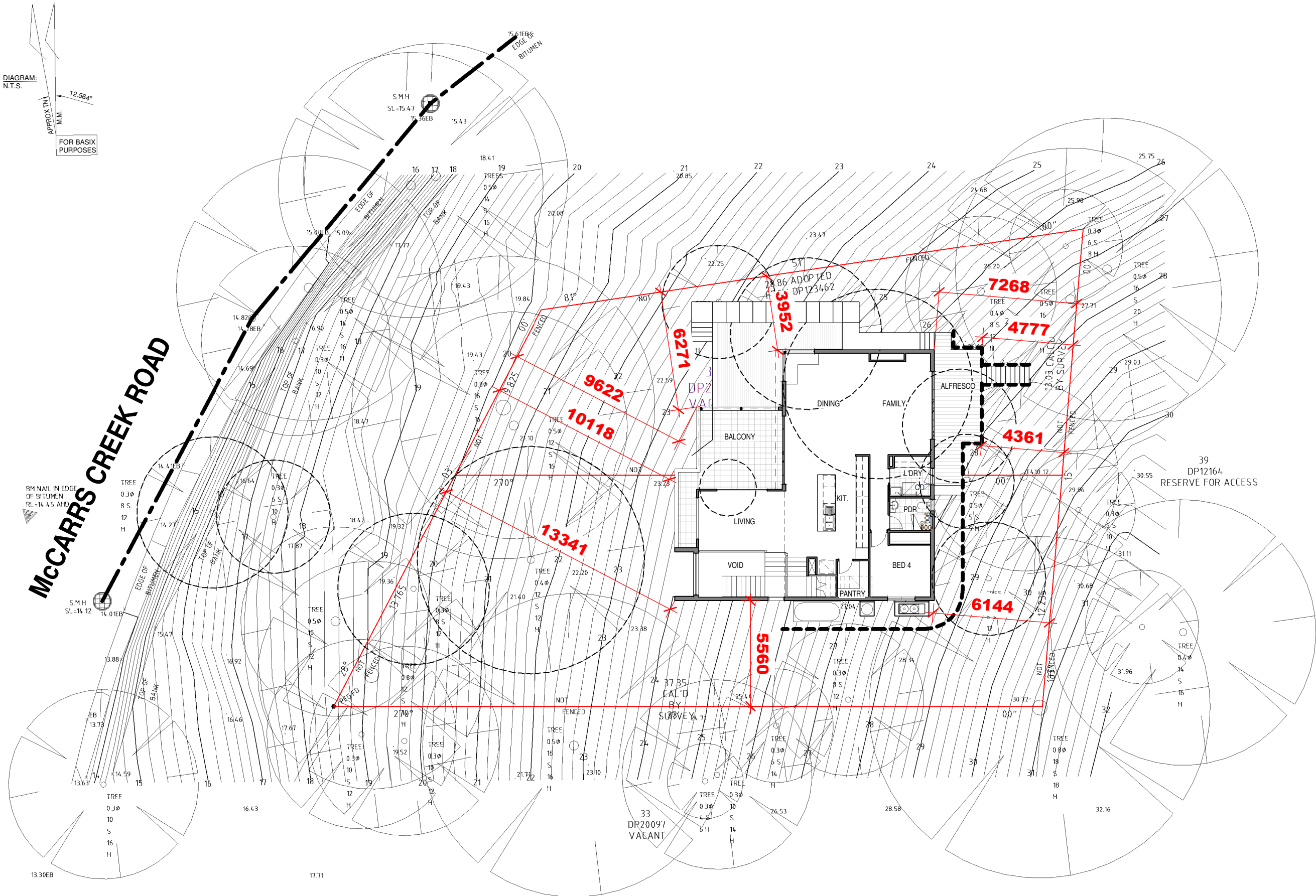
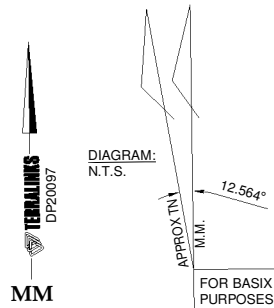
**MIDDLE FLOOR PLAN**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL

**DO NOT SCALE DRAWINGS**

stage:	project no:	dwg no:
DA	SE2501	04/23
drawn - SB	date:	scale:
checked - SB	16.02.25	1 : 100





All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist)  
FFL denotes - concrete level  
floor joist + selected flooring  
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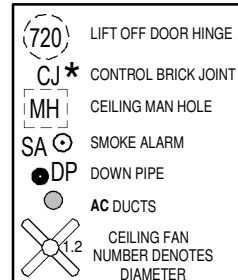
for / client  
MR AND MRS WANG  
**SITE PLAN - MIDDLE  
LEVEL FLOOR PLAN**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL  
**DO NOT SCALE DRAWINGS**

stage: DA	project no: SE2501	dwg no: 05/23
drawn - SB	date: 16.02.25	scale: 1 : 200
checked - SB		



## LEGENDS



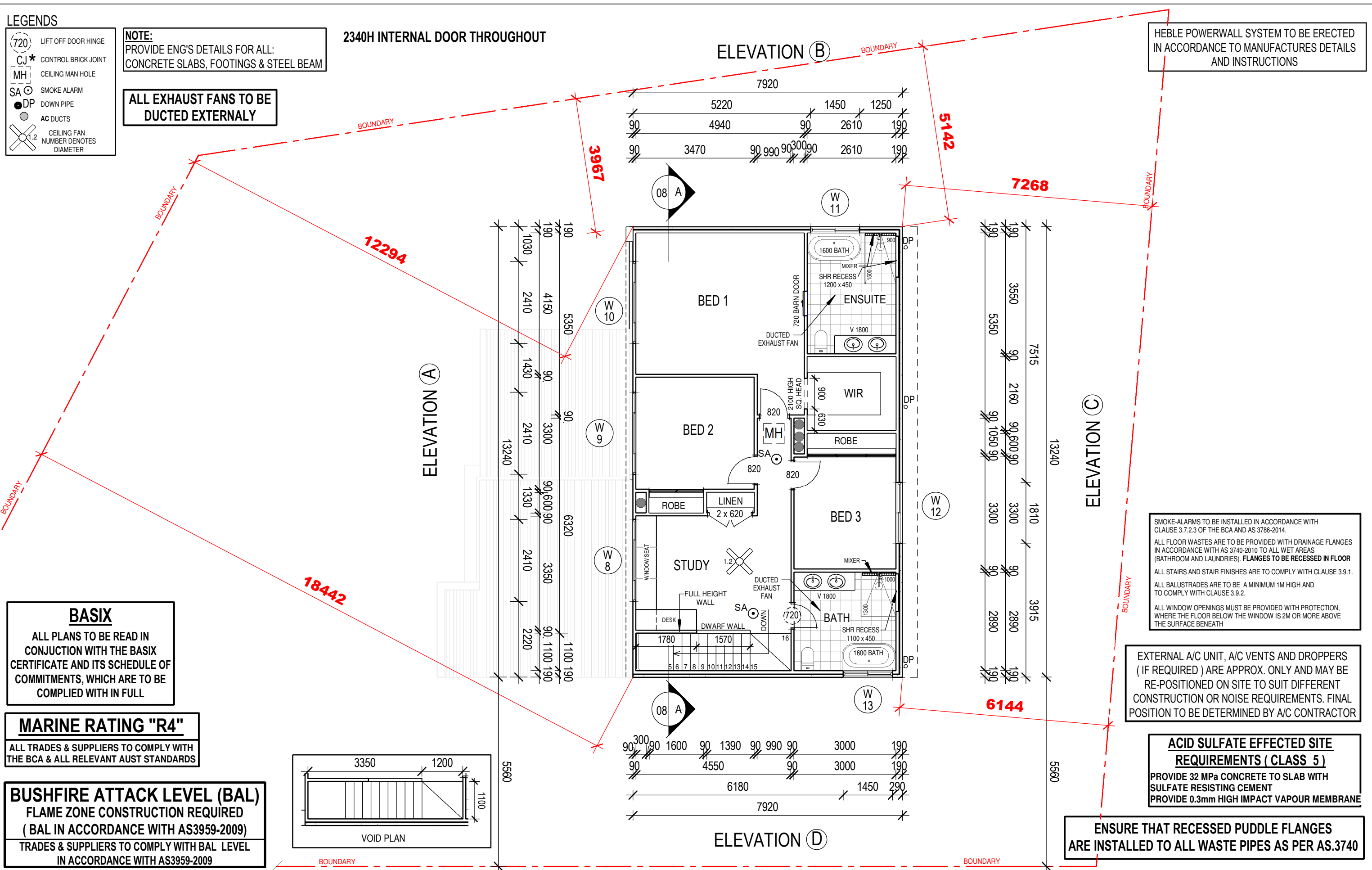
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**2340H INTERNAL DOOR THROUGHOUT**

**ELEVATION (B)**

HEBLE POWERWALL SYSTEM TO BE ERECTED  
IN ACCORDANCE TO MANUFACTURES DETAILS  
AND INSTRUCTIONS

**BASIX**

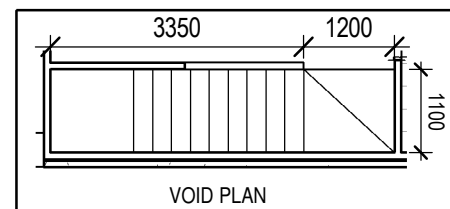
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**MARINE RATING "R4"**

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**BUSHFIRE ATTACK LEVEL (BAL)**  
FLAME ZONE CONSTRUCTION REQUIRED  
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TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009



VOID PLAN

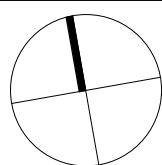
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for / client  
**MR AND MRS WANG**  
**FIRST FLOOR PLAN**

location  
**LOT34/35, 231-233 McCARRS CREEK RD**  
**CHURCH POINT**  
**NORTHERN BEACHES COUNCIL**  
**DO NOT SCALE DRAWINGS**

stage:	project no:	dwg no:
DA	SE2501	06 / 23
drawn - SB	date:	scale:
checked - SB	16.02.25	1 : 100



TERRAUNUS  
DP20087  
MM

DIAGRAM:  
N.T.S.

APPROX TN  
M.M.  
12.564°  
FOR BASIS  
PURPOSES

McCARRS CREEK ROAD

BM NAIL IN EDGE  
OF BITUMEN  
RL=14.45 AHD

S.M.H.  
SL=14.12

S.M.H.  
SL=15.47

15.61EB  
EDGE  
BITUMEN

13.30EB

17.71



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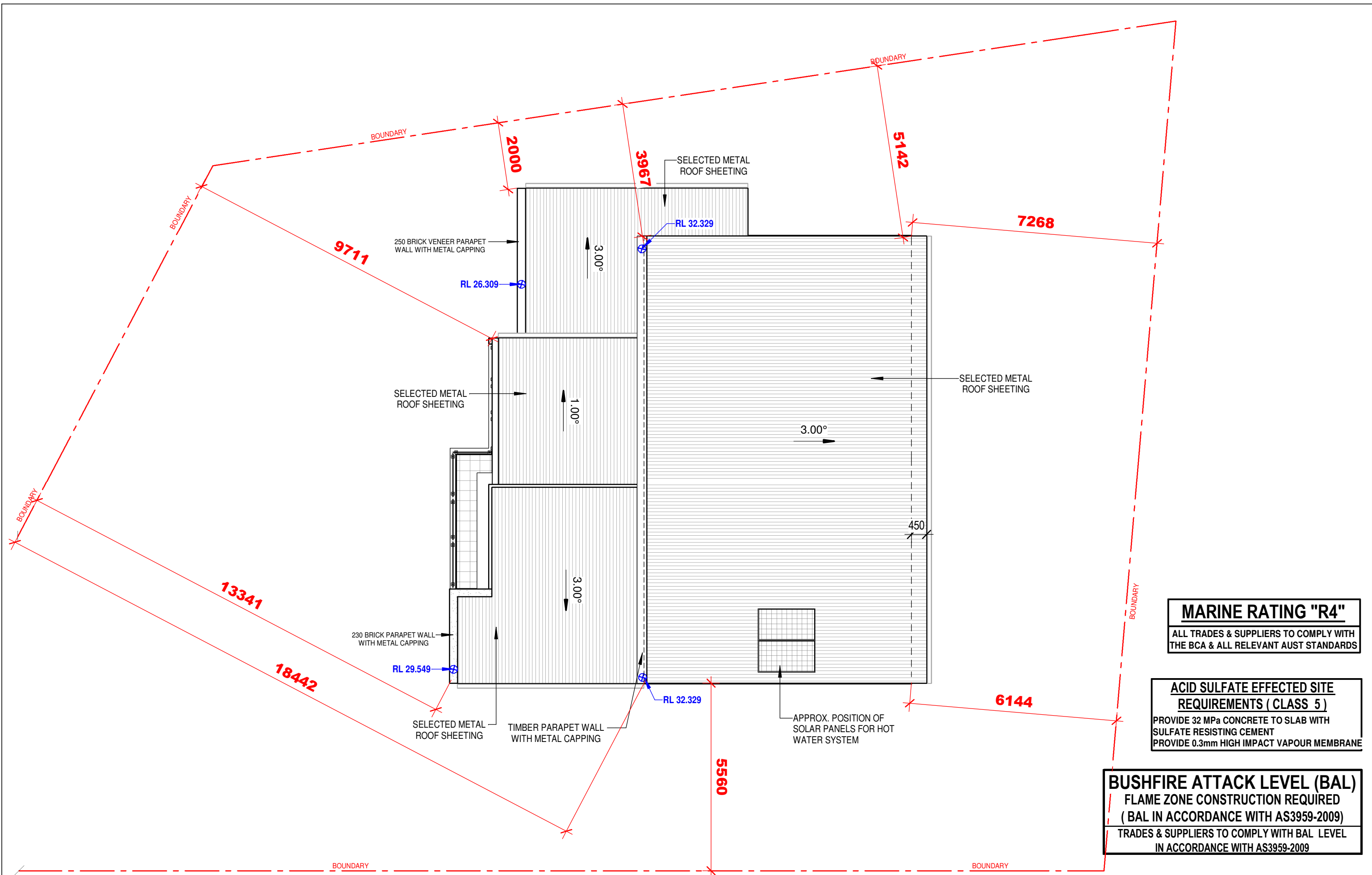
for / client  
MR AND MRS WANG  
**SITE PLAN - FIRST  
FLOOR PLAN**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL  
**DO NOT SCALE DRAWINGS**

stage:	project no:	dwg no:
DA	SE2501	07/23
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checked - SB	16.02.25	1 : 200

LOCATION: D:\work\WINCREST\17491\_Wang&Ma\Drawings\WORKING\WORKING 06.04.25\WANG&MA - working - 06.04.25.rvt





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ALL TRADES & SUPPLIERS TO COMPLY WITH  
THE BCA & ALL RELEVANT AUST STANDARDS

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IN ACCORDANCE WITH AS3959-2009

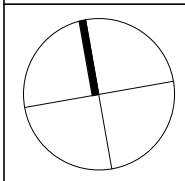
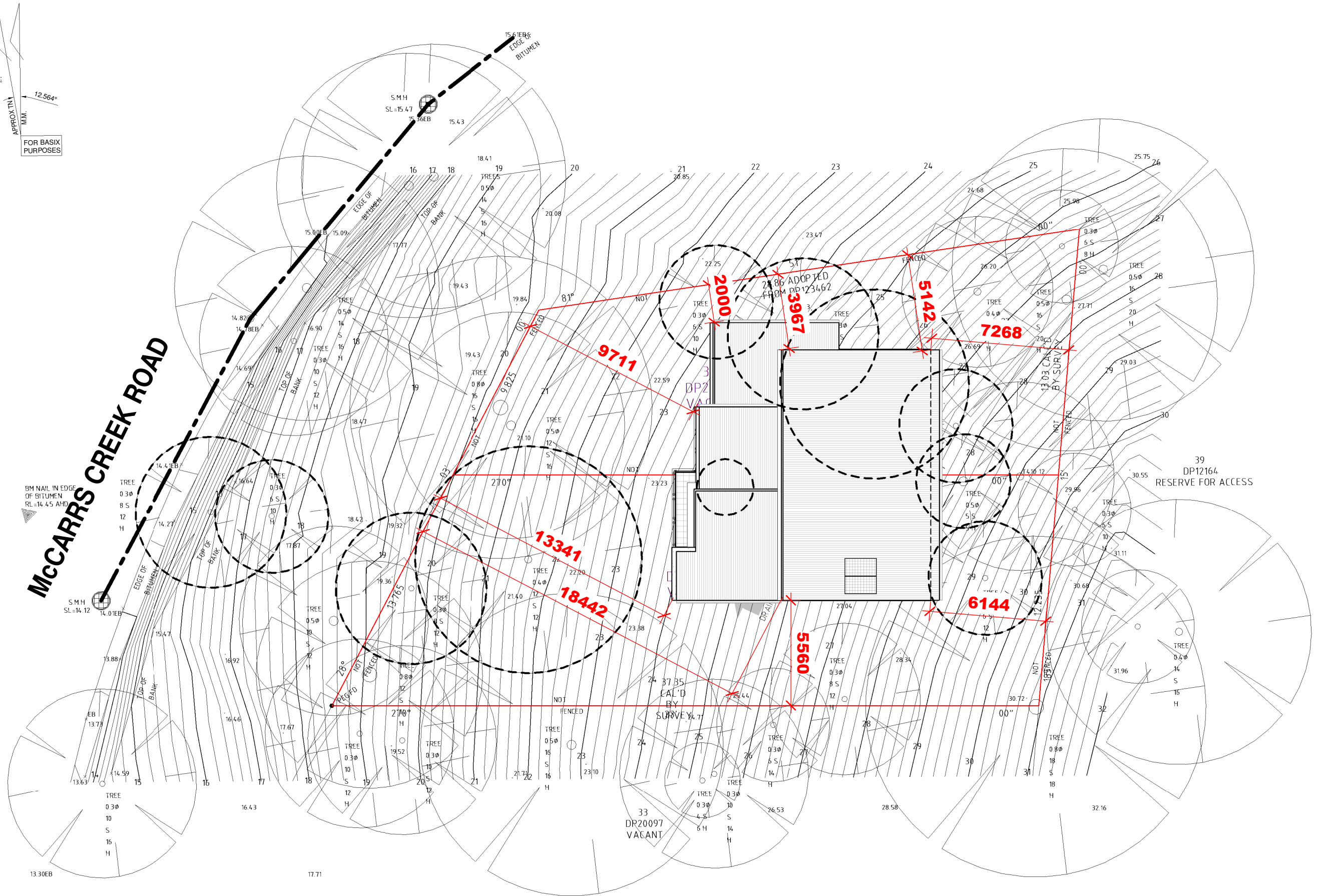
	All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist FFL denotes - concrete level floor joist + selected flooring All construction work to comply with the NCC and all relevant Australian standards <b>All previous issues are to be discarded only these plans are to be read</b>	rev	amendment	date	rev	amendment	date	 Email - suljobr@hotmail.com Mob - 0422 461 767	for / client MR AND MRS WANG <b>ROOF PLAN</b>	location LOT34/35, 231-233 McCARRS CREEK RD CHURCH POINT NORTHERN BEACHES COUNCIL <b>DO NOT SCALE DRAWINGS</b>	stage:	project no:	dwg no:
		A	FD	16.02.25							DA	SE2501	08 / 23
		B	AMENDMENT	07.03.25							drawn - SB	date:	scale:
		C	AMENDMENT	18.03.25							checked - SB	16.02.25	1 : 100
		D	AMENDMENT	06.04.25									
		E	FFD DA SUBMISSION	29.05.25									





DIAGRAM:  
N.T.S.  
APPROX. 1:1  
FOR BASIS  
PURPOSES

**McCARRS CREEK ROAD**



All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist). FFL denotes - concrete level. floor joist + selected flooring. All construction work to comply with the NCC and all relevant Australian standards. **All previous issues are to be discarded only these plans are to be read**

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D	AMENDMENT	06.04.25			
E	FFD DA SUBMISSION	29.05.25			

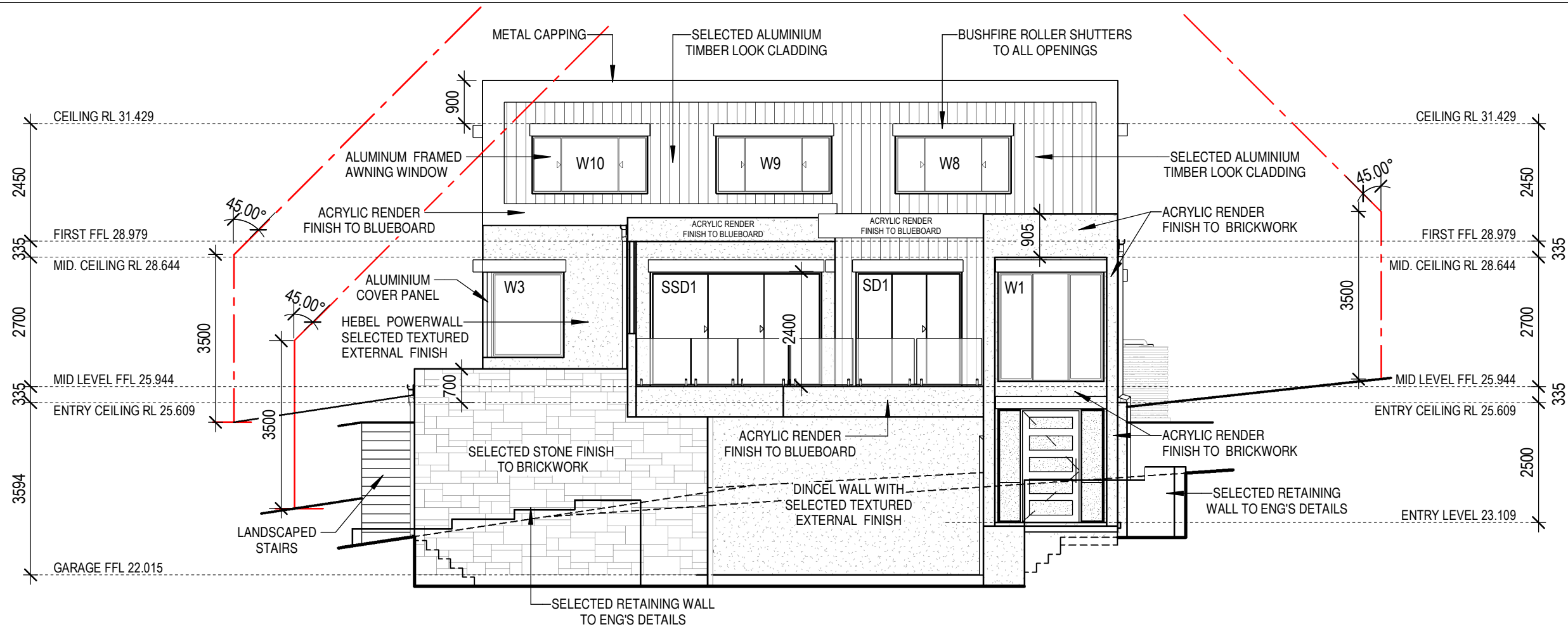


for / client  
**MR AND MRS WANG**  
**SITE PLAN - ROOF PLAN**

location  
**LOT34/35, 231-233 McCARRS CREEK RD**  
**CHURCH POINT**  
**NORTHERN BEACHES COUNCIL**  
**DO NOT SCALE DRAWINGS**

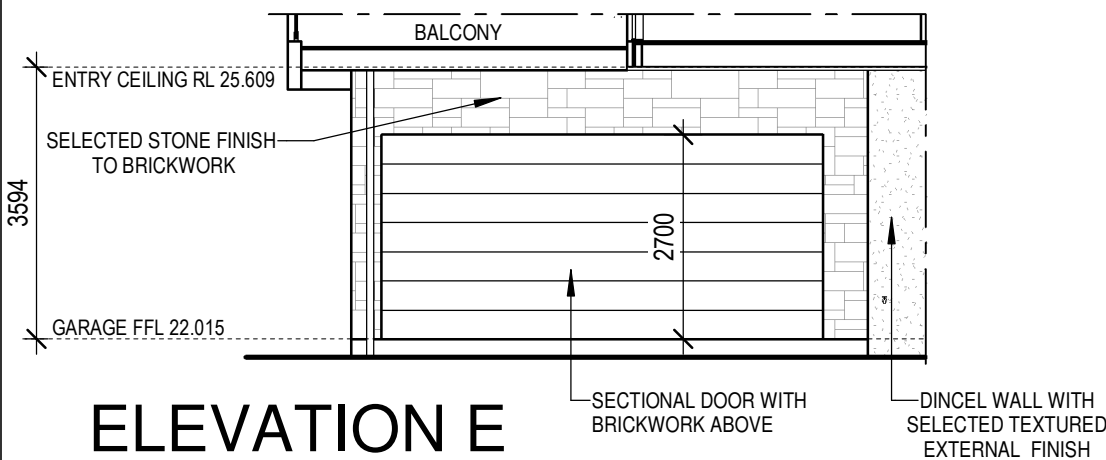
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drawn - <b>SB</b>	date: <b>16.02.25</b>	scale: <b>1 : 200</b>
checked - <b>SB</b>		





ELEVATION A

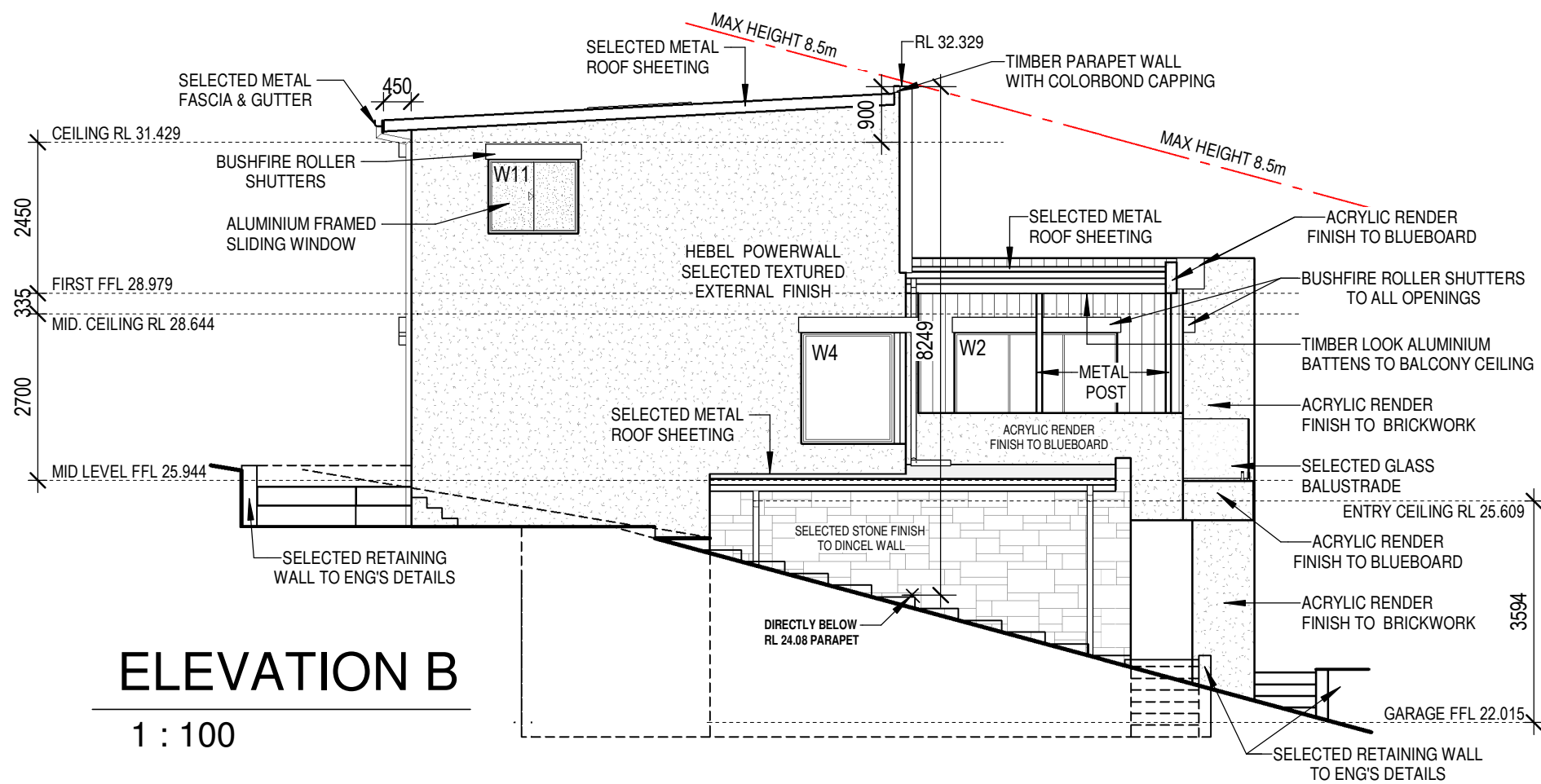
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ELEVATION E

1 : 100

**BUSHFIRE ATTACK LEVEL (BAL)**  
**FLAME ZONE CONSTRUCTION REQUIRED**  
**(BAL IN ACCORDANCE WITH AS3959-2009)**  
**TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL**  
**IN ACCORDANCE WITH AS3959-2009**



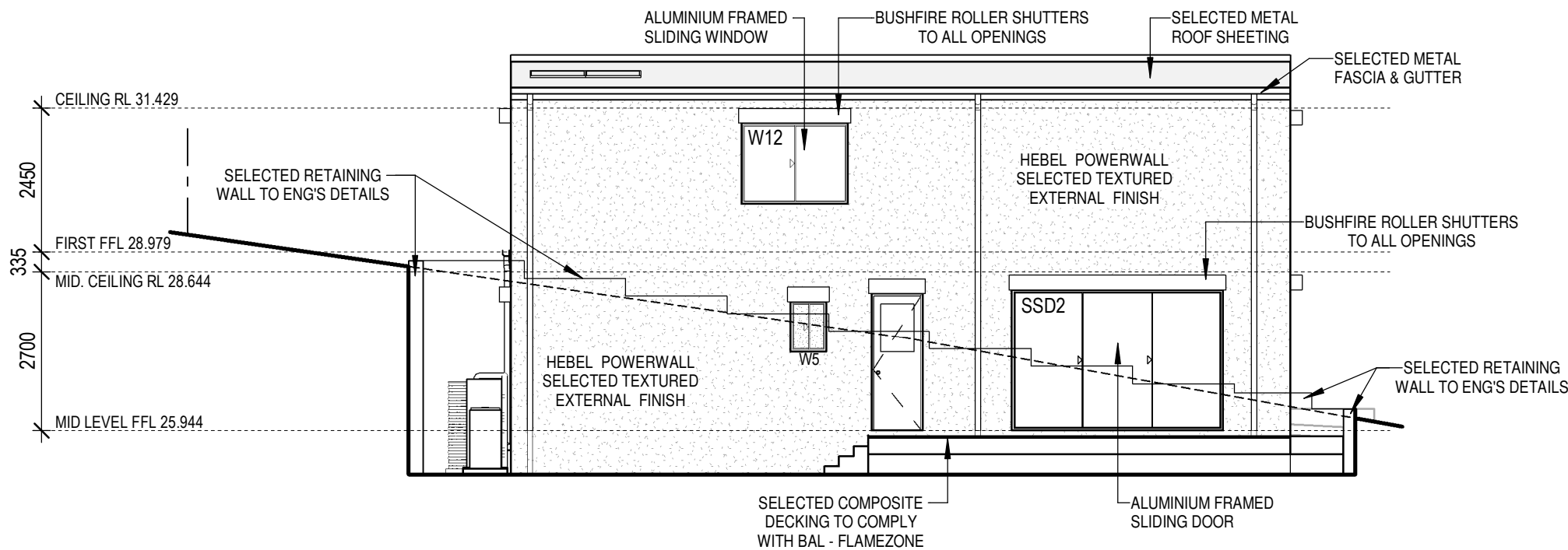
ELEVATION B

1 : 100

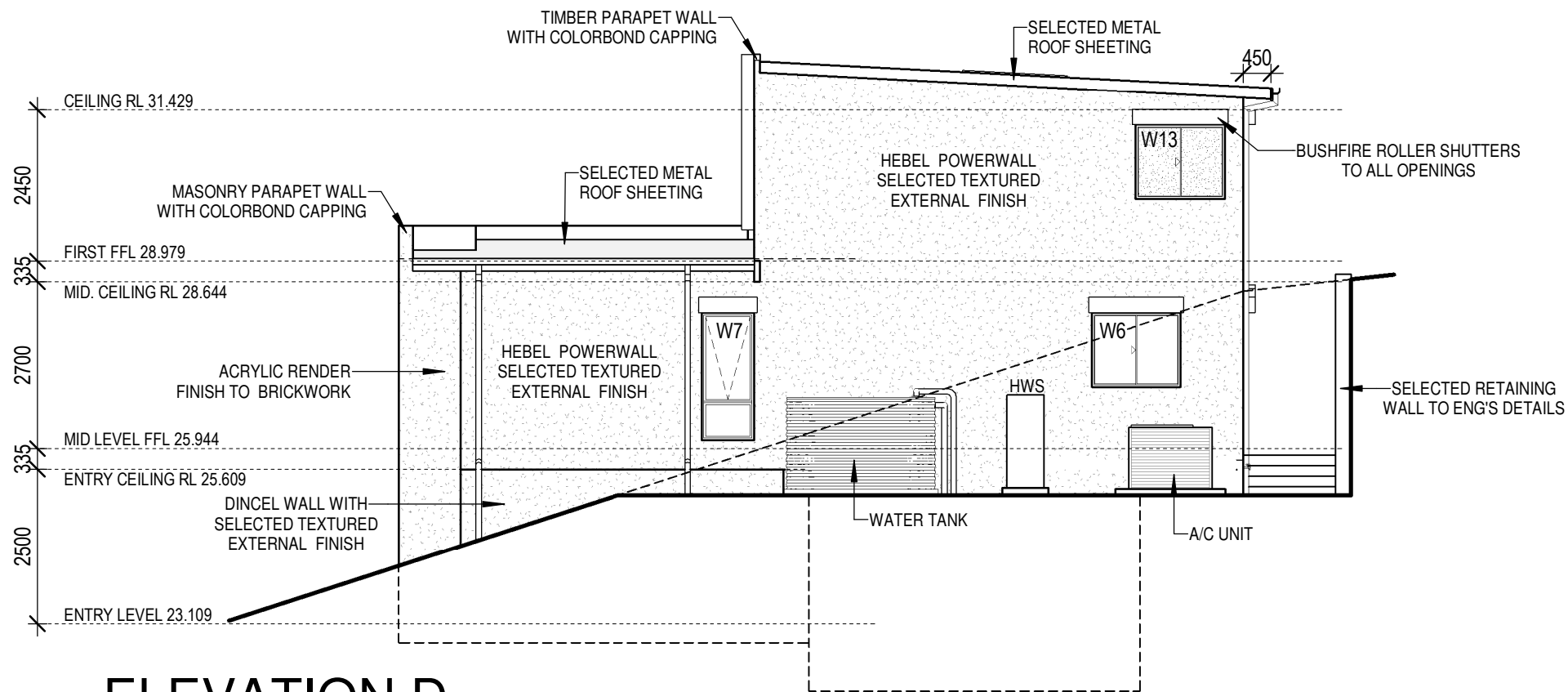
All dimensions shown are to frame, underside of roof trusses and FFL (concrete) to underside of floor joist  FFL denotes - concrete level floor joist + selected flooring  All construction work to comply with the NCC and all relevant Australian standards  All previous issues are to be discarded only these plans are to be read	rev	amendment	date	rev	amendment	date	 Email - suljobr@hotmail.com Mob - 0422 461 767	for / client <b>MR AND MRS WANG</b>  <b>ELEVATIONS</b>	location <b>LOT34/35, 231-233 McCARRS CREEK RD</b> <b>CHURCH POINT</b> <b>NORTHERN BEACHES COUNCIL</b>  <b>DO NOT SCALE DRAWINGS</b>	stage:	project no:	dwg no:
	A	FD	16.02.25							DA	SE2501	10 / 23
	B	AMENDMENT	07.03.25							drawn - SB	date:	scale:
	C	AMENDMENT	18.03.25							checked - SB	16.02.25	1 : 100



**BUSHFIRE ATTACK LEVEL (BAL)**  
**FLAME ZONE CONSTRUCTION REQUIRED**  
**( BAL IN ACCORDANCE WITH AS3959-2009)**  
**TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL**  
**IN ACCORDANCE WITH AS3959-2009**



**ELEVATION C**  
1 : 100



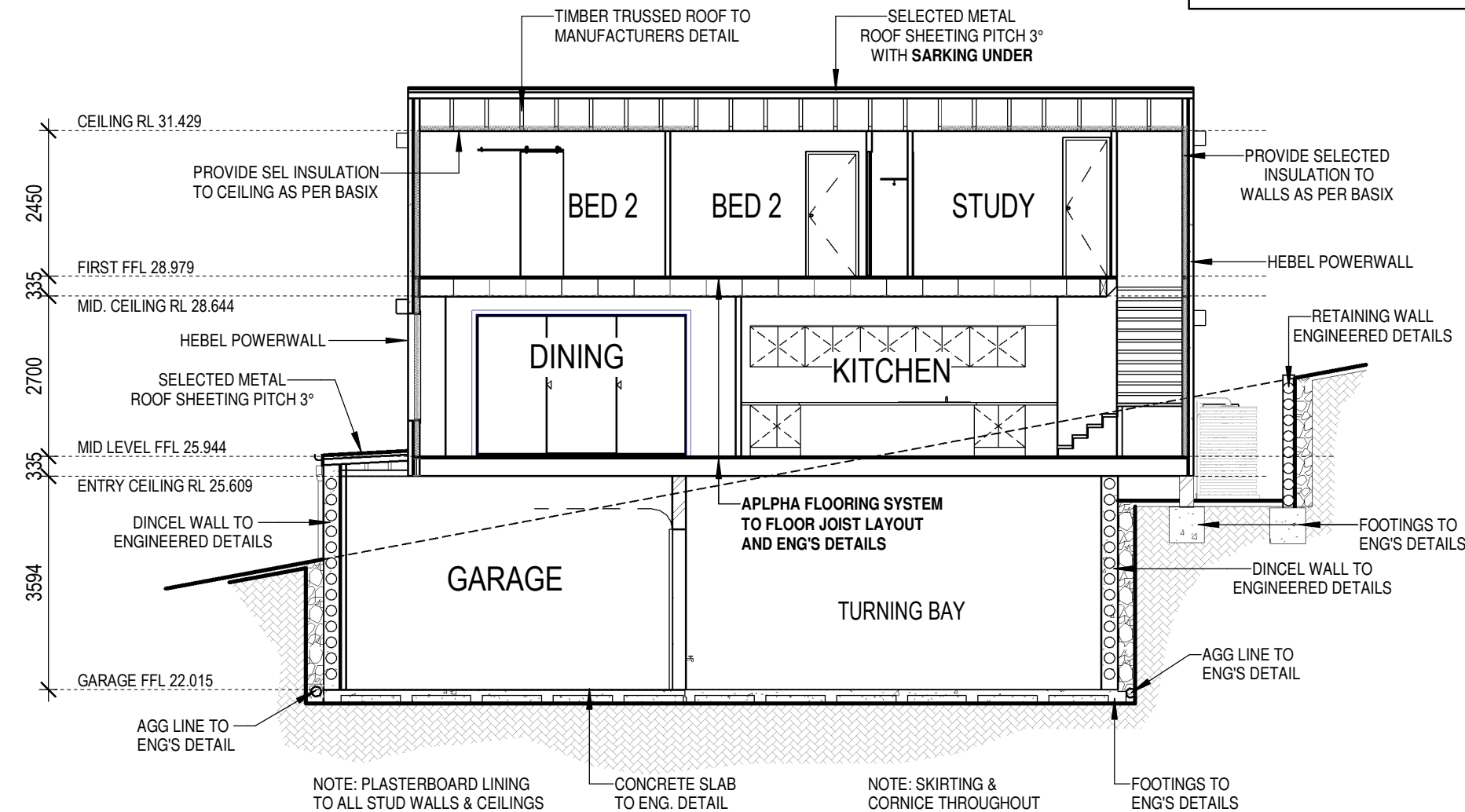
**ELEVATION D**  
1 : 100

All dimensions shown are to frame, underside of roof trusses and FFL (concrete) to underside of floor joist  FFL denotes - concrete level floor joist + selected flooring  All construction work to comply with the NCC and all relevant Australian standards  All previous issues are to be discarded only these plans are to be read	rev	amendment	date	rev	amendment	date	 Email - suljobr@hotmail.com Mob - 0422 461 767	for / client MR AND MRS WANG  <b>ELEVATIONS</b>	location LOT34/35, 231-233 McCARRS CREEK RD CHURCH POINT NORTHERN BEACHES COUNCIL  <b>DO NOT SCALE DRAWINGS</b>	stage:	project no:	dwg no:
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	B	AMENDMENT	07.03.25							drawn - SB	date:	scale:
	C	AMENDMENT	18.03.25							checked - SB	16.02.25	1 : 100



NOTE: SECTIONS ARE  
DIAGRAMATIC ONLY

HEBLE POWERWALL SYSTEM TO BE ERECTED  
IN ACCORDANCE TO MANUFACTURES DETAILS  
AND INSTRUCTIONS



SECTION A -A

1 : 100

**NOTE:**  
PROVIDE ENG'S DETAILS FOR ALL:  
CONCRETE SLABS  
FOOTINGS  
STEEL BEAM

Window and Sl. door Schedule					
wt	Window No.	Height	Width	Window Style	Glazing
W	1	2300	2200	FIXED	CLEAR LOW e TB - DOUBLE
W	2	2400	2650	FIXED	CLEAR LOW e TB - DOUBLE
W	3	1800	1500	FIXED	CLEAR LOW - E
W	4	1800	1500	FIXED	CLEAR LOW - E
W	5	857	610	SLIDING	OBSCURE / TG
W	6	1200	1450	SLIDING	CLEAR LOW e TB - DOUBLE
W	7	2057	850	AWNING	CLEAR LOW e TB - DOUBLE
W	8	1200	2410	SLIDING	CLEAR LOW e TB - DOUBLE
W	9	1200	2410	SLIDING	CLEAR LOW e TB - DOUBLE
W	10	1200	2410	SLIDING	CLEAR LOW e TB - DOUBLE
W	11	1200	1450	SLIDING	CLEAR LOW e TB - DOUBLE
W	12	1372	1810	SLIDING	CLEAR LOW e TB - DOUBLE
W	13	1200	1450	SLIDING	OBSCURE / TG
SSD	1	2400	3580	STACKER SL.DOOR	CLEAR LOW e TB - DOUBLE
SSD	2	2400	3580	STACKER SL.DOOR	CLEAR LOW e TB - DOUBLE
SD	1	2400	2200	SLIDING DOOR	CLEAR LOW e TB - DOUBLE

TG - DENOTES TOUGHENED GLASS

**NOTE:** ALL WINDOW FRAMES AND GLASS TO COMPLY WITH BASIX CERTIFICATE

**NOTE:**  
ALL BED ROOM WINDOW OPENINGS HIGHER THAN 2.0m  
FROM FINISHED GROUND LEVEL TO BE PROTECTED  
IN ACCORDANCE WITH  
CLAUSE 3.9.2.6 VOLUME 2 OF THE BUILDING CODE  
OF AUSTRALIA

MARINE RATING "R4"

ALL TRADES & SUPPLIERS TO COMPLY WITH  
THE BCA & ALL RELEVANT AUST STANDARDS

GENERAL NOTES:

- PROVIDE PEST CONTROL SYSTEM TO PERIMETER OF HOME AS REQUIRED BY CERTIFYING AUTHORITY.
- AS/NZS 3000:2000 ELECTRICAL REQUIREMENTS: SAFETY SWITCH TO FRIDGE & LIGHT CIRCUITS; ISOLATING SWITCH FOR WALL OVEN.
- PROVIDE GLASSWOOL CEILING INSULATION TO ROOF SPACE OF LIVING AREAS. AS PER BASIX
- PROVIDE GLASSWOOL WALL INSULATION TO EXTERNAL WALLS OF LIVING AREAS. AS PER BASIX
- PROVIDE SHOWERHEAD MINIMUM RATING AS PER BASIX
- KITCHEN, LAUNDRY & VANITY BASIN TAPS AS PER BASIX
- TOILET CISTERNS AS PER BASIX
- PROVIDE 3000 LITRE RAIN WATER TANK
- ARTIFICIAL LIGHT REQUIREMENTS TO BE AS PER BASIX
- 300 LIT ELECTRIC BOOSTED SOLAR HWS ( 21 to 25 STCs )
- 75mm GAP BETWEEN FRIDGE & WALL TO BE MAINTAINED.
- MANHOLE POSITION IS APPROXIMATE ONLY AND MAY BE RE-POSITIONED ON SITE TO SUIT CONSTRUCTION CONSTRAINTS OR REQUIREMENTS

**BASIX**  
ALL PLANS TO BE READ IN  
CONJUNCTION WITH THE BASIX  
CERTIFICATE AND ITS SCHEDULE OF  
COMMITMENTS, WHICH ARE TO BE  
COMPLIED WITH IN FULL

Floors		Material	Added Insulation	To Cantilever/Suspended	Floor Coverings
Ground		Alphafloor	R2.0 Insulation	R2.0 Insulation	Tiles to Entry and Liv/Kit
1st Floor		Timber	R2.0 Insulation		
Basement		Waffle Pod 225mm			

Walls		Colour	External Material	Insulation	Internal Material	Internal Insulated	
Ground		Default	ACC Hebel Timber Frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	L'dry, Pdr	R2.0
1st Floor		Default	ACC Hebel / F.Cement Timber Frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	Bath	R2.0
Basement		Default	Dintel wall / Brick veneer	NIL/R2.5, Non Reflective Wr			
			No insulation to garage walls			Garage	R2.0

Ceilings		Material	Insulation to Roof Above	Roof	Insulation	Material	Colour	Ventilated
Ground		Plaster Timber Frame	R5.0	Ground	Sarking	Metal	Default	Yes
1st Floor		Plaster Timber Frame	R5.0	1st Floor	Sarking	Metal	Default	Yes

**BUSHFIRE ATTACK LEVEL (BAL)**  
**FLAME ZONE CONSTRUCTION REQUIRED**  
**( BAL IN ACCORDANCE WITH AS3959-2009)**  
TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL  
IN ACCORDANCE WITH AS3959-2009

ALL BUILDING WORK SHALL BE CARRIED OUT  
IN ACCORDANCE WITH THE NCC AND ALL  
RELEVANT STANDARDS  
ALL WORK TO COMPLY WITH CDC, COUNCIL  
REQUIREMENTS AND ALL OTHER AUTHORITIES  
BUILDER TO CHECK ALL DIMENSIONS ON SITE  
PRIOR TO COMMENCEMENT OF WORK  
ALL DIMENSIONS, SIZES ect ARE IN MILIMETERS

All dimensions shown are to frame, underside of roof trusses and FFL (concrete) to underside of floor joist  FFL denotes - concrete level floor joist + selected flooring  All construction work to comply with the NCC and all relevant Australian standards  All previous issues are to be discarded only these plans are to be read	rev	amendment	date	rev	amendment	date	 Email - suljobr@hotmail.com Mob - 0422 461 767	for / client MR AND MRS WANG  SECTION/SCHEDULES	location LOT34/35, 231-233 McCARRS CREEK RD CHURCH POINT NORTHERN BEACHES COUNCIL  DO NOT SCALE DRAWINGS	stage:	project no:	dwg no:
	A	FD	16.02.25							DA	SE2501	12 / 23
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	D	AMENDMENT	06.04.25									
	E	FFD DA SUBMISSION	29.05.25									





BASIX & THERMAL COMMITMENTS



Date 31/03/25 Job Number Wang 17491 Version 2

REQUIRED CHANGES HIGHLIGHTED

Unit/Number 231-233 Lot 34/35 DP 20097 Street McCARRS CREEK RD Suburb CHURCH POINT Post Code State NSW

Floors	Material	Added Insulation	To Cantilever/Suspended	Floor Coverings
Ground	Alphafloor	R2.0 Insulation	R2.0 Insulation	Tiles to Entry and Liv/Kit
1st Floor	Timber	R2.0 Insulation		
Basement	Waffle Pod 225mm			

Walls	Colour	External Material	Insulation	Internal Material	Internal Insulated
Ground	Default	ACC Hebel Timber Frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	L'dry, Pdr R2.0
1st Floor	Default	ACC Hebel / F.Cement Timber Frame	R2.5, Non Reflective Wrap	Plaster Timber 90mm	Bath R2.0
Basement	Default	Dincel wall / Brick veneer	NIL/R2.5, Non Reflective Wr		Garage R2.0
		No insulation to garage walls			

Ceilings	Material	Insulation to Roof Above	Roof	Insulation	Material	Colour	Ventilated
Ground	Plaster Timber Frame	R5.0	Ground	Sarking	Metal	Default	Yes
1st Floor	Plaster Timber Frame	R5.0	1st Floor	Sarking	Metal	Default	Yes

Glazing	Please Refer to the NatHERS (or BASIX) Certificate for all external glazing. To comply you must use glazing with the same opening and frame type, the U value must be the same or lower and have an SHGC value within the range given. THE BELOW GLAZING NOMINATIONS ARE AN INDICATION ONLY PLEASE REFERENCE THE CERTIFICATE(S).	
Supplier	Glazing Type Required	Location(s) of Glazing Required
Wideline	Standard Single Clear	All Wet Areas and Entry side windows
	Low-e Single Clear	Corner window
	Low-e Thermally Broken DG	Throughout excluding corner windows, all Wet Areas and Entry side windows

Notes  
Window substitutions were made due to software limitations.

Ceiling Fans	Location	Fan Size
	Dining/Family and Study	1200mm

Water	Landscape Area	Low Water Area	Rain Water Tank, connected to.	Roof Area to Tank	Recycled Water, connected to.
	503.72 m2	m2	3,000L Garden, WC, Laundry	80% of Roof	No
Showerheads			Toilets Kitchen Taps	Bathroom Taps	Swimming Pool
3 Star > 7.5 but less < or = 9.0 litres per minute			4 Star 6 Star	6 Star	No

Energy	Hot Water	Rating	Air Conditioning	Other
	Electric Boost Solar	21 to 25 STCs	Cooling 3.0 - 3.5 EER - Heating 3.0 - 3.5 EER 3 Phase	Air Conditioning Zoned
Solar Photovoltaic System			Cooking	Outdoor Cloths Line
No			Induction Cooktop/ Electric Ove	

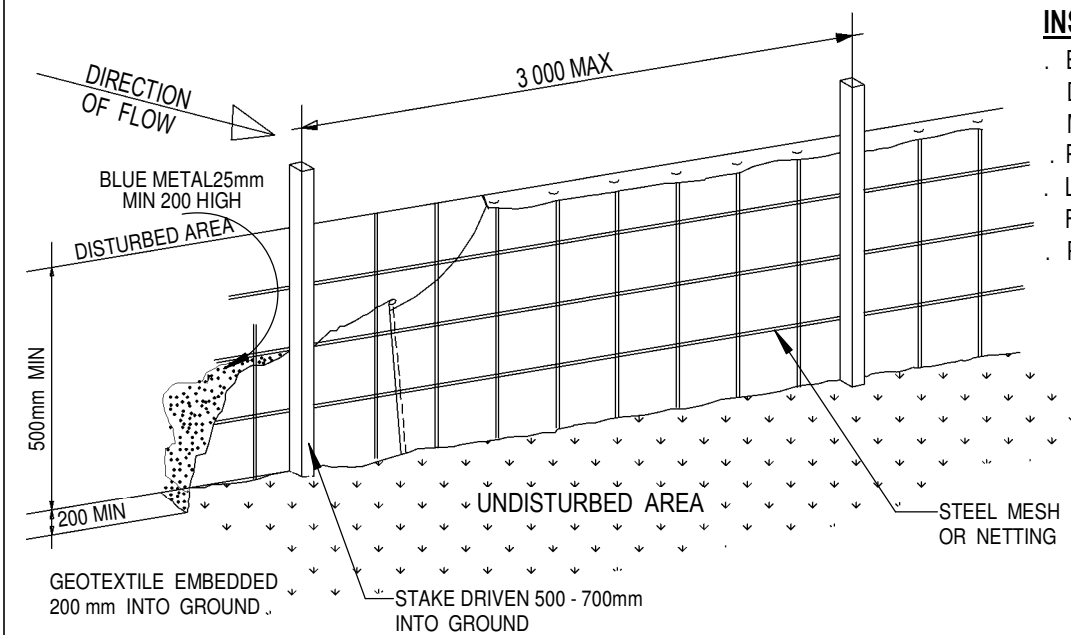
Ventilation	Laundry	Bathroom	Kitchen
	Natural Ventilation- external window	Ducted	Ducted

Notes

The project has been assessed under the simulation method of the BASIX Protocol. Downlights fitted after the assessment must be IC Rated and non-ventilated.  
All new residential buildings must be constructed in accordance with Building BCA Part 3. 12. 1, Build Sealing BCA Part 3. 12. 3. Insulation must be installed in accordance with AS3995.

Frys Building Consultancy Pty Ltd Trading as Frys Energywise are Accredited Thermal Energy Assessors ABSA 20856, BDAV 12/1441, COLA 2011291

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	A	FD	16.02.25					MR AND MRS WANG	LOT34/35, 231-233 McCARRS CREEK RD	DA	SE2501	13 / 23
	B	AMENDMENT	07.03.25					<b>BASIX COMMITMENTS</b>	CHURCH POINT	drawnAuthor	date:	scale:
	C	AMENDMENT	18.03.25						NORTHERN BEACHES COUNCIL	cheChecker	16.02.25	
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E	FFD DA SUBMISSION	29.05.25					<b>DO NOT SCALE DRAWINGS</b>					



### INSTALLATION

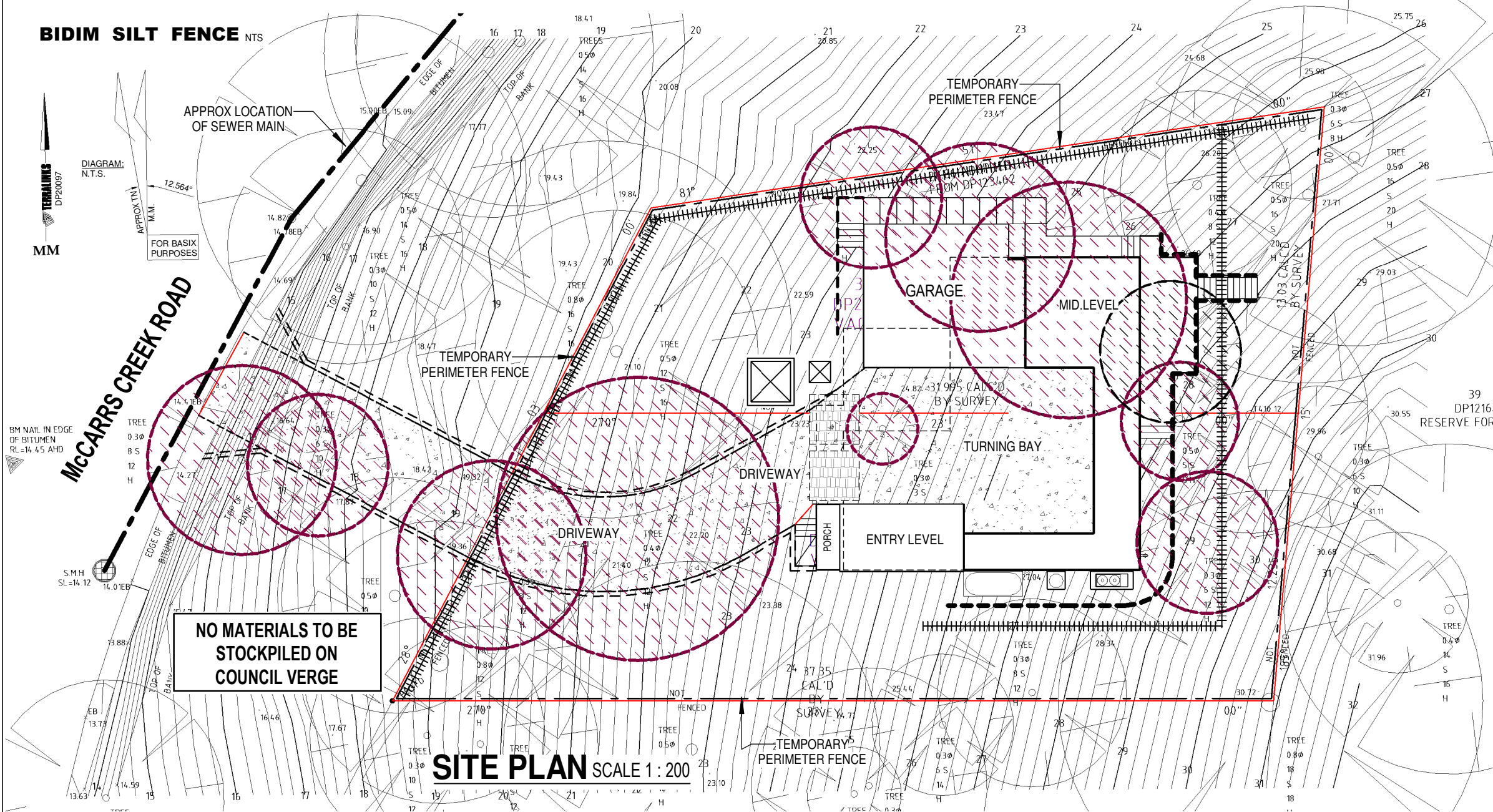
- EXCAVATE A TRENCH 100 - 500 mm
- DRIVE POST 500 - 700 INTO GROUND AT A MAXIMUM SPACING OF 3000 mm
- PLACE AND FIX SUPPORT MESH TO POST.
- LAY BIDIM AGAINST THE SUPPORT MESH AND FIX BY THE WIRE OR STAPLE
- PLACE BIDIM IN TRENCH AND BACKFILL WITH SOIL.

### GENERAL NOTES

- MINIMISE THE DISTURBED AREA
- ALL STOCK PILES TO BE CLEAR FROM DRAINS, GUTTERS FOOTPATHS AND COVERED WITH WATERPROOF PLASTIC COVER.
- DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
- ROADS AND FOOTPATHS TO BE SWEEPED DAILY
- STABILISE AND REVEGETATE BEFORE REMOVING EROSION AND SEDIMENT CONTROLS

**BUSHFIRE ATTACK LEVEL (BAL)**  
**FLAME ZONE CONSTRUCTION REQUIRED**  
**( BAL IN ACCORDANCE WITH AS3959-2009)**  
**TRADES & SUPPLIERS TO COMPLY WITH BAL LEVEL**  
**IN ACCORDANCE WITH AS3959-2009**

### BIDIM SILT FENCE



### LEGEND

- Material Stockpile area.
- Waste stockpile & material sorting area.
- Storage recycling bins for segregated waste.
- Chemical toilets.
- Temporary builders d/way to E.P.A. requirements.
- Fit standard 600 high green silt fence (refer to detail).
- Trees to be removed.

**NOTE:** All waste materials to be taken to an approved waste disposal site.

### DUST CONTROL MEASURES:

IF THIS SITE BECOMES DUSTY DURING THE HOTTER MONTHS BUILDER WILL SPRINKLE WATER IN THE DUST.

AN AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE DUST & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED).

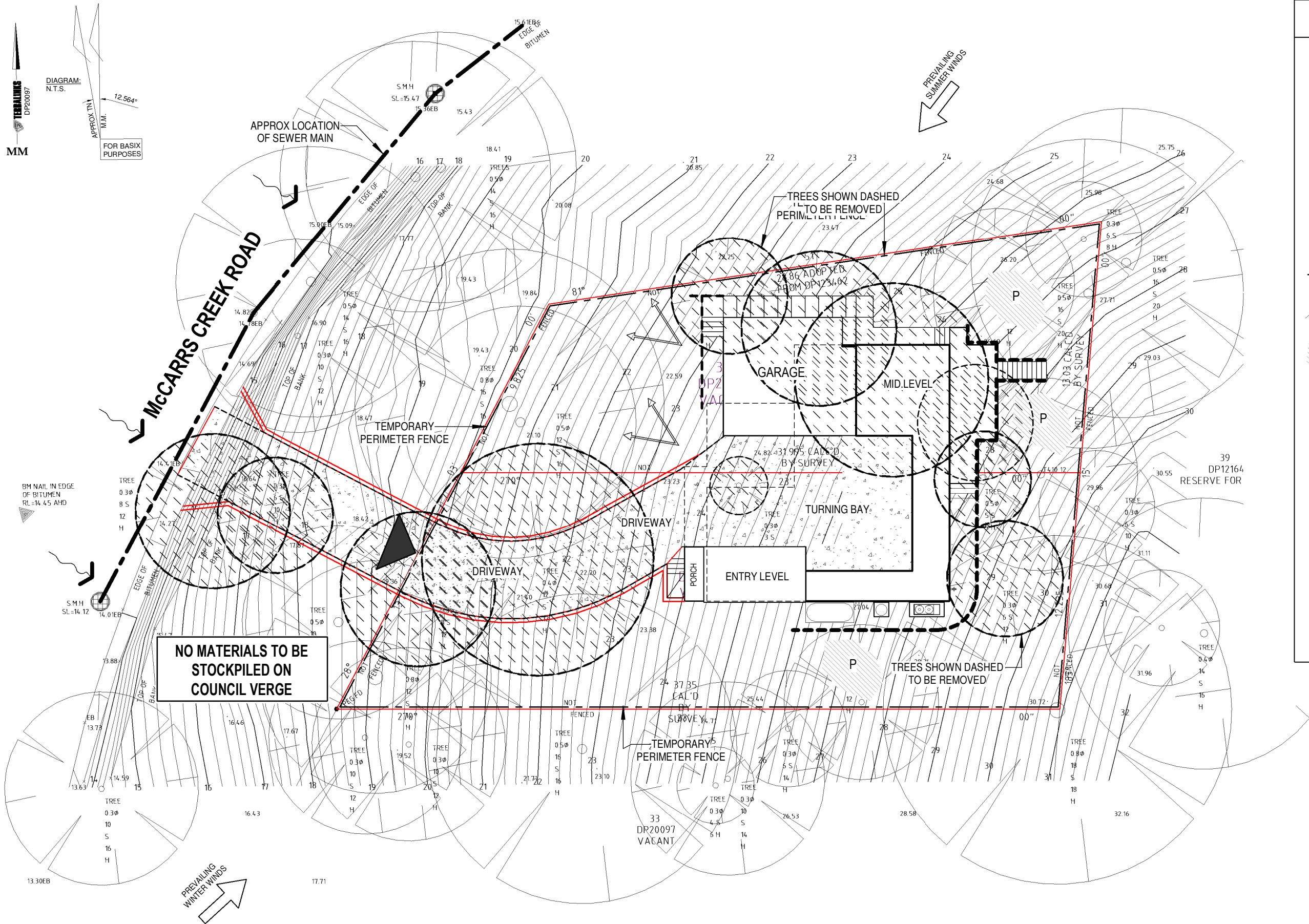
### NOISE & VIBRATION MEASURES

ALL EXCAVATIONS WILL BE CARRIED BETWEEN THE TIME SET OUT IN THE COUNCIL CONDITIONS.

MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIREMENT FOR THE JOB.

	<p>All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist)</p> <p>FFL denotes - concrete level</p> <p>floor joist + selected flooring</p> <p>All construction work to comply with the NCC and all relevant Australian standards</p> <p><b>All previous issues are to be discarded only these plans are to be read</b></p>	<p>rev</p> <p>A</p> <p>B</p> <p>C</p> <p>D</p> <p>E</p>	<p>amendment</p> <p>FD</p> <p>AMENDMENT</p> <p>AMENDMENT</p> <p>AMENDMENT</p> <p>FFD DA SUBMISSION</p>	<p>date</p> <p>16.02.25</p> <p>07.03.25</p> <p>18.03.25</p> <p>06.04.25</p> <p>29.05.25</p>	<p>rev</p>	<p>amendment</p>	<p>date</p>	<p><b>S&amp;E</b> Design Studio</p> <p>Email - suljobr@hotmail.com Mob - 0422 461 767</p>	<p>for / client</p> <p>MR AND MRS WANG</p> <p><b>SOIL, SEDIMENT AND</b></p> <p><b>'SITE MANAGEMENT PLAN</b></p>	<p>location</p> <p>LOT34/35, 231-233 McCARRS CREEK RD</p> <p>CHURCH POINT</p> <p>NORTHERN BEACHES COUNCIL</p> <p><b>DO NOT SCALE DRAWINGS</b></p>	<p>stage:</p> <p>DA</p> <p>drawn - SB</p> <p>checked - SB</p>	<p>project no:</p> <p>SE2501</p> <p>date:</p> <p>16.02.25</p>	<p>dwg no:</p> <p>14 / 23</p> <p>scale:</p> <p>As indicated</p>
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LEGEND

EXISTING TREES TO BE RETAINED

PROPOSED RESIDENCE.

EXISTING ADJOINING RESIDENCE.

EXISTING BUILDINGS TO BE DEMOLISHED.

SITE BOUNDARY

CONTOURS

PRIVATE OPEN SPACE

VIEWS

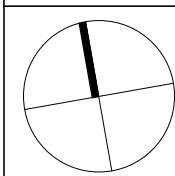
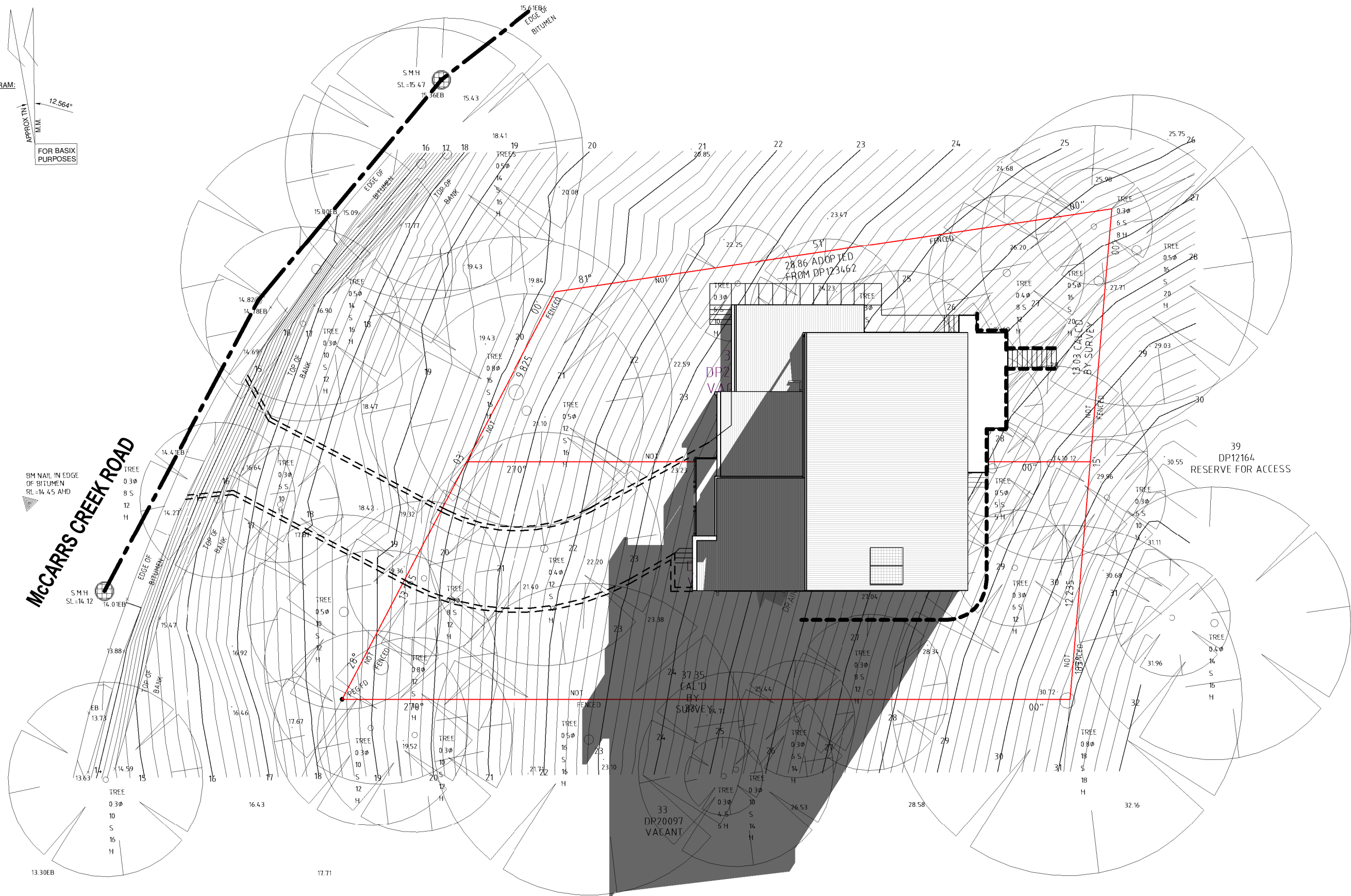
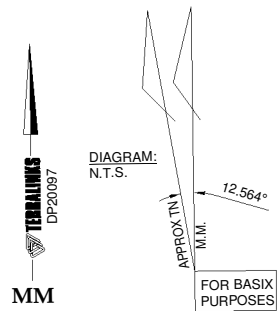
VEHICULAR SITE ENTRY

PREVAILING WINDS

NOISE

OVERLOOKING

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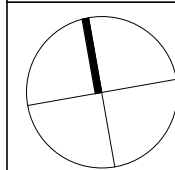
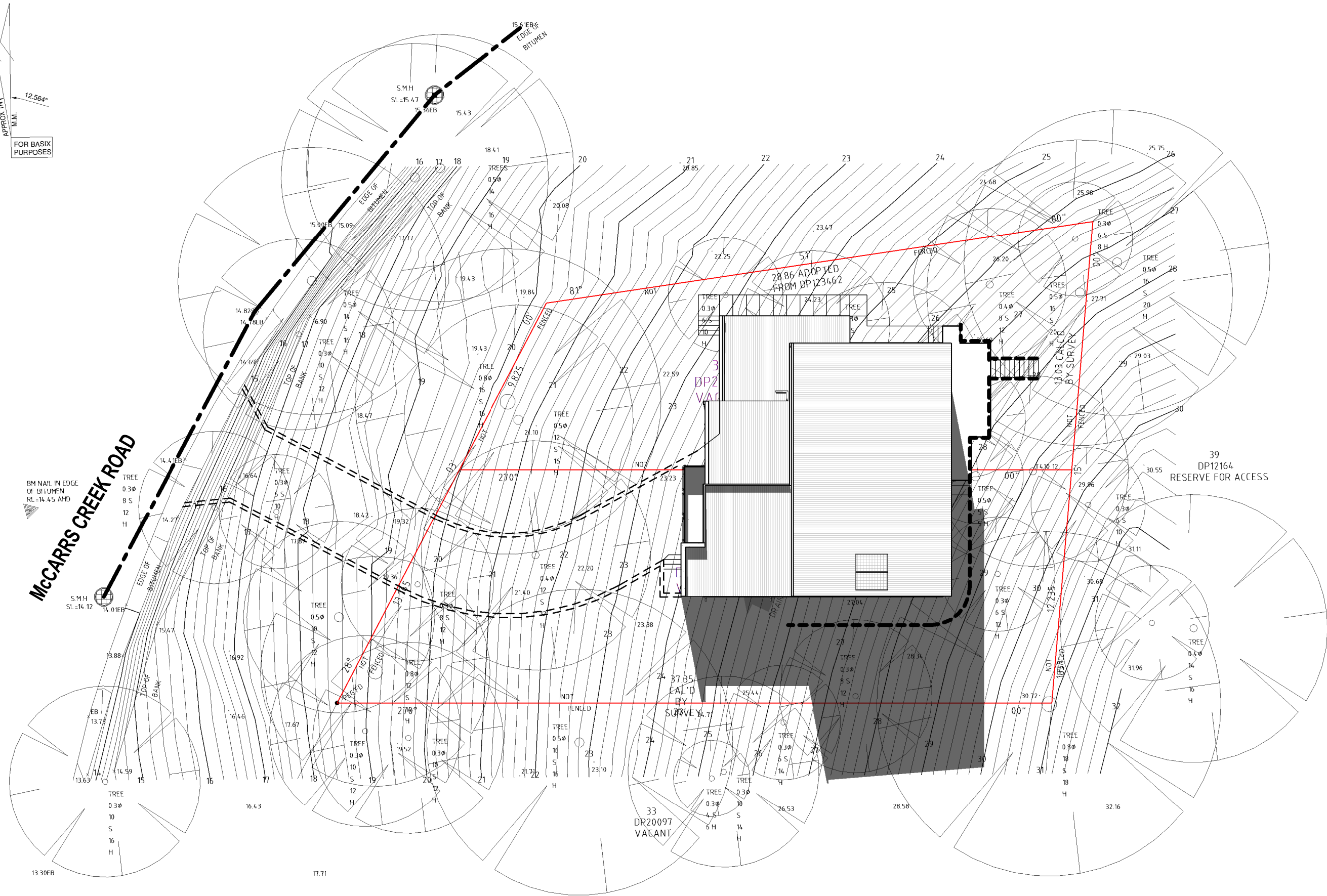
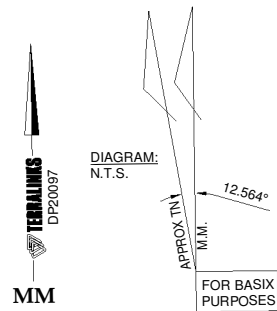
**S&E**  
Design Studio  
Email - suljobr@hotmail.com Mob - 0422 461 767

for / client  
MR AND MRS WANG  
**SHADOW DIAGRAM**  
**JUNE 21st 9AM**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL  
**DO NOT SCALE DRAWINGS**

stage: DA	project no: SE2501	dwg no: 16 / 23
drawn - SB	date: 16.02.25	scale: 1 : 200
checked - SB		





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D	AMENDMENT	06.04.25			
E	FFD DA SUBMISSION	29.05.25			

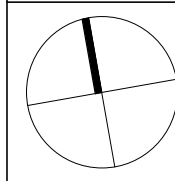
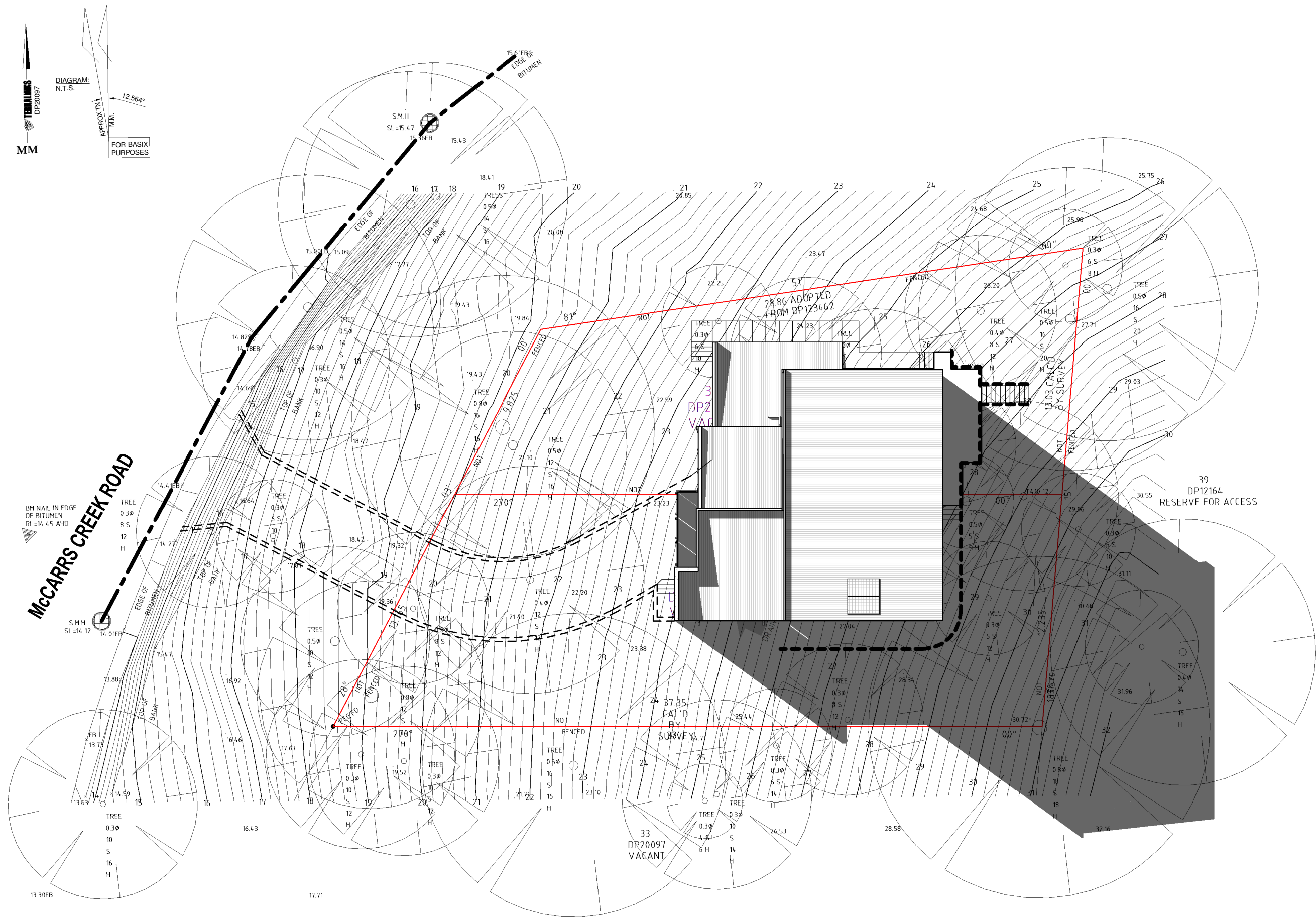
**S&E**  
Design Studio

Email - suljo@hotmial.com Mob - 0422 461 767

for / client  
MR AND MRS WANG  
**SHADOW DIAGRAM**  
**JUNE 21st 12PM**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL  
**DO NOT SCALE DRAWINGS**

stage: DA	project no: SE2501	dwg no: 17/23
drawn - SB	date: 16.02.25	scale: 1 : 200
checked - SB		



All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist). FFL denotes - concrete level. floor joist + selected flooring. All construction work to comply with the NCC and all relevant Australian standards. All previous issues are to be discarded only these plans are to be read

rev	amendment	date	rev	amendment	date
A	FD	16.02.25			
B	AMENDMENT	07.03.25			
C	AMENDMENT	18.03.25			
D	AMENDMENT	06.04.25			
E	FFD DA SUBMISSION	29.05.25			



**S&E**  
Design Studio

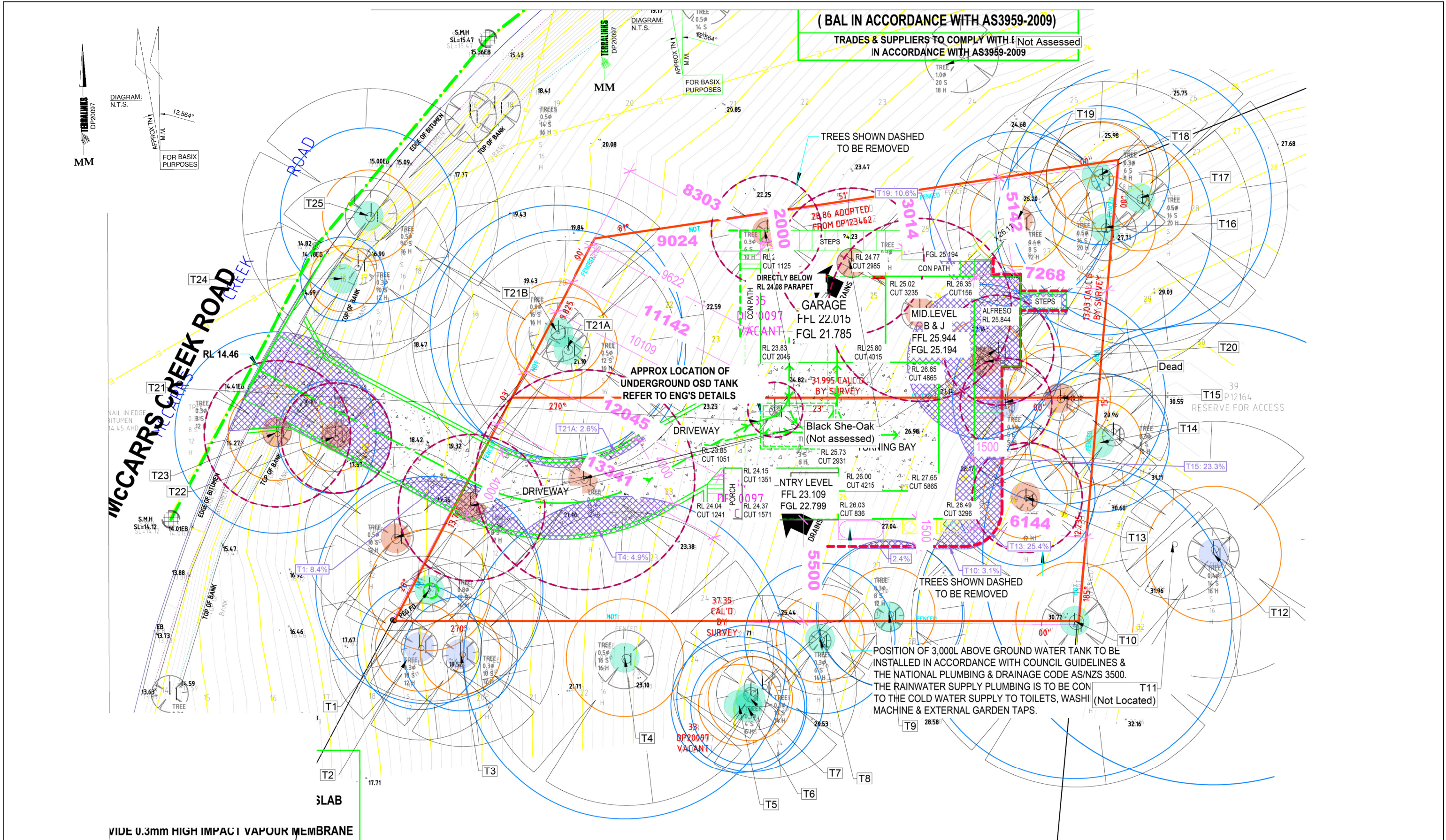
Email - suljo@hotmial.com Mob - 0422 461 767

for / client  
MR AND MRS WANG  
**SHADOW DIAGRAM**  
**JUNE 21st 3PM**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL  
**DO NOT SCALE DRAWINGS**

stage: DA	project no: SE2501	dwg no: 18/23
drawn - SB	date: 16.02.25	scale: 1 : 200
checked - SB		





VIDE 0.3mm HIGH IMPACT VAPOUR MEMBRANE



Blues Brothers Arboriculture  
PO BOX 102,  
BALGOWLAH NSW 2094  
0439991122  
www.bluesbros.com.au  
gordon@bluesbros.com.au

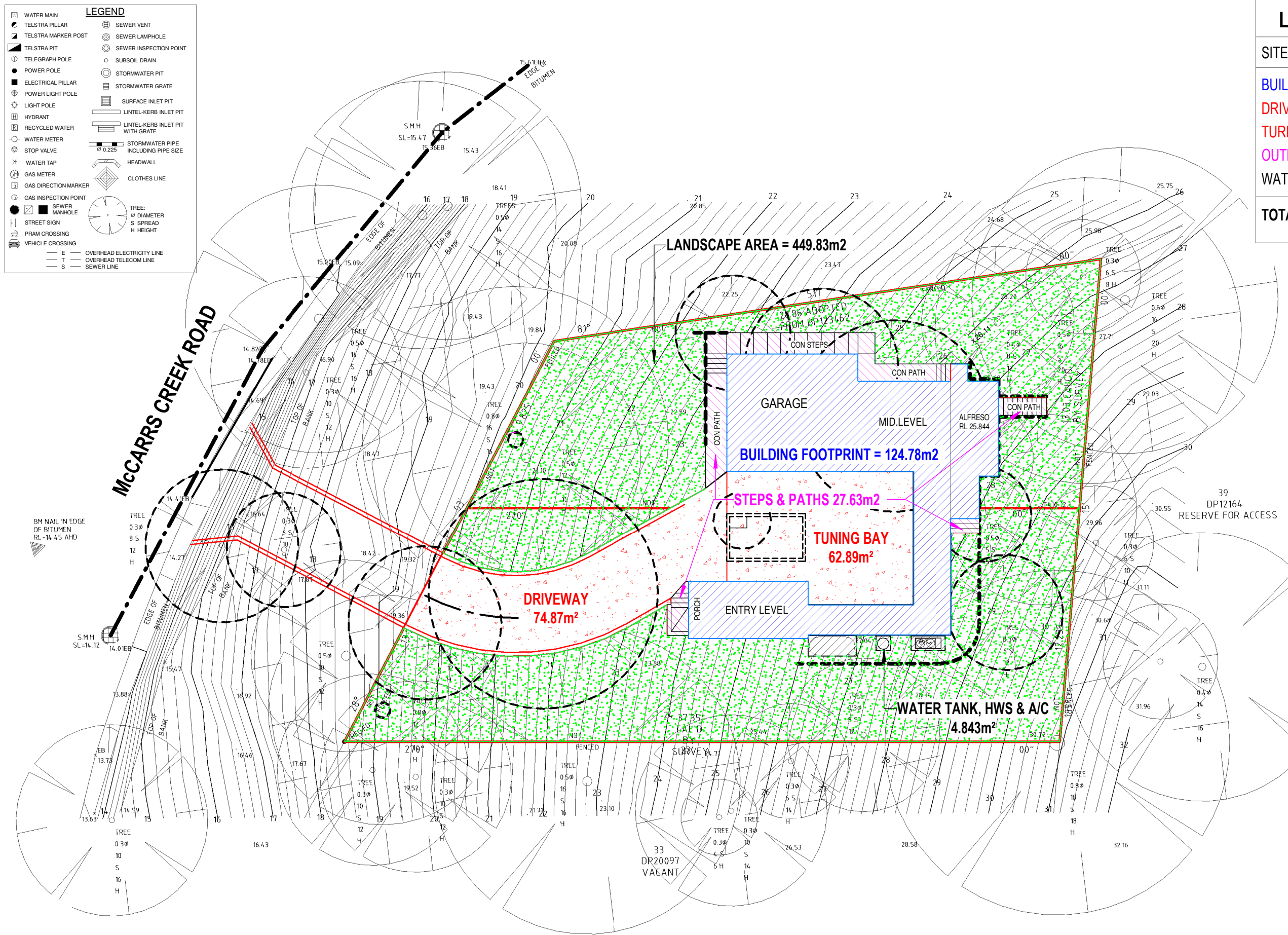
Title: Tree Retention Plan  
Revision: 01  
Project: 231-233 McCarrs Ck Rd - Church Point  
Plot Date: 04/07/2025

Key:  
Tree for retention  
Tree for Removal (DA Encroachment)  
Tree for Removal (Structural / health concerns)

REFER TO ARBORIST REPORT  
BY: BLUES BROS ARBORICULTURE  
DATED : 14.04.25

	<p>All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist) FFL denotes - concrete level floor joist + selected flooring All construction work to comply with the NCC and all relevant Australian standards</p> <p><b>All previous issues are to be discarded only these plans are to be read</b></p>	rev	amendment	date	rev	amendment	date	 <p>S&amp;E Design Studio</p> <p>Email - suljobr@hotmail.com   Mob - 0422 461 767</p>	for / client	location	stage:	project no:	dwg no:
		A	FD	16.02.25					MR AND MRS WANG	LOT34/35, 231-233 McCARRS CREEK RD CHURCH POINT	DA	SE2501	19/23
		B	AMENDMENT	07.03.25					TREE REMOVAL PLAN	NORTHERN BEACHES COUNCIL	drawn - SB	date:	scale:
		C	AMENDMENT	18.03.25							checked - SB	16.02.25	1 : 200
D	AMENDMENT	06.04.25											
E	FFD DA SUBMISSION	29.05.25											







  
**TERMINUS**
  
 DP20097

DIAGRAM:  
 N.T.S.

APPROX. 12.56°

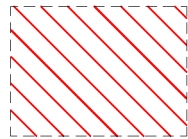
M.M.

FOR BASIS PURPOSES

**MM**

LOCATION: D:\work\WINCREST\17491\_Wang&Ma\Drawings\WORKING DRAWINGS\WORKING 06.04.25\WANG&MA - working - 06.04.25.rvt

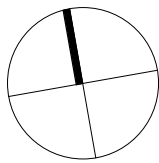
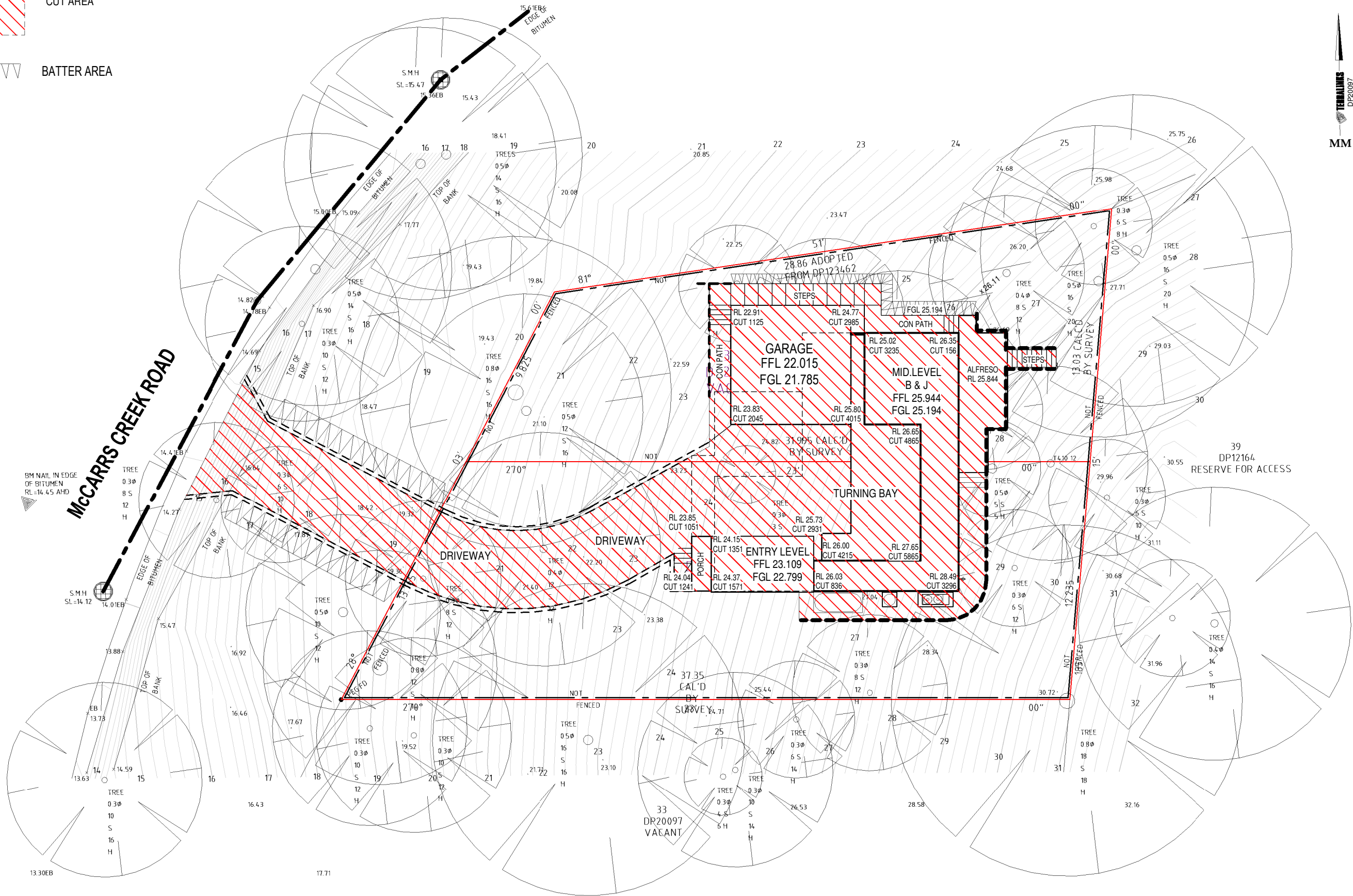
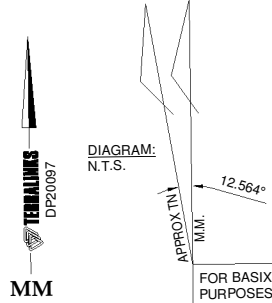




CUT AREA



BATTER AREA



All dimensions shown are to frame, underside of roof trusses and FFL (concrete to the underside of floor joist). FFL denotes - concrete level floor joist + selected flooring. All construction work to comply with the NCC and all relevant Australian standards. **All previous issues are to be discarded only these plans are to be read**

rev	amendment	date	rev	amendment	date
A	FD	16.02.25			
B	AMENDMENT	07.03.25			
C	AMENDMENT	18.03.25			
D	AMENDMENT	06.04.25			
E	FFD DA SUBMISSION	29.05.25			



Email - suljobr@hotmail.com Mob - 0422 461 767

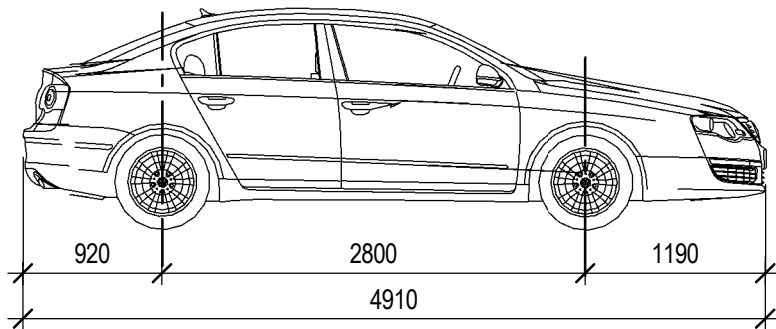
for / client  
MR AND MRS WANG  
**EXCAVATION AND  
FILL PLAN**

location  
LOT34/35, 231-233 McCARRS CREEK RD  
CHURCH POINT  
NORTHERN BEACHES COUNCIL  
**DO NOT SCALE DRAWINGS**

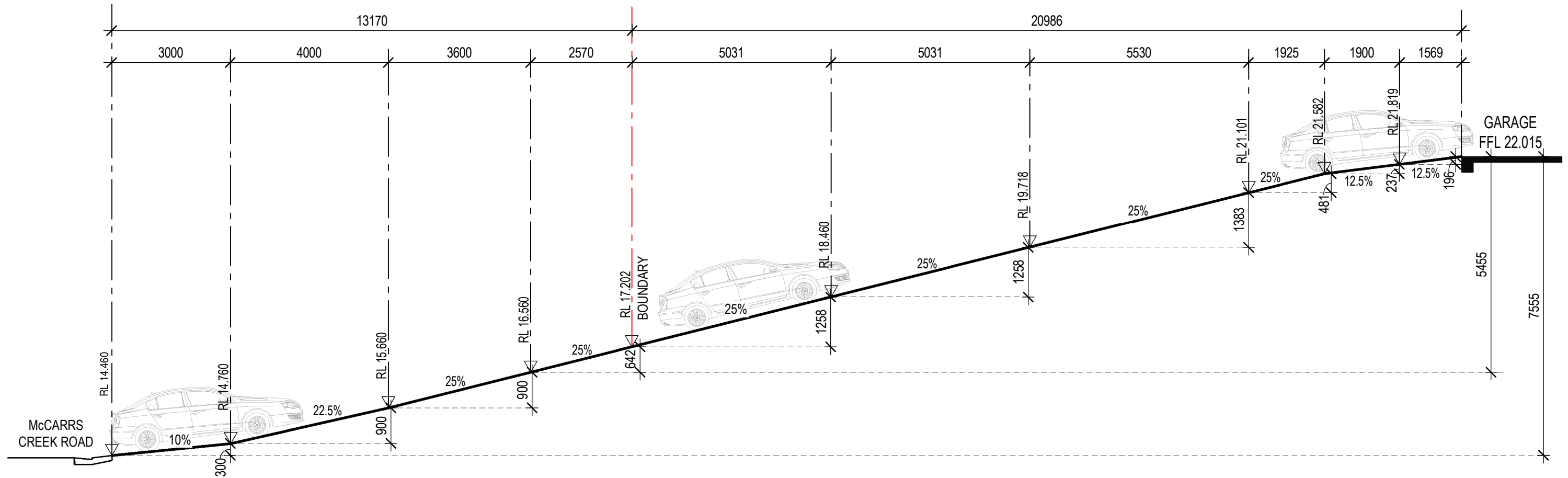
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drawn - SB	date: 16.02.25	scale: 1 : 200
checked - SB		







Australian B85 Type Vehicle – AS2890.1:2004



SCALE 1:100

All dimensions shown are to frame, underside of roof trusses and FFL (concrete) to underside of floor joist  FFL denotes - concrete level floor joist + selected flooring  All construction work to comply with the NCC and all relevant Australian standards  All previous issues are to be discarded only these plans are to be read	rev	amendment	date	rev	amendment	date	 Email - suljobr@hotmail.com Mob - 0422 461 767	for / client MR AND MRS WANG <b>LONGITUDINAL DRIVEWAY SECTION</b>	location LOT34/35, 231-233 McCARRS CREEK RD CHURCH POINT NORTHERN BEACHES COUNCIL <b>DO NOT SCALE DRAWINGS</b>	stage:	project no:	dwg no:
	A	FD	16.02.25							DA	SE2501	23 / 23
	B	AMENDMENT	07.03.25							drawn - SB	date:	scale:
	C	AMENDMENT	18.03.25							checked - SB	16.02.25	As indicated
	D	AMENDMENT	06.04.25									
	E	FFD DA SUBMISSION	29.05.25									