TAYLOR

NORTHERN SYDNEY
Seascape
Suite 7 22-27 Fisher Rd
Dee Why NSW 2099

BLUE MOUNTAINS
Shop 1
274 Macquarie Rd
Springwood NSW 2777

TAYLORCONSULTING.NET.AU

CONSULTING ENGINEERS
Civil
Structural
Stormwater & Flood

4 July 2025

General Manager
Northern Beaches Council
PO Box 882
MONA VALE NSW 1660

Re: Flood Assessment - 2131 Pittwater Road, Church Point

Dear Sir/Madam,

This letter is to advise that I have reviewed the architectural details (attached) dated 30 June 2025 by Chrofi for the proposed alterations and additions with respect to the Council flood certificate dated 20 August 2024 (also attached).

The site has no affectation with respect to the 1 in 100-year flood event per Map C in the Council flood certificate. Consequently, the proposed alterations and additions will be constructed outside the extents of the 1 in 100-year flood extents and the works do not require special flood proofing measures; as such the addition is considered to be in compliance with Clause B3.11 of Pittwater 21 Development Control Plan - 'Flood Prone Land'

As a result, the proposed works are considered satisfactory with respect to flooding of the site and it is considered that a site-specific Flood Risk Management Plan is not considered warranted in this instance.

Should you require any further information, please contact the undersigned.

Yours faithfully
TAYLOR CONSULTING

D.M.Schaefer - Director
B.E Civil (Hons) M.I.E. Aust. N.E.R.

S4.55 APPLICATION: ALTERATIONS AND ADDITIONS + NEW POOL

2131 PITTWATER ROAD CHURCH POINT NSW

APPLICANT: BRAD & LOUISE DOWE
DATE: 24/06/2025

DRAWING LIST

NO.	TITLE	SCALE
DA000	COVER PAGE	
DA001	SITE PLAN	1:200
DA100	LOWER GROUND FLOOR PLAN	1:100
DA101	GROUND FLOOR PLAN	1:100
DA102	FIRST FLOOR PLAN	1:100
DA103	ROOF PLAN	1:100
DA200	NORTH AND SOUTH ELEVATIONS	1:100
DA201	EAST AND WEST ELEVATIONS	1:100
DA300	SECTIONS A & B	1:100
DA301	SECTIONS C & D	1:100
DA400	SHADOW DIAGRAMS - WINTER SOLSTICE	1:500
DA500	BASIX	
DA501	BASIX	1:1
DA502	EXTERNAL FINISHES SCHEDULE	
DA503	AREAS	

FOR INFORMATION

ARCHITECT
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LEGEND

- BOUNDARY
- BUILDING ENVELOPE REQUIREMENTS
- APPROVED DA
- PROPOSED ADDITIONS
- NEW WALLS TO REPLACE EXISTING
- EXISTING
- ADDITIONAL EXCAVATION

REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
03	24/06/2025	SECTION 4.55 DA MODIFICATION

REV	DATE	ISSUE

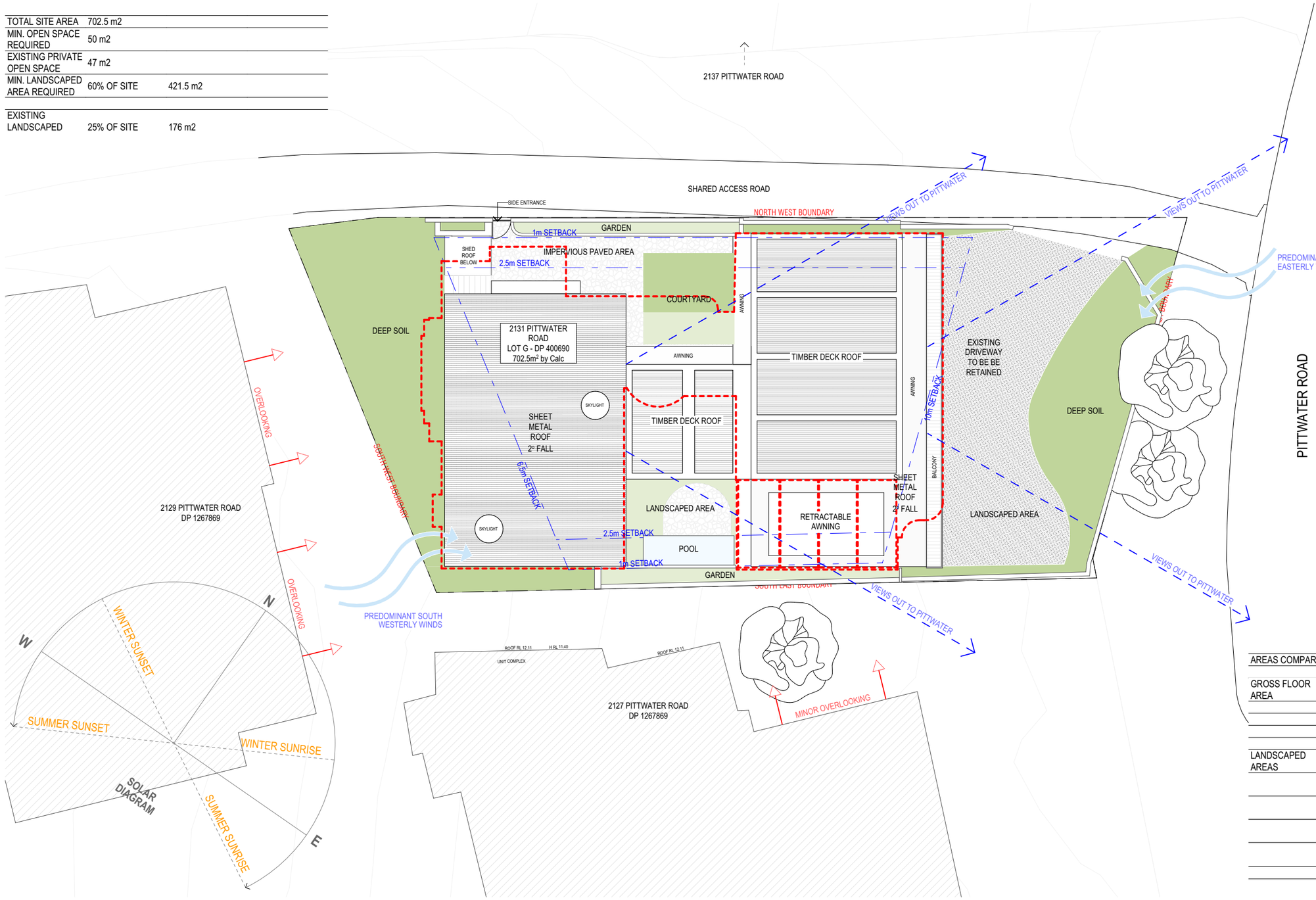
PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
25002	24/06/2025	TG / PW	MG		A3

DRAWING TITLE
COVER PAGE

DRAWING NUMBER	REVISION
DA000	03

TOTAL SITE AREA	702.5 m2	
MIN. OPEN SPACE REQUIRED	50 m2	
EXISTING PRIVATE OPEN SPACE	47 m2	
MIN. LANDSCAPED AREA REQUIRED	60% OF SITE	421.5 m2
EXISTING LANDSCAPED	25% OF SITE	176 m2



SECTION 4.55 UPDATES

1. CHANGE OF LOCATION TO THE STAIR AND LIFT TO REAR/WEST
2. CONNECTING VOLUME BETWEEN FRONT LIVING SPACES AND REAR BEDROOMS REDUCED TO 1 LEVEL AND MOVED SOUTH
3. FIRST FLOOR REDUCED IN LENGTH, INCREASING DISTANCE TO NORTHERN BOUNDARY (THIS IMPROVES VIEWS FROM NEIGHBOUR BEHIND)
4. POOL LOCATION ROTATED 90 DEGREES
5. RELOCATION OF BEDROOM 2 AND ENSUITE TO GROUND FLOOR LEVEL
6. RELOCATION OF KITCHEN TO CENTRE OF GROUND FLOOR LEVEL
7. NORTHERN FACING OPEN SPACE ENLARGED
8. OVERALL CHANGES TO WINDOWS AND DOORS THROUGHOUT
9. CONSOLIDATION OF MATERIALS (NO BRICK)

LEGEND

- BOUNDARY
- BUILDING ENVELOPE REQUIREMENTS
- APPROVED DA
- LANDSCAPE
- DEEP SOIL
- IMPERVIOUS LANDSCAPE | DRIVEWAY
- IMPERVIOUS LANDSCAPE
- ROOF GARDEN

AREAS COMPARISION TABLE			
		APPROVED DA	PROPOSED
GROSS FLOOR AREA		(m2)	(m2)
	FF	112.79	99.07
	GF	188.45	208.30
	LGF	186.00	219.32
	TOTAL	487.24 m2	526.69 m2
LANDSCAPED AREAS			
		APPROVED DA	PROPOSED
	ADDITIONAL LANDSCAPE	16.32	42.24
	DEEP SOIL	166.80	160.87
	IMPERVIOUS LANDSCAPE	257.78	241.89
	TOTAL	440.90	445
	% OF SITE AREA	62%	63.3%

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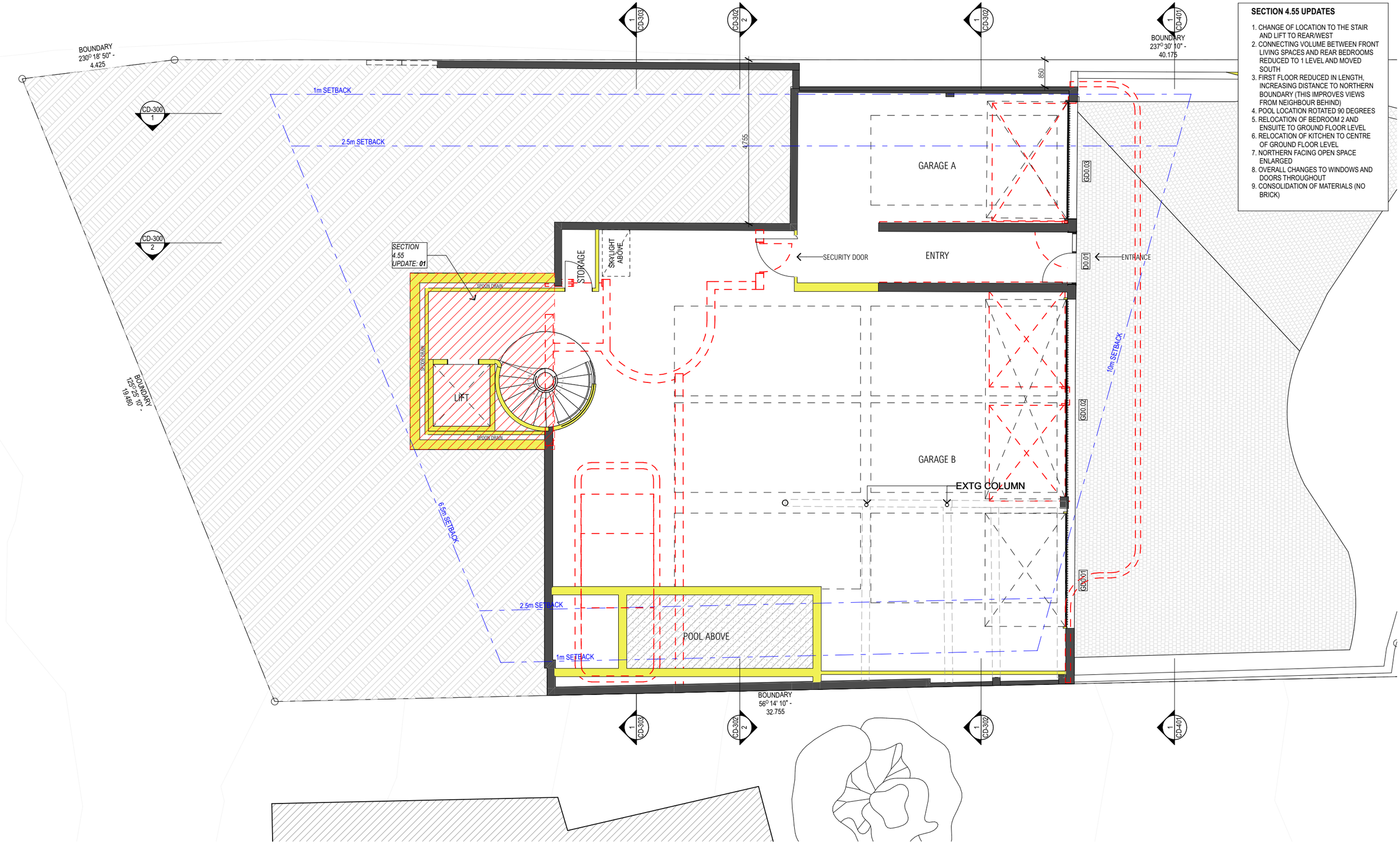
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG	1:200	A3	N

DRAWING TITLE
SITE PLAN

DRAWING NUMBER	REVISION
DA001	03



SECTION 4.55 UPDATES

1. CHANGE OF LOCATION TO THE STAIR AND LIFT TO REAR/WEST
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9. CONSOLIDATION OF MATERIALS (NO BRICK)

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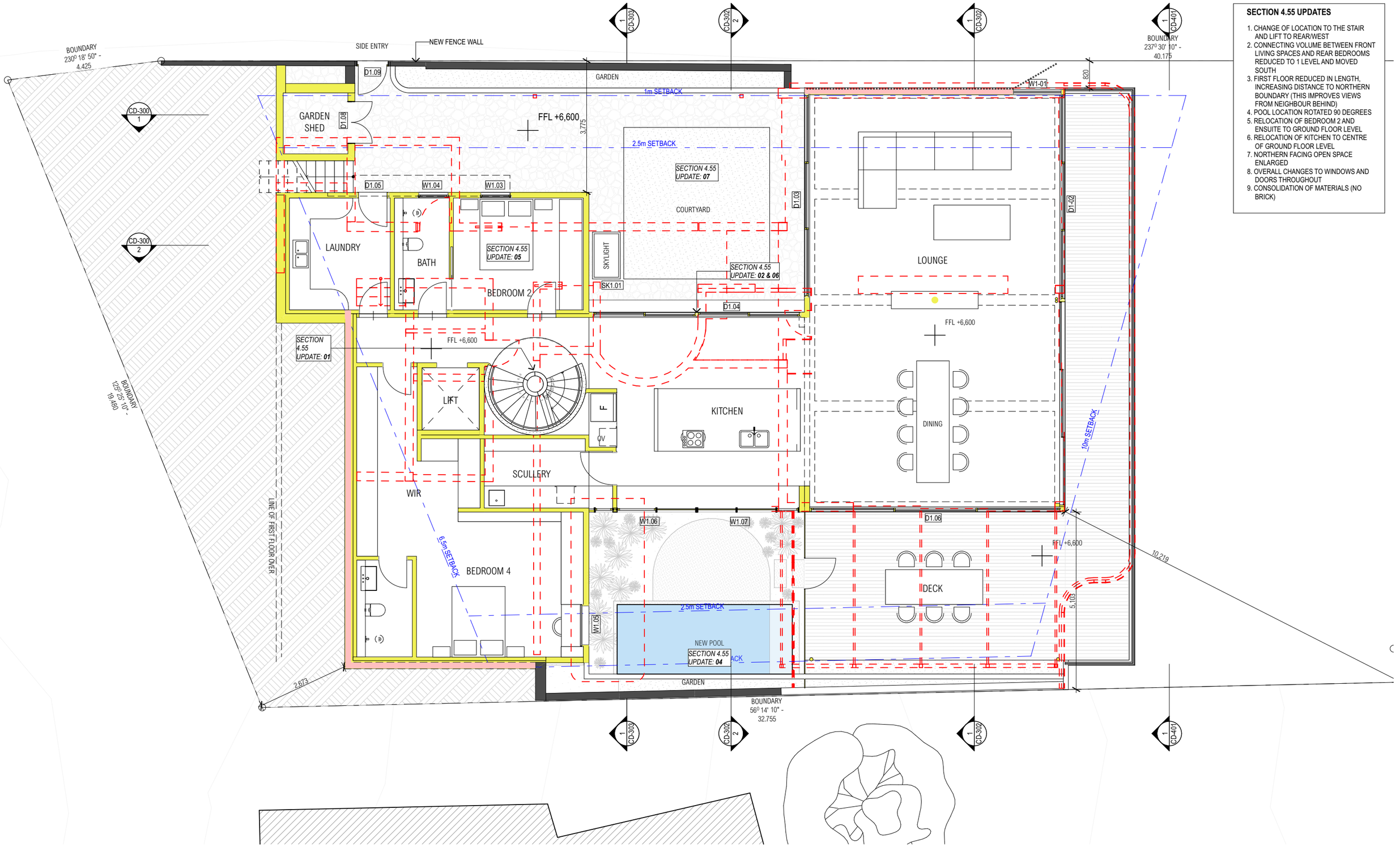
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	30/6/2025	TG / PW	MG	1:100	A3	

DRAWING TITLE
LOWER GROUND FLOOR PLAN

DRAWING NUMBER	REVISION
DA100	03



SECTION 4.55 UPDATES

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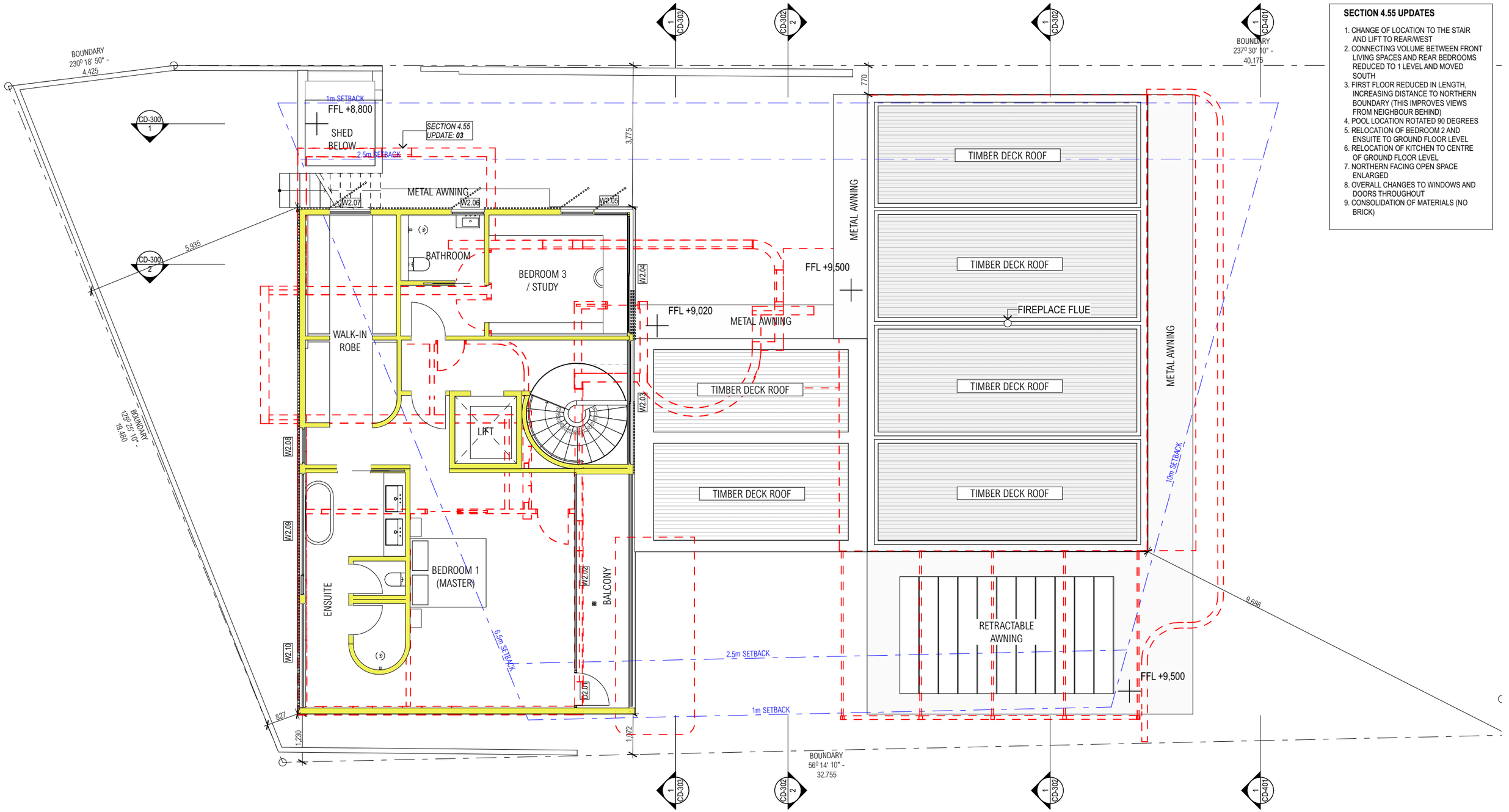
25002	30/6/2025	TG / PW	MG	1:100	A3	

DRAWING TITLE
GROUND FLOOR PLAN

DRAWING NUMBER	REVISION
DA101	03



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PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	30/6/2025	TG / PW	MG	1:100	A3	

DRAWING TITLE
FIRST FLOOR PLAN

DRAWING NUMBER	REVISION
DA102	03

SECTION 4.55 UPDATES

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BOUNDARY 230° 18' 50" - 4.425

NORTH WEST BOUNDARY

BOUNDARY 237° 30' 10" - 40.175

SOUTH BOUNDARY 125° 25' 10" - 19.480

SOUTH EAST BOUNDARY 56° 14' 10" - 32.755

1m SETBACK

2.5m SETBACK

6.5m SETBACK

10m SETBACK

+8,476

+9,000

ROOF BELOW

+10,000

+9,500

+ 12,645

+8,408

+8,434

+3,490

METAL AWNING BELOW

METAL AWNING

METAL ROOF

RFS-01

TIMBER DECK ROOF

SOLAR PANELS LOCATION INDICATIVE ONLY

SK3-02

SK3-01

MTL-01

RETRACTABLE AWNING

DA301 1

DA300 2

1 CD-303

2 CD-302

1 CD-302

1 CD-502

#LegID

#DrgID

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LEGEND

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REV	DATE	ISSUE

PROJECT

DOWE RESIDENCE

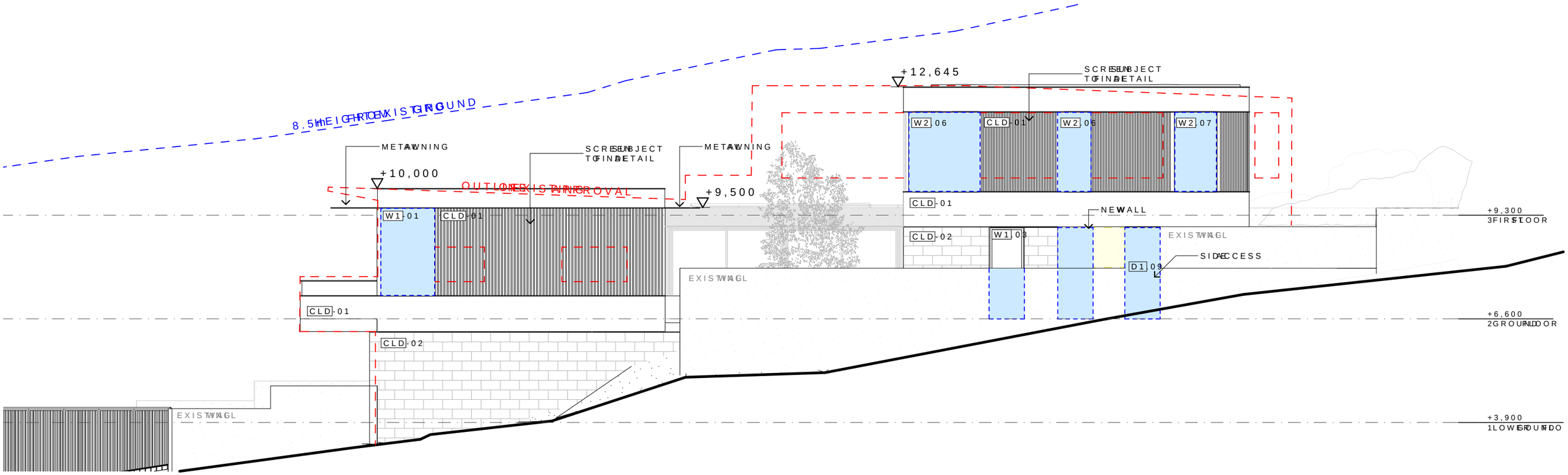
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG	1:100	A3	N

DRAWING TITLE

ROOF PLAN

DRAWING NUMBER	REVISION
DA103	03



FOR INFORMATION

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LEGEND
- BOUNDARY
- BUILDING ENVELOPE REQUIREMENTS
- APPROVED DA
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- EXISTING
- ADDITIONAL ELEVATION

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03	24/06/2025	SECTION 4.55 MODIFICATION

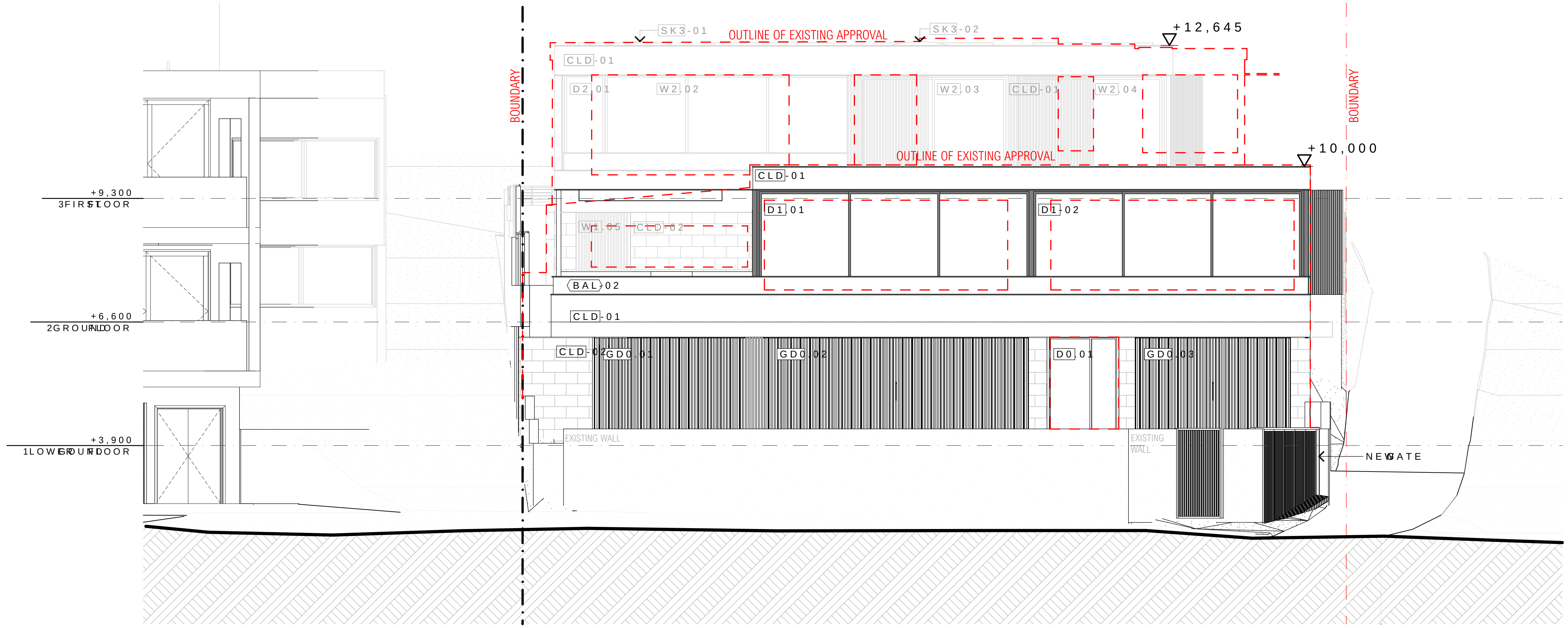
REV	DATE	ISSUE

PROJECT
DOWNES RESIDENCE
213 PITTWATER ROAD HUNTERS POINT

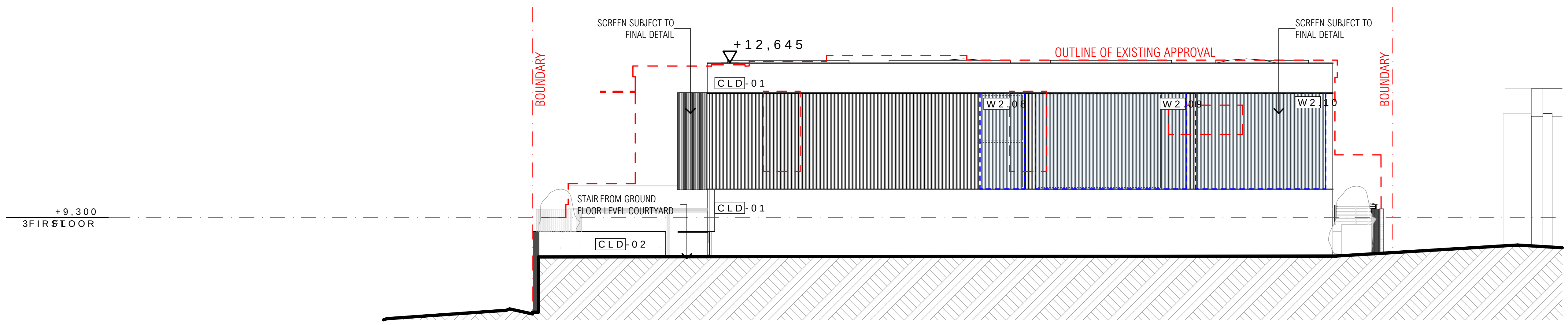
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
25002	24/06/2025	GP/SW	MG	1:100	A3

DRAWING TITLE
NORTH AND SOUTH ELEVATIONS

DRAWING NUMBER	REVISION
DA200	03



1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100

LEGEND

WINDOWS AND DOORS BEYOND

FINISHES LEGEND

CLD-01 CLADDING
CLD-02 NATURAL STONE CLADDING
CLD-03 RENDER
BAL-01 METAL BALUSTRADE
BAL-02 GLASS BALUSTRADE
BAL-03 GLASS BALUSTRADE (POOL FENCE)
RFS-01 METAL ROOF
VEG-01 GREEN ROOF
MTL-01 RETRACTABLE AWNING

FOR INFORMATION

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LEGEND

BOUNDARY
BUILDING ENVELOPE REQUIREMENT
APPROVED
PROPOSED ADDITIONS
NEW WALL OR REPLACE EXIST
EXISTING
ADDITIONAL EXCAVATION

REV	DATE	ISSUE
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PROJECT

DOWE RESIDENCE
213 PITTWATER ROAD CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
25002	24/06/2025	TW	MG	1:100	A3

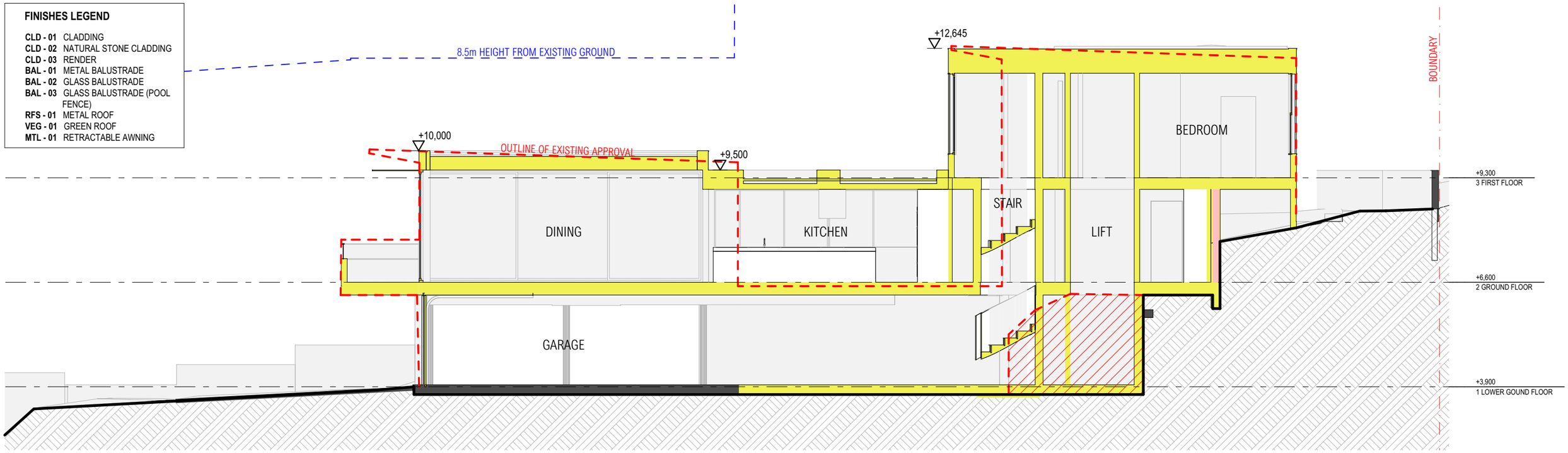
DRAWING TITLE

EAST AND WEST ELEVATI

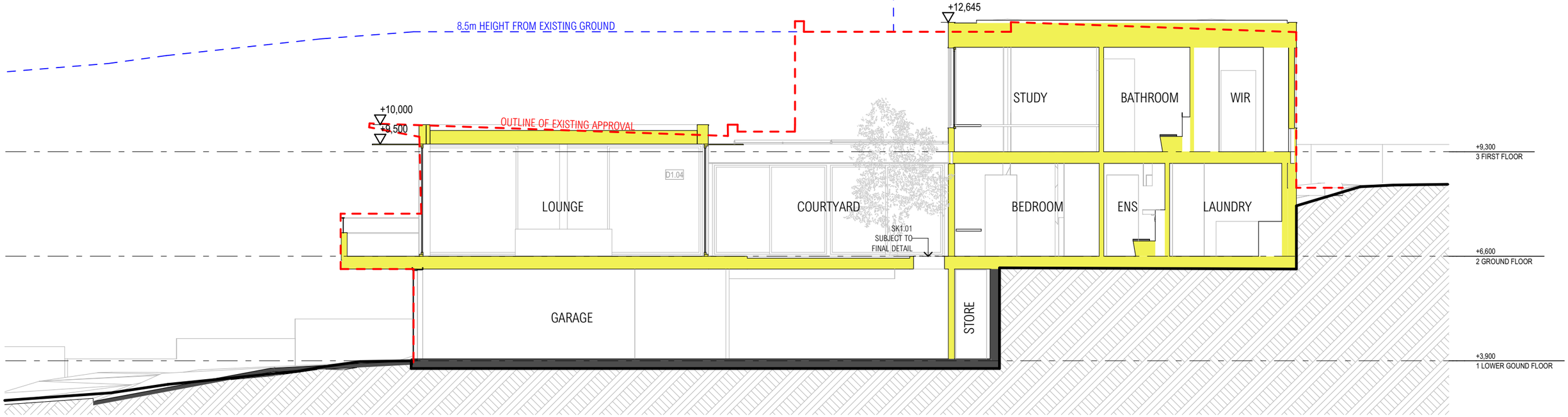
DRAWING NUMBER	REVISION
DA201	03

FINISHES LEGEND

CLD - 01 CLADDING
CLD - 02 NATURAL STONE CLADDING
CLD - 03 RENDER
BAL - 01 METAL BALUSTRADE
BAL - 02 GLASS BALUSTRADE
BAL - 03 GLASS BALUSTRADE (POOL FENCE)
RFS - 01 METAL ROOF
VEG - 01 GREEN ROOF
MTL - 01 RETRACTABLE AWNING



1 SECTION A
1:100



2 SECTION B
1:100

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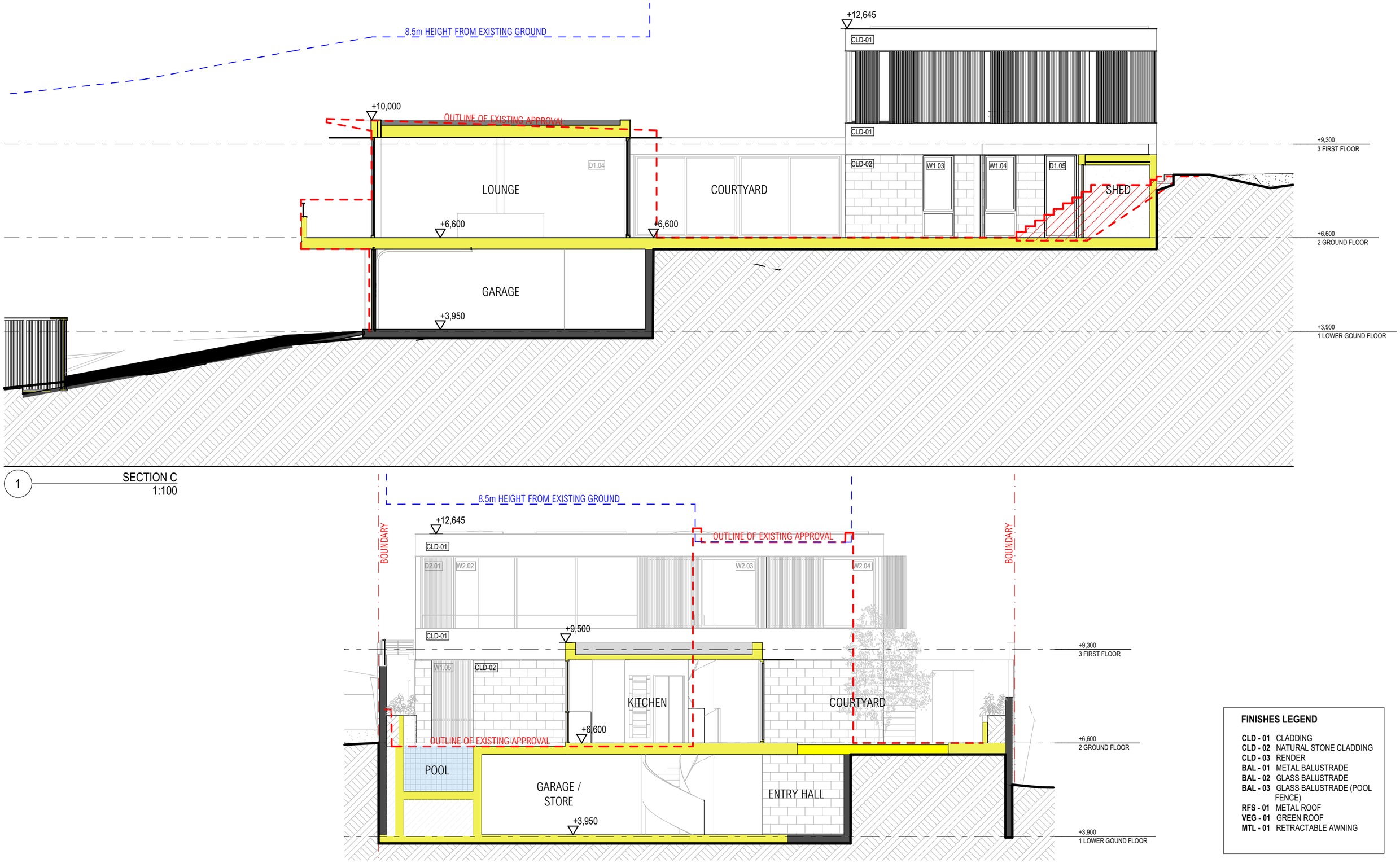
25002	24/06/2025	TG / PW	MG	1:100	A3

DRAWING TITLE
SECTIONS A & B

DRAWING NUMBER	REVISION
DA300	03



FINISHES LEGEND

CLD - 01	CLADDING
CLD - 02	NATURAL STONE CLADDING
CLD - 03	RENDER
BAL - 01	METAL BALUSTRADE
BAL - 02	GLASS BALUSTRADE
BAL - 03	GLASS BALUSTRADE (POOL FENCE)
RFS - 01	METAL ROOF
VEG - 01	GREEN ROOF
MTL - 01	RETRACTABLE AWNING

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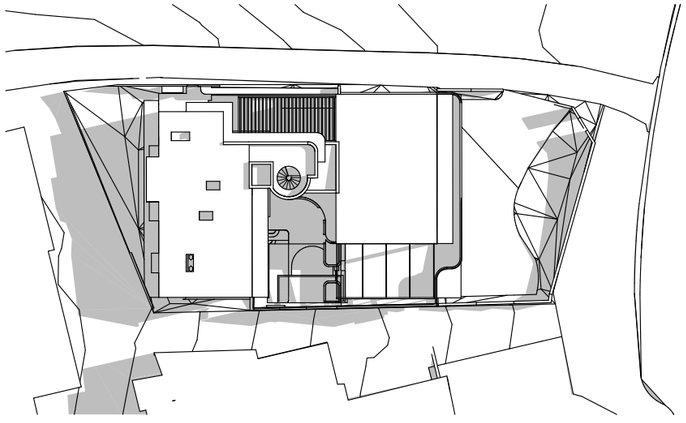
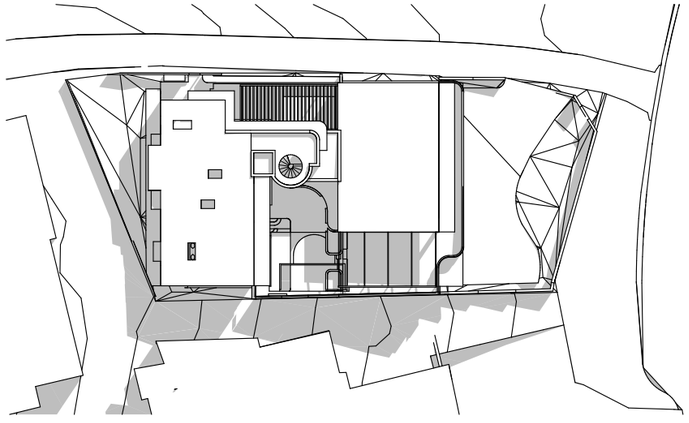
25002	24/06/2025	TG / PW	MG	1:100	A3

DRAWING TITLE
SECTIONS C & D

DRAWING NUMBER	REVISION
DA301	03



1 APPROVED 21 JUNE AT 0900
1:500



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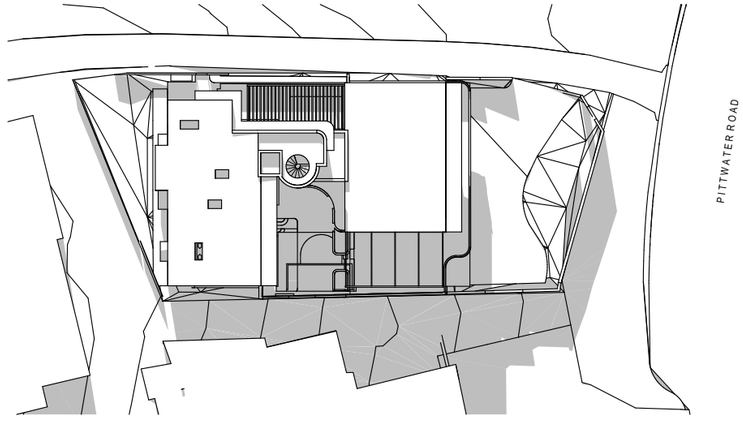

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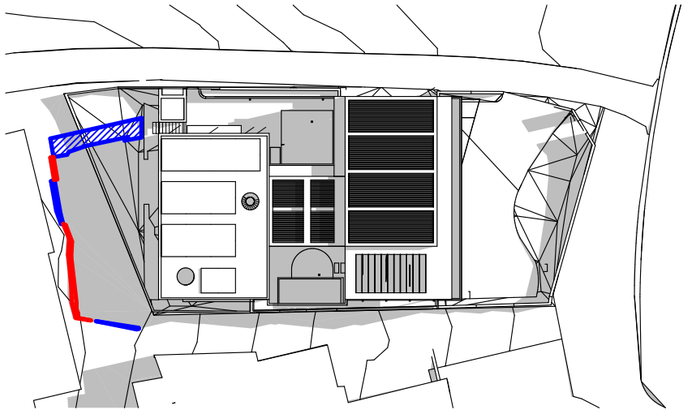

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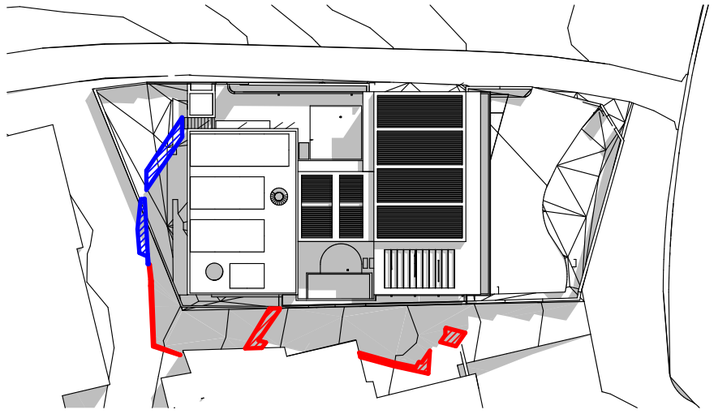

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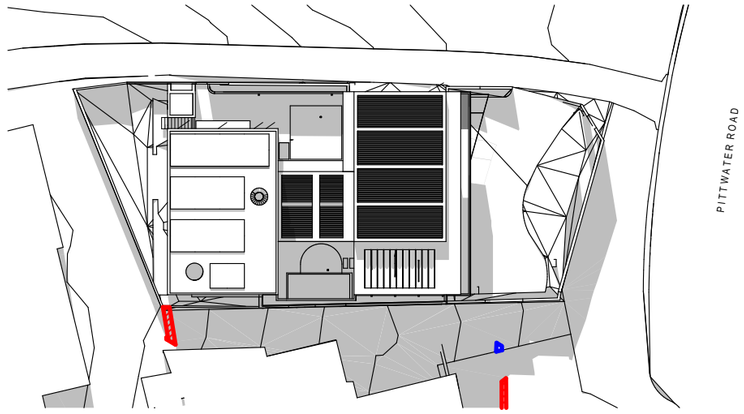

6 PROPOSED 21 JUNE AT 1500
1:500

LEGEND

REDUCED SHADOWS

INCREASED SHADOWS

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LEGEND

- BOUNDARY
- BUILDING ENVELOPE REQUIREMENTS
- APPROVED DA
- PROPOSED ADDITIONS
- NEW WALLS TO REPLACE EXISTING
- EXISTING
- ADDITIONAL EXCAVATION

REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
03	24/06/2025	SECTION 4.55 DA MODIFICATION

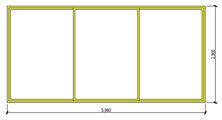
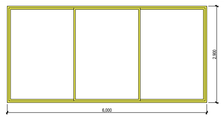
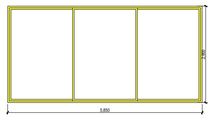
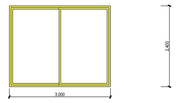
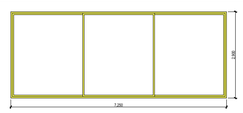
REV	DATE	ISSUE

PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

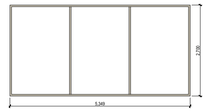
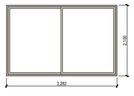
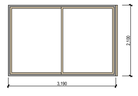
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
25002	24/06/2025	TG / PW	MG	1:500	A3

DRAWING TITLE
SHADOW DIAGRAMS - WINTER SOLSTICE

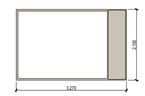
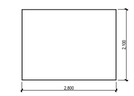
DRAWING NUMBER	REVISION
DA400	03

Elevation								
ID	D1-02	D1.01	D1.03	D1.04	D1.06	SK1.01	SK3-01	SK3-02
Home Story Name	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	ROOF	ROOF
ORIENTATION	NORTH / EAST	NORTH / EAST	SOUTH / WEST	NORTH WEST	SOUTH / EAST	GF: NORTH / WEST	TOP / ROOF	TOP / ROOF
QTY	1	1	1	2	1	1	1	1
Outside Frame Finish	DULUX Eternity - Champagne Kinetic	DULUX Eternity - Champagne Kinetic	DULUX Eternity - Champagne Kinetic	DULUX Eternity - Champagne Kinetic	DULUX Eternity - Champagne Kinetic	Metal - Nickel	Metal - Zinc	Metal - Zinc
Glass	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast
Unit Dimensions **Height**	2,900	2,900	2,900	2,400	2,900	1,350	1,400	1,400
Unit Dimensions **Width**	5,960	6,000	5,850	3,000	7,250	800	1,400	1,400
Frame Width	50	50	50	100	50	---	---	---
Frame Thickness	100	100	100	200	100	5	5	5
Glazing	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX
Screen / Awning	AWNING	AWNING	AWNING	AWNING	AWNING	N/A	N/A	N/A
BAL Rating	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Notes	--	-	--	--	--	-	-	-

WINDOW SCHEDULE

Elevation								
ID	W1-01	W1.03	W1.04	W1.05	W2.02	W2.03	W2.04	W2.05
Home Story Name	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ORIENTATION	NORTH / WEST	NORTH / WEST	NORTH / WEST	NORTH / EAST	NORTH / EAST	NORTH / EAST	NORTH / EAST	NORTH / WEST
QTY	1	1	1	1	1	1	1	1
Outside Frame Finish	Metal - Nickel	Paint - Light Gray	Paint - Light Gray	Metal - Nickel	Metal - Nickel	Paint - Light Gray	Paint - Light Gray	Metal - Nickel
Glass	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast
Unit Dimensions **Height**	2,300	2,400	2,400	2,400	2,700	2,100	2,100	2,100
Unit Dimensions **Width**	1,400	920	920	1,200	5,349	3,282	3,190	1,800
Frame Width	11	50	50	10	50	50	50	11
Frame Thickness	50	50	50	50	50	50	50	50
Glazing	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX
Screen / Awning	OPERABLE SCREEN	AWNING	AWNING	FIXED SCREEN	AWNING	FIXED SCREEN TO HALF OF THE WINDOW, OPERABLE SLIDING TO SECOND HALF	FIXED SCREEN TO HALF OF THE WINDOW, OPERABLE SLIDING SCREEN SECOND HALF	FIXED SCREEN
BAL Rating	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Notes	--	--	--	--	--	--	--	--

WINDOW SCHEDULE

Elevation					
ID	W2.06	W2.07	W2.08	W2.09	W2.10
Home Story Name	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ORIENTATION	NORTH / WEST	NORTH / WEST	SOUTH / WEST	SOUTH / WEST	SOUTH / WEST
QTY	1	1	1	1	1
Outside Frame Finish	Metal - Nickel	Metal - Nickel	Metal - Nickel	Metal - Nickel	Metal - Nickel
Glass	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast	Glass - Clear Fast
Unit Dimensions **Height**	2,100	2,100	2,100	2,100	2,100
Unit Dimensions **Width**	920	1,100	1,000	3,270	2,800
Frame Width	11	11	11	50	11
Frame Thickness	50	50	50	50	50
Glazing	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX	REFER TO BASIX
Screen / Awning	FIXED SCREEN	FIXED SCREEN	FIXED SCREEN	FIXED SCREEN	FIXED SCREEN
BAL Rating	N/A	N/A	N/A	N/A	N/A
Notes	--	--	--	--	--

DOOR SCHEDULE

Elevation		
ID	D1.05	D2.01
Home Story Name	GROUND FLOOR	FIRST FLOOR
ORIENTATION	NORTH / WEST	NORTH / EAST
QTY	1	1
Outside Frame Finish	Paint - Light Gray	Paint - Light Gray
Unit Dimensions **Height**	2,400	2,700
Unit Dimensions **Width**	920	926
Frame Width	10	10
Frame Thickness	115	50
Glazing	REFER TO BASIX	REFER TO BASIX
Screen / Awning	AWNING	AWNING
BAL Rating	N/A	N/A
Notes	--	--

FOR INFORMATION

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REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
03	24/06/2025	SECTION 4.55 DA MODIFICATION

REV	DATE	ISSUE

PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG		A1	N

DRAWING TITLE
BASIX

DRAWING NUMBER	REVISION
DA500	03

Basix Requirements Summary - Alterations & Additions

Alterations & Additions 2131 Pittwater Road CHURCH POINT NSW 2105	Prepared by Chapman Environmental Servi www.cesenergy.com.a 1300 004 914

Assessment Based on the Following Minimum Requirements

Fixtures	Shower heads	3 star (> 7.5 but <= 9 L/min)	Toilets	3 star	All taps	3 star
Alternative Water	Minimum Rainwater tank size (L)	n/a				
Pool and Spa	Max pool volume (kL)	24	Pool requires a cover		Pool pump must have a timer	
	Pool heating	No heating				
Energy	Hot water system	n/a				
Lighting	The applicate must ensure A minimum of 40% of new or altered light fixtures must be fitted with fluorescent, comp fluorescent, or light-emitting diode (LED) lamps.					

Assessment Based on the Following Minimum Requirements

Floor Types	Concrete slab on ground	with	n/a	
External Walls	Timber framed Fibro clad	with	Minumum Sarking and R1.3 bulk insulation	
Internal Walls	Plasterboard	with	No insulation required	
Ceilings (roof over)	Timber above plasterboard.	with	Minumum R1.00 bulk insulation	
Roof	Metal	with	55mm roof blanket	Colour Light

Windows and Doors	AF single glazed clear	Group A & B | ALM-002-01 | U-Value 7.63 or less | SHGC 0.75 or
	TF single glazed clear	Group A & B | TIM-002-01 | U-Value 5.71 or less | SHGC 0.66 or le
	TF single glazed LowE W1.03, W1.04 & D1.05 only	Group A & B | TIM-002-03 | U-Value 3.99 or less | SHGC 0.40 or le
	Skylight	Skylights | VEL-011-01 | U-Value 2.60 or less | SHGC 0.24 o
		Group A doors are Bifold, Entry, French or Hinged
	Group B windows are Double hung, Fixed, Louvre or Sliding	Group B doors are Sliding or Stacker
	AF = Aluminium Framed | TB = Thermally Broken Aluminium Framed	TF = Timber Framed

All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA

If there is a discrepancy between this document and the BASIX Certificate, then the BASIX Certificate shall take precedence

This document to be read in conjunction with the Basix Certificate and Nathers Universal Certificate

FOR INFORMATION

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REV	DATE	ISSUE
01	24/06/2025	SECT 4.55 MODIFICATION

REV	DATE	ISSUE

PROJECT

DOW RESIDENCE

2131 PITTWATER RD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG	1:1	A1	N

DRAWING TITLE

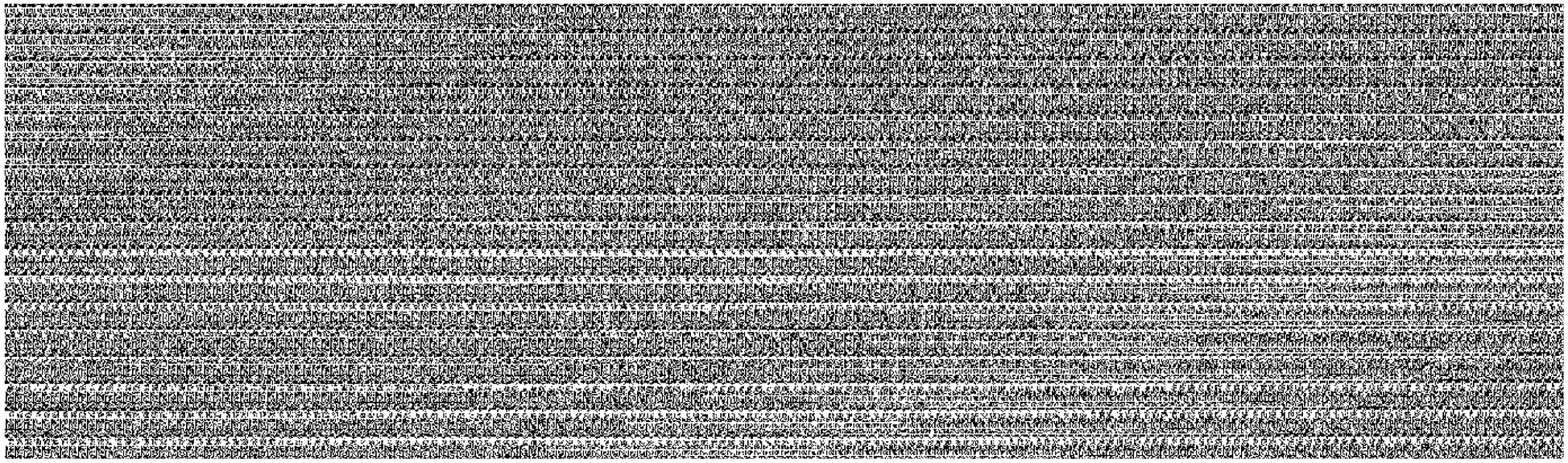
BASIX

DRAWING NUMBER	REVISION
DA501	01

CLD-01 LIGHT WEIGHT CLADDING

CLD-02 NATURAL STONE

CLD-03 RENDER



RFS-01 METAL ROOF SHEET

BAL-01 METAL BALUSTRADE

BAL-02 GLASS BALUSTRADE (POOL FENCE)

ALUMINIUM WINDOW FRAMES

FINISHES LEGEND

CLD - 01 CLADDING
CLD - 02 NATURAL STONE CLADDING
CLD - 03 RENDER
BAL - 01 METAL BALUSTRADE
BAL - 02 GLASS BALUSTRADE
BAL - 03 GLASS BALUSTRADE (POOL FENCE)
RFS - 01 METAL ROOF
VEG - 01 GREEN ROOF
MTL - 01 RETRACTABLE AWNING

FOR INFORMATION

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REV	DATE	ISSUE
01	16/05/2025	FOR INFORMATION
02	10/06/2025	SECTION 4.55 DA MODIFICATION
03	24/06/2025	SECTION 4.55 DA MODIFICATION

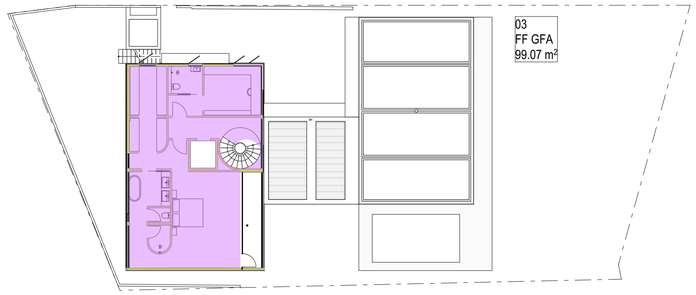
REV	DATE	ISSUE

PROJECT
DOWE RESIDENCE
2131 PITTWATER ROAD, CHURCH POINT

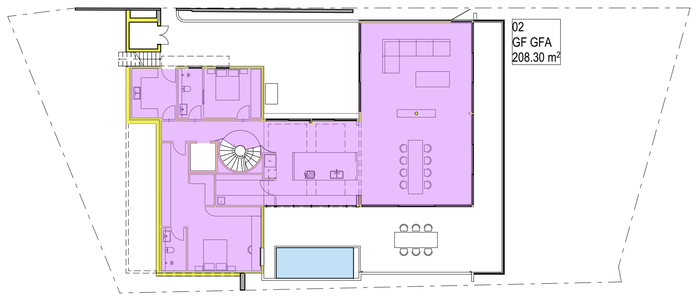
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG		A1	

DRAWING TITLE
EXTERNAL FINISHES SCHEDUL

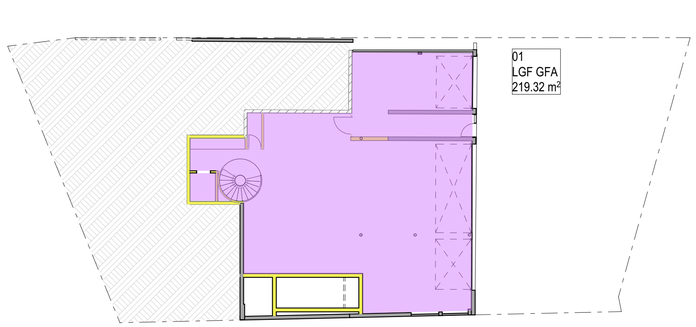
DRAWING NUMBER	REVISION
DA502	03



1 FIRST FLOOR

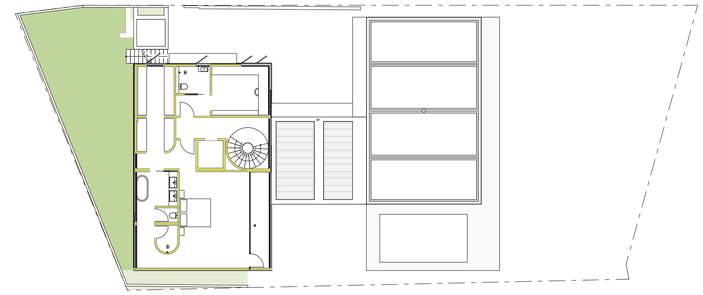


2 GROUND FLOOR

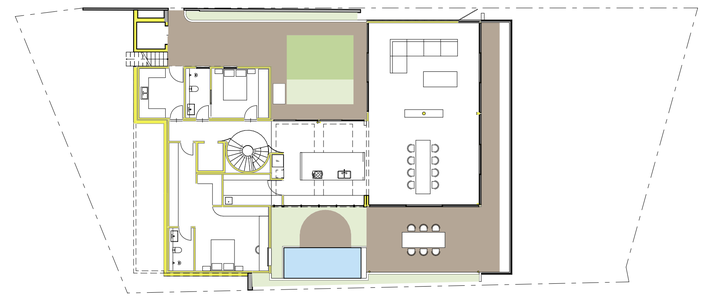


3 LOWER GOUND FLOOR

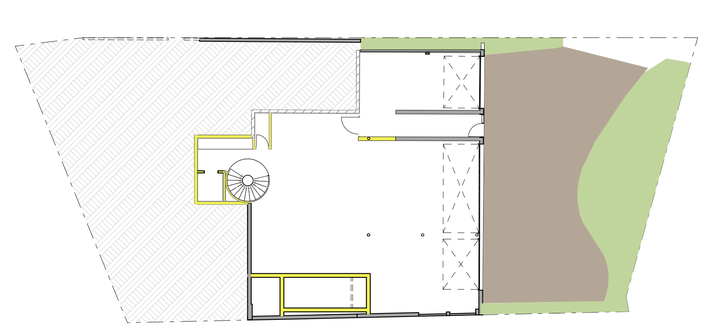
AREAS COMPARISION TABLE			
		APPROVED DA	PROPOSED
GROSS FLOOR AREA		(m2)	(m2)
	FF	112.79	99.07
	GF	188.45	208.30
	LGF	186.00	219.32
	TOTAL	487.24 m2	526.69 m2



4 FIRST FLOOR



5 GROUND FLOOR



6 LOWER GOUND FLOOR

AREAS COMPARISION TABLE			
		APPROVED DA	PROPOSED
	ADDITIONAL LANDSCAPE	16.32	42.24
	DEEP SOIL	166.80	160.87
	IMPERVIOUS LANDSCAPE	257.78	241.89
	TOTAL	440.90	445
	% OF SITE AREA	62%	63.3%

AREAS LEGEND

- LANDSCAPE
- DEEP SOIL
- IMPERVIOUS LANDSCAPE
- GFA

FOR INFORMATION

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REV	DATE	ISSUE
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PROJECT

DOWE RESIDENCE

2131 PITTWATER ROAD, CHURCH POINT

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	NORTH
25002	24/06/2025	TG / PW	MG		A1	N

DRAWING TITLE

AREAS

DRAWING NUMBER	REVISION
DA503	03

COMPREHENSIVE
FLOOD INFORMATION REPORT

Property: 2131 Pittwater Road CHURCH POINT NSW 2105
Lot DP: Lot G DP 400696
Issue Date: 20/08/2024
Flood Study Reference: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV

Flood Information[1]:

Map A - Flood Risk Precincts
Maximum Flood Planning Level (FPL) [2, 3, 4]: 6.72 m AHD

Map B - 1% AEP Flood & Key Points
1% AEP Maximum Water Level [2, 3]: 6.22 m AHD
1% AEP Maximum Depth from natural ground level[3]: 0.31 m
1% AEP Maximum Velocity: 0.42 m/s

Map C - 1% AEP Hydraulic Categorisation
1% AEP Hydraulic Categorisation: N/A

Map D - Probable Maximum Flood
PMF Maximum Water Level (PMF) [4]: 6.63 m AHD
PMF Maximum Depth from natural ground level: 0.36 m
PMF Maximum Velocity: 1.15 m/s

Map E - Flooding with Climate Change
1% AEP Maximum Water Level with Climate change [3]: 6.22 m AHD
1% AEP Maximum Depth with Climate Change[3]: 0.32 m

Map F - Flood Life Hazard Category in PMF
H1

Map G - Indicative Ground Surface Spot Heights

(1) The provided flood information does not account for any local overland flow issues nor private stormwater drainage systems.
(2) Overland flow/mainstream water levels may vary across a sloping site, resulting in variable minimum floor/ flood planning levels across the site. The maximum Flood Planning Level may be in a different location to the maximum 1% AEP flood level.
(3) Intensification of development in the former Pittwater LGA requires the consideration of climate change impacts which may result in higher minimum floor levels.
(4) Vulnerable/critical developments require higher minimum floor levels using the higher of the PMF or FPL

Notes

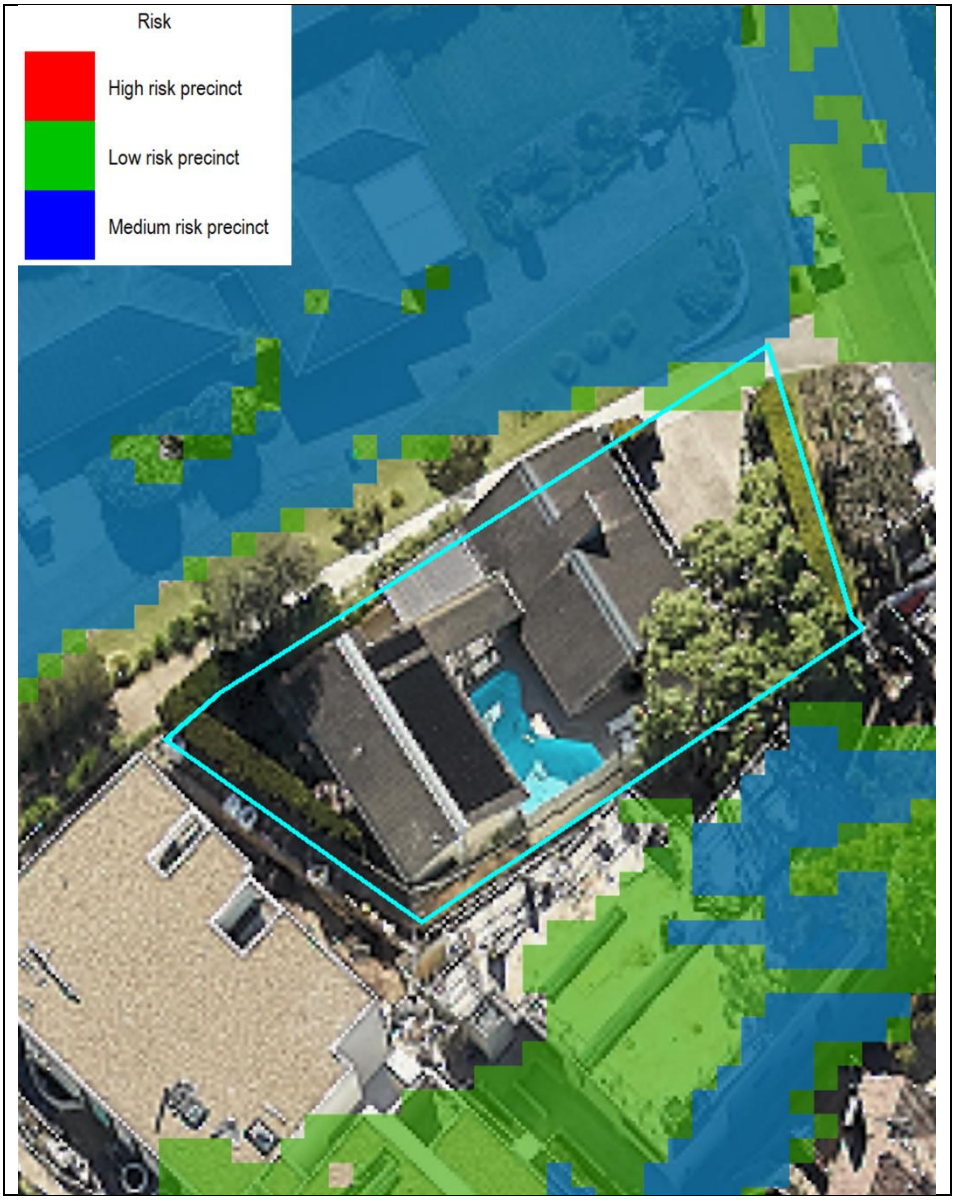
General

- All levels are based on Australian Height Datum (AHD) unless otherwise noted.
- This is currently the best available information on flooding; it may be subject to change in the future.
- Council recommends that you obtain a detailed survey of the above property and surrounds to AHD by a registered surveyor to determine any features that may influence the predicted extent or frequency of flooding. It is recommended you compare the flood level to the ground and floor levels to determine the level of risk the property may experience should flooding occur.
- Development approval is dependent on a range of issues, including compliance with all relevant provisions of Northern Beaches Council's Local Environmental Plans and Development Control Plans.
- Please note that the information contained within this letter is general advice only as a detail survey of the property as well as other information is not available. Council recommends that you engage a suitably experienced consultant to provide site specific flooding advice prior to making any decisions relating to the purchase or development of this property.
- The Flood Studies on which Council's flood information is based are available on Council's online Flood Study Reports webpage.
- If the FPL is higher than the PMF level, then the FPL should still be used as the FPL, as it includes freeboard which the PMF does not.
- If the property is affected by an Estuarine Planning Level (EPL) which is higher than the FPL, then the EPL should be used as the FPL.
- Areas affected by an EPL in the former Pittwater LGA are mapped on Council's online Estuarine Hazard Map. Note that areas in the former Manly LGA affected by an EPL have been identified and will be soon added to this map.
- Council's drainage infrastructure is mapped on Council's Stormwater Map. Note that locations are indicative only and may not be exactly as shown.

Property

- Please note that as the property is outside the Flood Planning Area (Medium Flood Risk Precinct), a formal Flood Management Report would not need to be submitted to council with a Development Application for Residential Development.

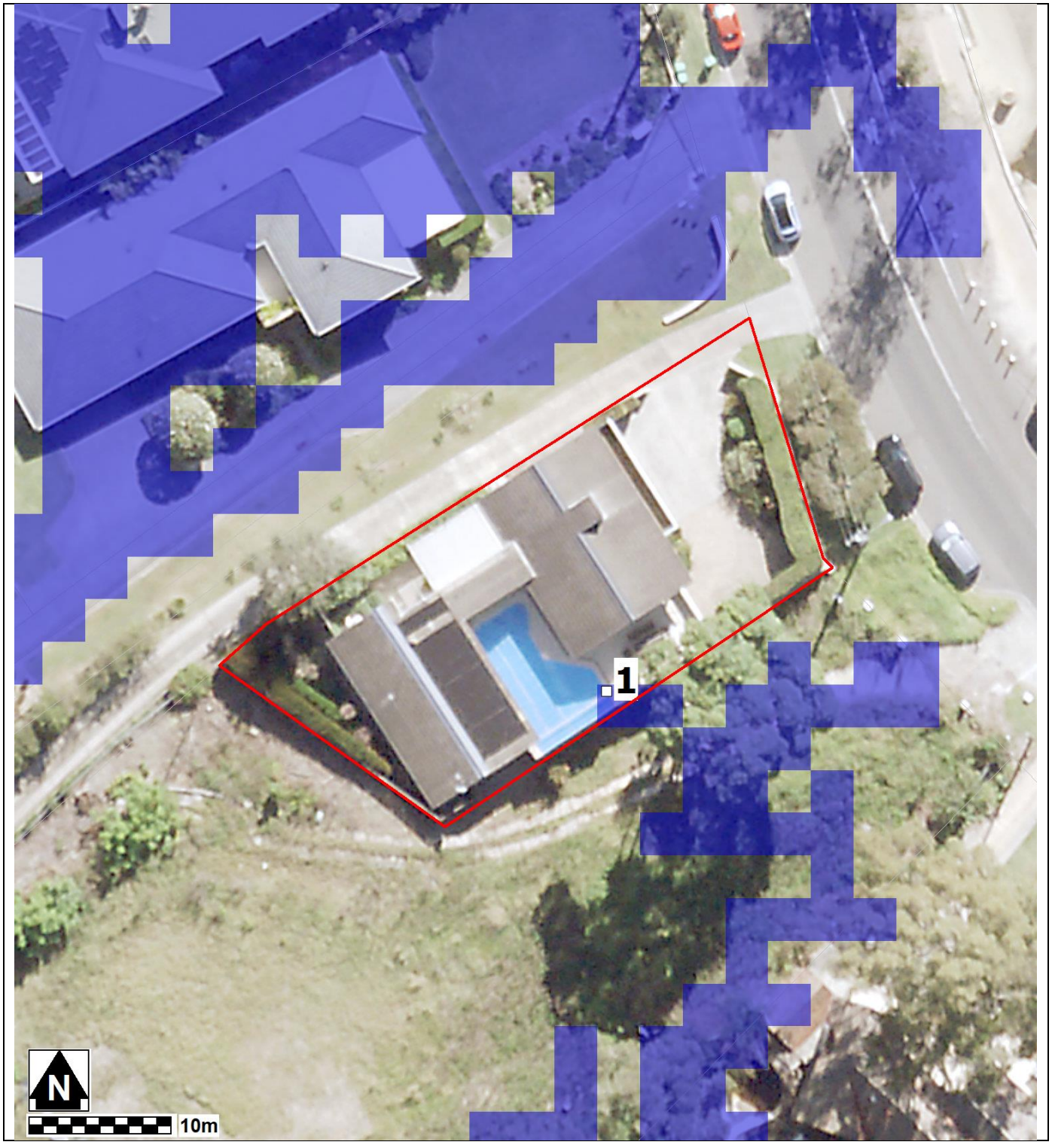
MAP A: FLOOD RISK PRECINCTS



Notes:

- **Low Flood Risk precinct** means all flood prone land not identified within the High or Medium flood risk precincts.
- **Medium Flood Risk precinct** means all flood prone land that is (a) within the 1% AEP Flood Planning Area; and (b) is not within the high flood risk precinct.
- **High Flood Risk precinct** means all flood prone land (a) within the 1% AEP Flood Planning Area; and (b) is either subject to a high hydraulic hazard, within the floodway or subject to significant evacuation difficulties (H5 or H6 Life Hazard Classification).
- The **Flood Planning Area** extent is equivalent to the Medium Flood Risk Precinct extent and includes the High Flood Risk Precinct within it. The mapped extent represents the 1% annual Exceedance Probability (AEP) flood event + freeboard.
- None of these mapped extents include climate change.
- Cadastre Lines (Source: NSW Government Land and Property Information), flood levels/extents (Source: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV) and aerial photography (Source: NearMap 2014) are indicative only.

MAP B: FLOODING - 1% AEP EXTENT & KEY POINTS



Notes:

- Extent represents the 1% Annual Exceedance Probability (AEP) flood event.
- Flood events exceeding the 1% AEP can occur on this site.
- Extent does not include climate change.
- Cadastre Lines (Source: NSW Government Land and Property Information), flood levels/extents (Source: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV) and aerial photography (Source Near Map 2014) are indicative only.

Flood Levels

ID	5% AEP Max WL (m AHD)	5% AEP Max Depth (m)	1% AEP Max WL (m AHD)	1% AEP Max Depth (m)	1% AEP Max Velocity (m/s)	Flood Planning Level (m)	PMF Max WL (m AHD)	PMF Max Depth (m)	PMF Max Velocity (m/s)
1	N/A	N/A	6.22	0.15	0.42	N/A	6.27	0.21	0.67

Climate Change Flood Levels (30% Rainfall intensity and 0.9m Sea Level Rise)

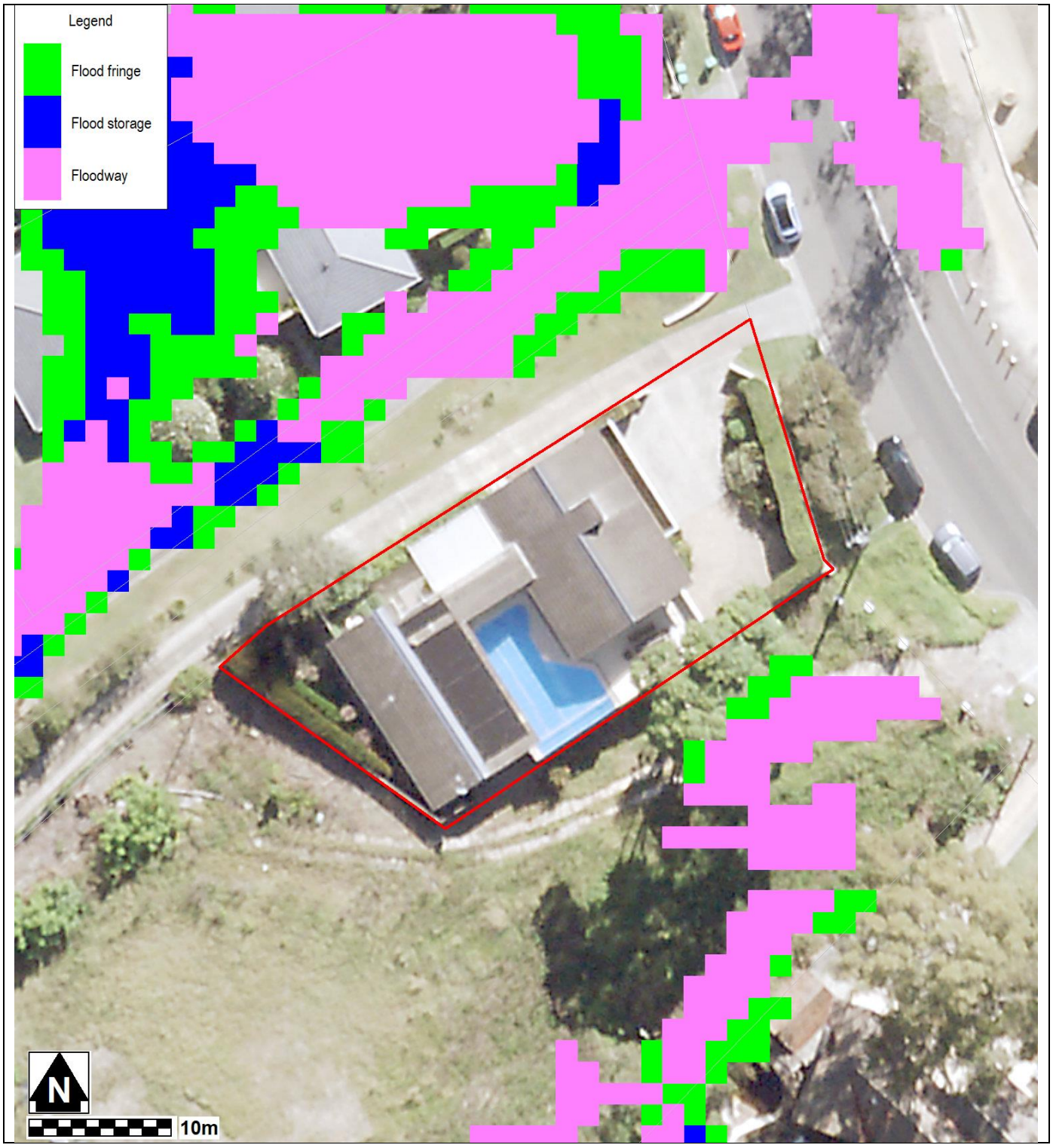
ID	CC 1% AEP Max WL (m AHD)	CC1 % AEP Max Depth (m)
1	6.22	0.16

WL – Water Level
PMF – Probable Maximum Flood
N/A - No Peak Water Level/Depth/Velocity Available.

Notes:

- The flood planning levels above are calculated by adding a 0.5m freeboard to the 1% AEP water level. However, if the depth of flow is less than 0.3m and a Velocity X Depth product is less than 0.3m^2/s, a freeboard of 0.3m may be able to be justified for development.

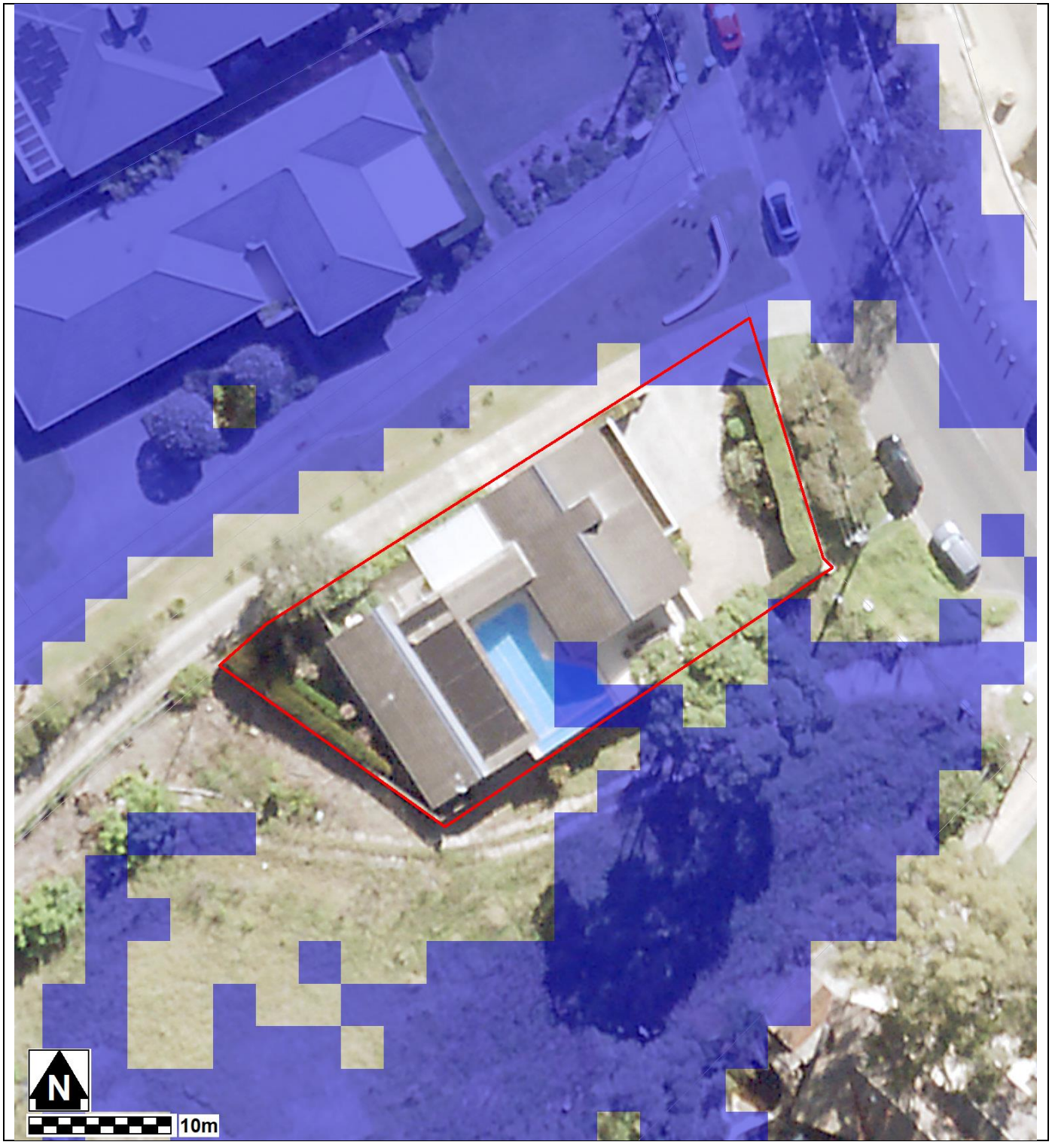
MAP C: 1% AEP FLOOD HYDRAULIC CATEGORY EXTENT MAP



Notes:

- Extent represents the 1% Annual Exceedance Probability (AEP) flood event
- Extent does not include climate change
- Cadastre Lines (Source: NSW Government Land and Property Information), flood levels/extents (Source: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV) and aerial photography (Source: NearMap 2014) are indicative only

MAP D: PMF EXTENT MAP



Notes:

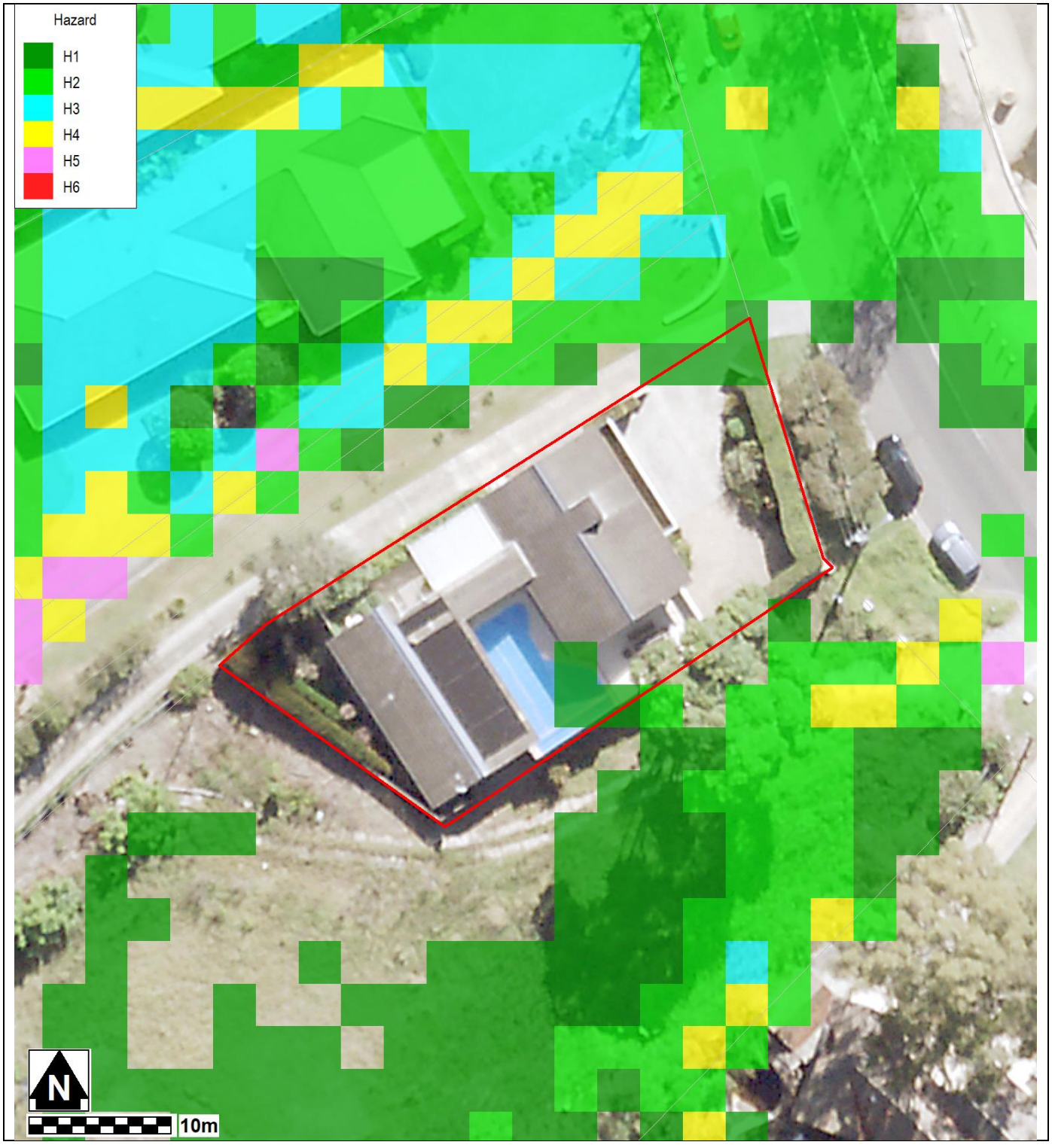
- Extent represents the Probable Maximum Flood (PMF) flood event
- Extent does not include climate change
- Cadastre Lines (Source: NSW Government Land and Property Information), flood levels/extents (Source: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV) and aerial photography (Source: NearMap 2014) are indicative only

MAP E: FLOODING – 1% AEP EXTENT PLUS CLIMATE CHANGE

Notes:

- Extent represents the 1% annual Exceedance Probability (AEP) flood event including 30% rainfall intensity and 0.9m Sea Level Rise climate change scenario
- Flood events exceeding the 1% AEP can occur on this site.
- Cadastre Lines (Source: NSW Government Land and Property Information), flood levels/extents (Source: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV) and aerial photography (Source: NearMap 2014) are indicative only

MAP F: FLOOD LIFE HAZARD CATEGORY IN PMF



Notes:

- Cadastre Lines (Source: NSW Government Land and Property Information), flood levels/extents (Source: McCarrs Creek, Mona Vale and Bayview Flood Study Review 2017, Royal HaskoningDHV) and aerial photography (Source Near Map 2014) are indicative only.

MAP G: INDICATIVE GROUND SURFACE SPOT HEIGHTS

Notes:

- The surface spot heights shown on this map were derived from Airborne Laser Survey and are indicative only.
- Accuracy is generally within ± 0.2m vertically and ± 0.15m horizontally, and Northern Beaches Council does not warrant that the data does not contain errors.
- If accuracy is required, then survey should be undertaken by a registered surveyor.

Preparation of a Flood Management Report

Introduction

These guidelines are intended to provide advice to applicants on how to determine what rules apply on flood prone land, and how to prepare a Flood Management Report. The purpose of a Flood Management Report is to demonstrate how a proposed development will comply with flood related planning requirements.

Planning Requirements for Flood Prone Land

Development must comply with the requirements for developing flood prone land set out in the relevant Local Environment Plan (LEP) and Development Control Plan (DCP). There are separate LEPs and DCPs for each of the former Local Government Areas (LGAs), although preparation of a LGA-wide LEP and DCP is currently under way.

The clauses specific to flooding in the LEPs and DCPs are as follows:

LEP Clauses	DCP Clauses
Manly LEP (2013) – 5.21 Flood Planning Manly LEP (2013) – 5.22 Special Flood Considerations	Manly DCP (2013) – 5.4.3 Flood Prone Land
Warringah LEP (2011) – 5.21 Flood Planning Warringah LEP (2011) – 5.22 Special Flood Considerations Warringah LEP (2000) – 47 Flood Affected Land *	Warringah DCP (2011) – E11 Flood Prone Land
Pittwater LEP (2014) – 5.21 Flood Planning Pittwater LEP (2014) – 5.22 Special Flood Considerations	Pittwater 21 DCP (2014) – B3.11 Flood Prone Land Pittwater 21 DCP (2014) – B3.12 Climate Change

* The Warringah LEP (2000) is relevant only for the “deferred lands” which affects only a very small number of properties, mostly in the Oxford Falls area.

Development on flood prone land must also comply with Council’s Water Management for Development Policy, and if it is in the Warriewood Release Area, with the Warriewood Valley Water Management Specification and Clause C6.1 of the Pittwater 21 DCP (2014). Guidelines for Flood Emergency Response Planning are available for addressing emergency response requirements in the DCP. These documents can be found on Council’s website on the Flooding page.

Note that if the property is affected by estuarine flooding or other coastal issues, these need to be addressed separately under the relevant DCP clauses.

When is a Flood Management Report required?

A Flood Management Report must be submitted with any Development Application on flood prone land (with exceptions noted below), for Council to consider the potential flood impacts and applicable controls. For Residential or Commercial development, it is required for development on land identified within the Medium or High Flood Risk Precinct. For Vulnerable or Critical development, it is required if it is within any Flood Risk Precinct.

There are some circumstances where a formal Flood Management Report undertaken by a professional engineer may not be required. However the relevant parts of the DCP and LEP would still need to be addressed, so as to demonstrate compliance. Examples where this may apply include:

- If all proposed works are located outside the relevant Flood Risk Precinct extent
- First floor addition only, where the existing ground floor level is above the FPL
- Internal works only, where habitable floor areas below the FPL are not being increased

Note that development on flood prone land will still be assessed for compliance with the relevant DCP and LEP, and may still be subject to flood related development controls.

What is the purpose of a Flood Management Report?

The purpose of a Flood Management Report is to demonstrate how a proposed development will comply with flood planning requirements, particularly the development controls outlined in the relevant LEP and DCP clauses. The report must detail the design, measures and controls needed to achieve compliance, following the steps outlined below.

A Flood Management Report should reflect the size, type and location of the development, proportionate to the scope of the works proposed, and considering its relationship to surrounding development. The report should also assess the flood risk to life and property.

Preparation of a Flood Management Report

The technical requirements for a Flood Management Report include (where relevant):

1. Description of development
   - Outline of the proposed development, with plans if necessary for clarity
   - Use of the building, hours of operation, proposed traffic usage or movement
   - Type of use, eg vulnerable, critical, residential, business, industrial, subdivision, etc

2. Flood analysis
   - 1% AEP flood level
   - Flood Planning Level (FPL)
   - Probable Maximum Flood (PMF) level
   - Flood Risk Precinct, ie High, Medium or Low
   - Flood Life Hazard Category
   - Mapping of relevant extents
   - Flood characteristics for the site, eg depth, velocity, hazard and hydraulic category, and the relevance to the proposed development

   If the property is affected by an Estuarine Planning Level (EPL) which is higher than the FPL, then the EPL should be used as the FPL. If the FPL is higher than the PMF level, then the FPL should still be used as the FPL, as it includes freeboard which the PMF does not.

3. Assessment of impacts
- Summary of compliance for each category of the DCP, as per the table below.

	Compliance		
	N/A	Yes	No
A) Flood effects caused by Development			
B) Building Components & Structural Soundness			
C) Floor Levels			
D) Car parking			
E) Emergency Response			
F) Fencing			
G) Storage of Goods			
H) Pools			

- Demonstration of how the development complies with any relevant flood planning requirements from the DCP, LEP, Water Management for Development Policy, and if it is in the Warriewood Valley Urban Land Release Area, with the Warriewood Valley Water Management Specification (2001)
- For any non-compliance, a justification for why the development should still be considered.
- Calculations of available flood storage if compensatory flood storage is proposed
- Plan of the proposed development site showing the predicted 1% AEP and PMF flood extents, as well as any high hazard or floodway affectation
- Development recommendations and construction methodologies
- Qualifications of author - Council requires that the Flood Management Report be prepared by a suitably qualified Engineer with experience in flood design / management who has, or is eligible for, membership to the Institution of Engineers Australia
- Any flood advice provided by Council
- Any other details which may be relevant

Further information and guidelines for development are available on Council's website at:

https://www.northernbeaches.nsw.gov.au/planning-and-development/building-and-renovations/development-applications/guidelines-development-flood-prone-land

Council's Flood Team may be contacted on 1300 434 434 or at floodplain@northernbeaches.nsw.gov.au .