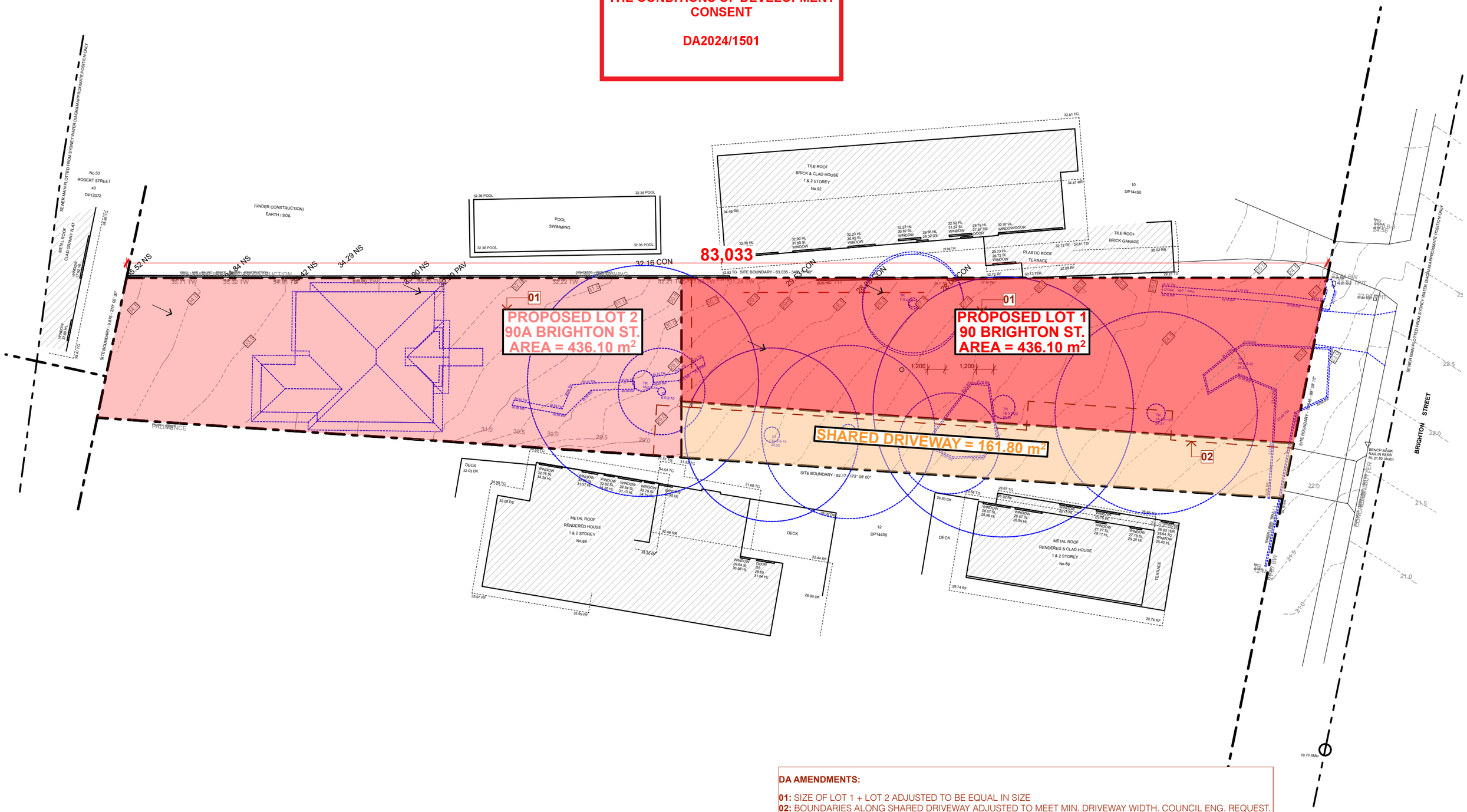
northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1501



DA AMENDMENTS:

01: SIZE OF LOT 1 + LOT 2 ADJUSTED TO BE EQUAL IN SIZE
02: BOUNDARIES ALONG SHARED DRIVEWAY ADJUSTED TO MEET MIN. DRIVEWAY WIDTH. COUNCIL ENG. REQUEST.

Watershed\/\Architects

Nominated Architect Mark Korgul No. 6221 **Studio** 9977 1076 **Address** Level 1, 167 Pittwater Road Manly NSW 2095

ISSUE	FOR	DATE
F	DA APPLICATION - AMENDMENTS	17/2/2025
E	DA AMENDMENT - DRAFT	11/02/2025
D	DA APPLICATION	22/10/2024

JOB NO: 24002
ADDRESS: 90 BRIGHTON STREET FRESHWATER
CLIENT: V. GLAVAN
SCALE: 1:250 @ A3

SUBDIVISION PLAN

SHEET: **DA03**
ISSUE: **F**

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DA2024/1501

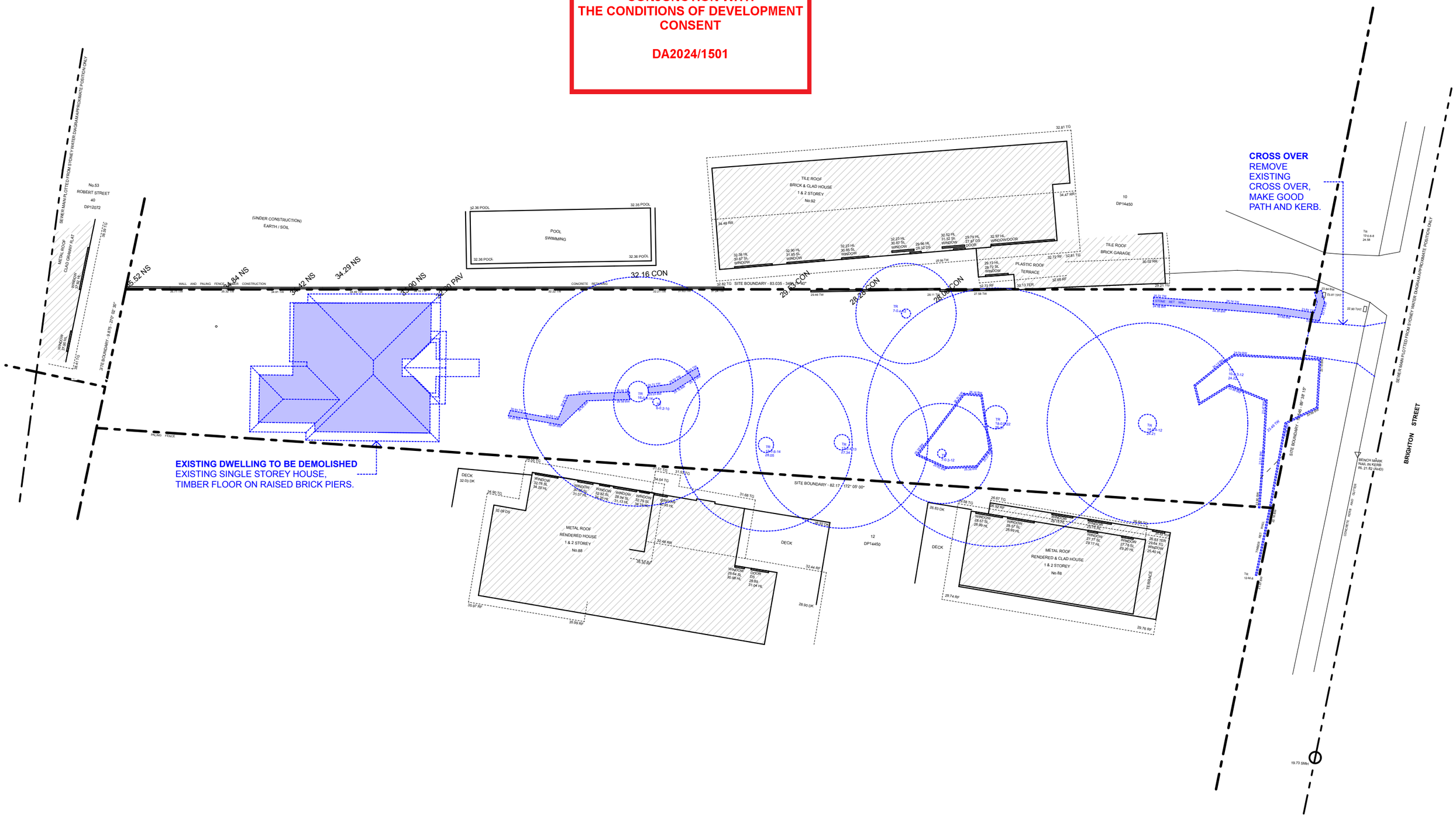
WALL LEGEND

EXISTING WALL / FLOOR / CEILING

TO BE DEMOLISHED

CROSS OVER
REMOVE EXISTING CROSS OVER, MAKE GOOD PATH AND KERB.

EXISTING DWELLING TO BE DEMOLISHED
EXISTING SINGLE STOREY HOUSE,
TIMBER FLOOR ON RAISED BRICK PIERS.



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ISSUE	FOR	DATE
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ADDRESS: 90 BRIGHTON STREET FRESHWATER
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SCALE: 1:250 @ A3

DEMOLITION PLAN

SHEET: **DA04**

ISSUE: **F**

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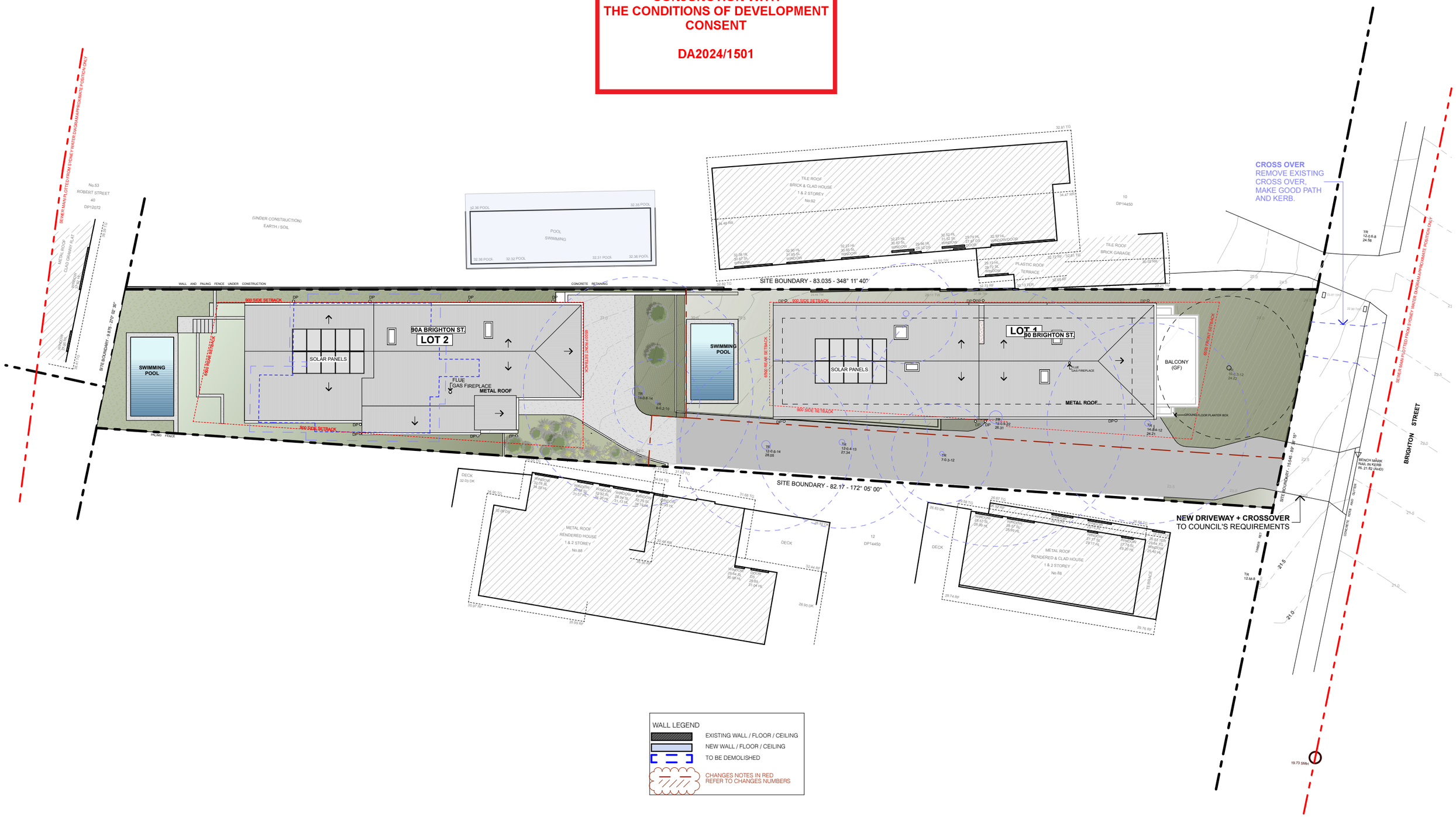
DA2024/1501



WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

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ISSUE	FOR	DATE
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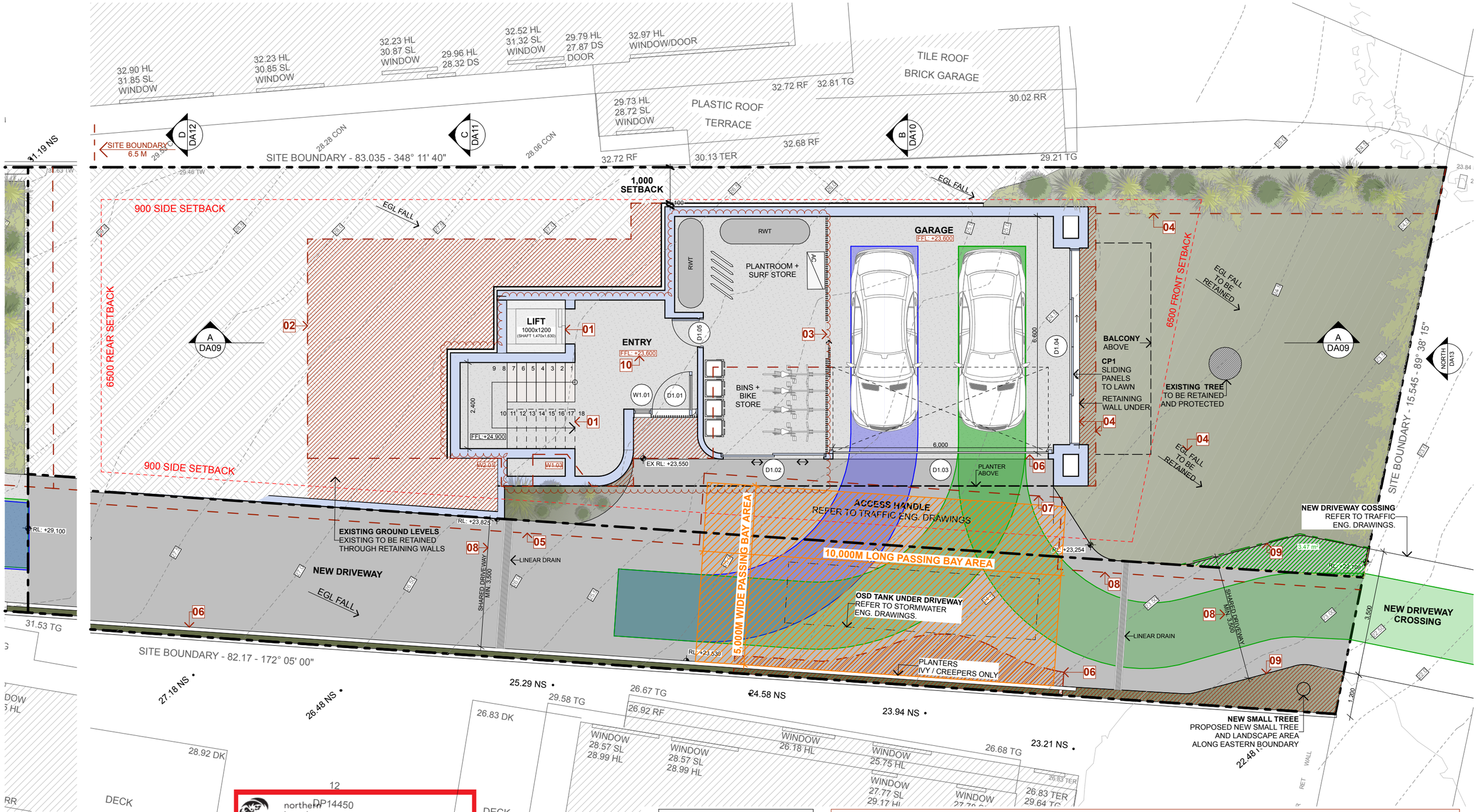
CLIENT: V. GLAVAN
SCALE: 1:250 @ A3

SITE & ROOF PLAN

SHEET: **DA05**

ISSUE: **F**



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DP14450

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DA2024/1501

WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

DA AMENDMENTS:

01: LIFT & STAIR RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: REDUCTION OF EXTENT OF EXCAVATION
03: LAYOUT CHANGES TO PLANT ROOM, STORAGE AND ENTRY.
04: RETAIN EXISTING GROUND LEVEL TO FRONT GARDEN.
05: BOUNDARIES CHANGED TO ALIGN WITH WIDER DRIVEWAY (SEE NO.9) - COUNCIL ENG. REQUEST.
06: CURVED TREE PLANTERBOX REMOVED FROM PASSING BAY AREA. PLANTERBOX WIDTH REDUCED TO GROW IVYS AND CREEPERS ONLY.
07: ACCESS HANDLE / PASSING BAY AREA INCLUDED IN LOT 1 AREA (RIGHT OF WAY).
08: DRIVEWAY WIDTH INCREASED TO ALLOW FOR 3,5M CLEAR (EXCL. PLANTERBOX ALONG EASTERN BOUNDARY)
09: DRIVEWAY CROSSING RELOCATED FURTHER WEST AND LANDSCAPE AREA EASTERN BOUNDARY INCREASED TO REDUCE 'GUN BARREL EFFECT'.
10: GARAGE SLAB RAISED TO REDUCE EXTENT OF EXCAVATION.

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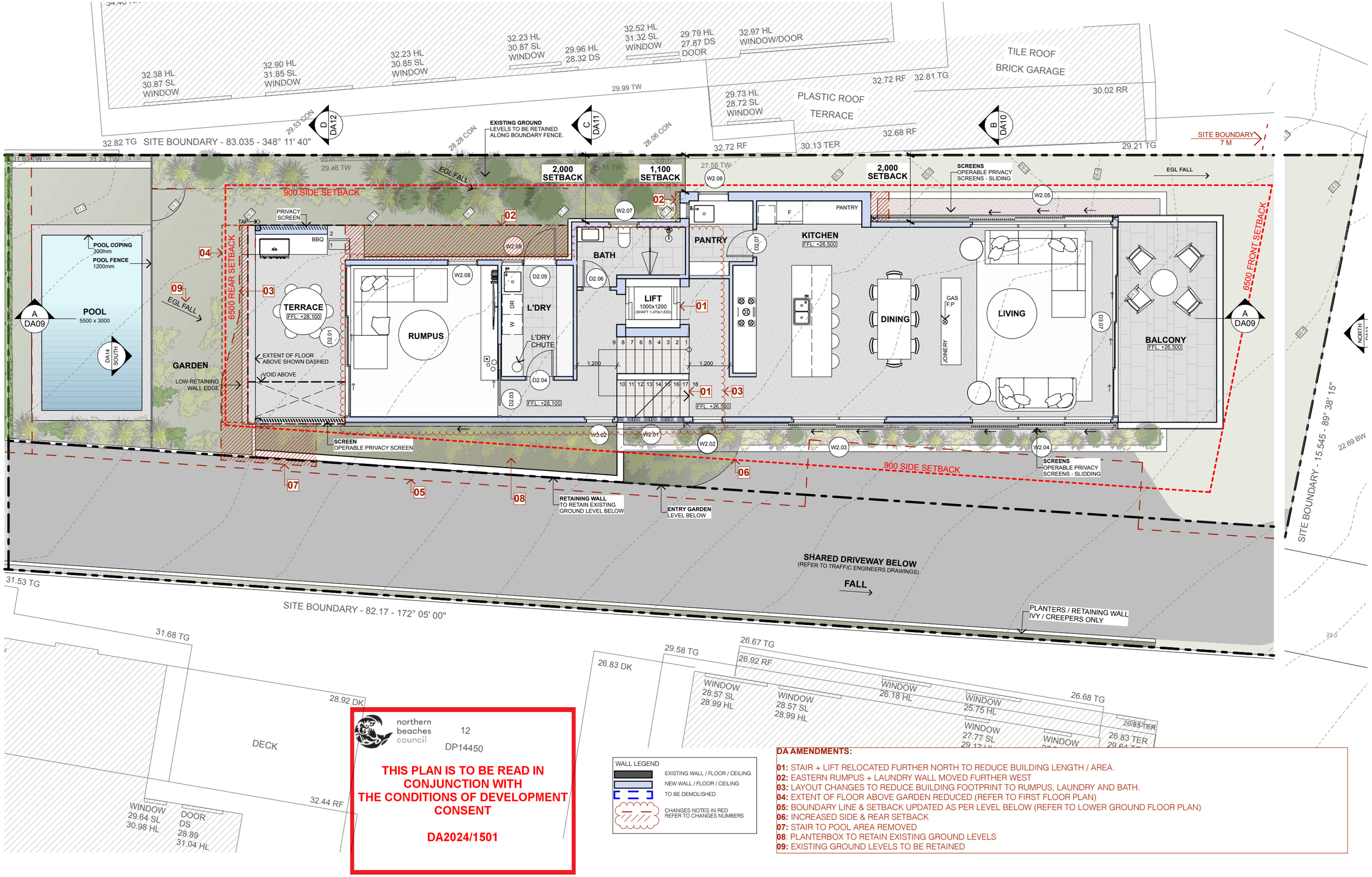
CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - LOWER GROUND FLOOR PLAN

SHEET: **DA06**
ISSUE: **F**



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DP14450

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DA2024/1501

WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

DA AMENDMENTS:

01: STAIR + LIFT RELOCATED FURTHER NORTH TO REDUCE BUILDING LENGTH / AREA.
02: EASTERN RUMPUS + LAUNDRY WALL MOVED FURTHER WEST
03: LAYOUT CHANGES TO REDUCE BUILDING FOOTPRINT TO RUMPUS, LAUNDRY AND BATH.
04: EXTENT OF FLOOR ABOVE GARDEN REDUCED (REFER TO FIRST FLOOR PLAN)
05: BOUNDARY LINE & SETBACK UPDATED AS PER LEVEL BELOW (REFER TO LOWER GROUND FLOOR PLAN)
06: INCREASED SIDE & REAR SETBACK
07: STAIR TO POOL AREA REMOVED
08: PLANTERBOX TO RETAIN EXISTING GROUND LEVELS
09: EXISTING GROUND LEVELS TO BE RETAINED

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ISSUE	FOR	DATE
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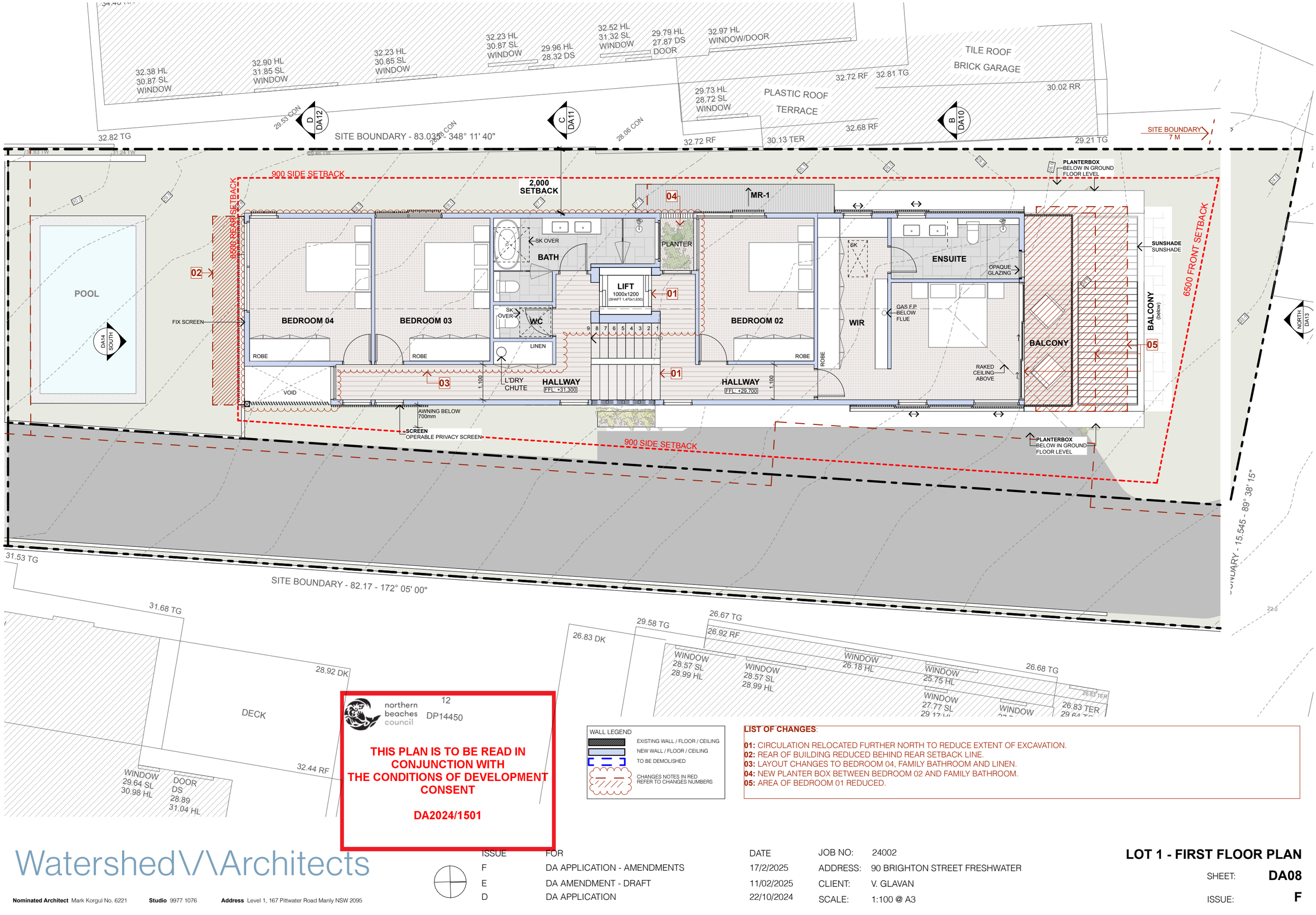
CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - GROUND FLOOR PLAN

SHEET: **DA07**

ISSUE: **F**



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DP14450

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DA2024/1501

WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

LIST OF CHANGES:

01: CIRCULATION RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: REAR OF BUILDING REDUCED BEHIND REAR SETBACK LINE.
03: LAYOUT CHANGES TO BEDROOM 04, FAMILY BATHROOM AND LINEN.
04: NEW PLANTER BOX BETWEEN BEDROOM 02 AND FAMILY BATHROOM.
05: AREA OF BEDROOM 01 REDUCED.

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CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - FIRST FLOOR PLAN

SHEET: **DA08**

ISSUE: **F**

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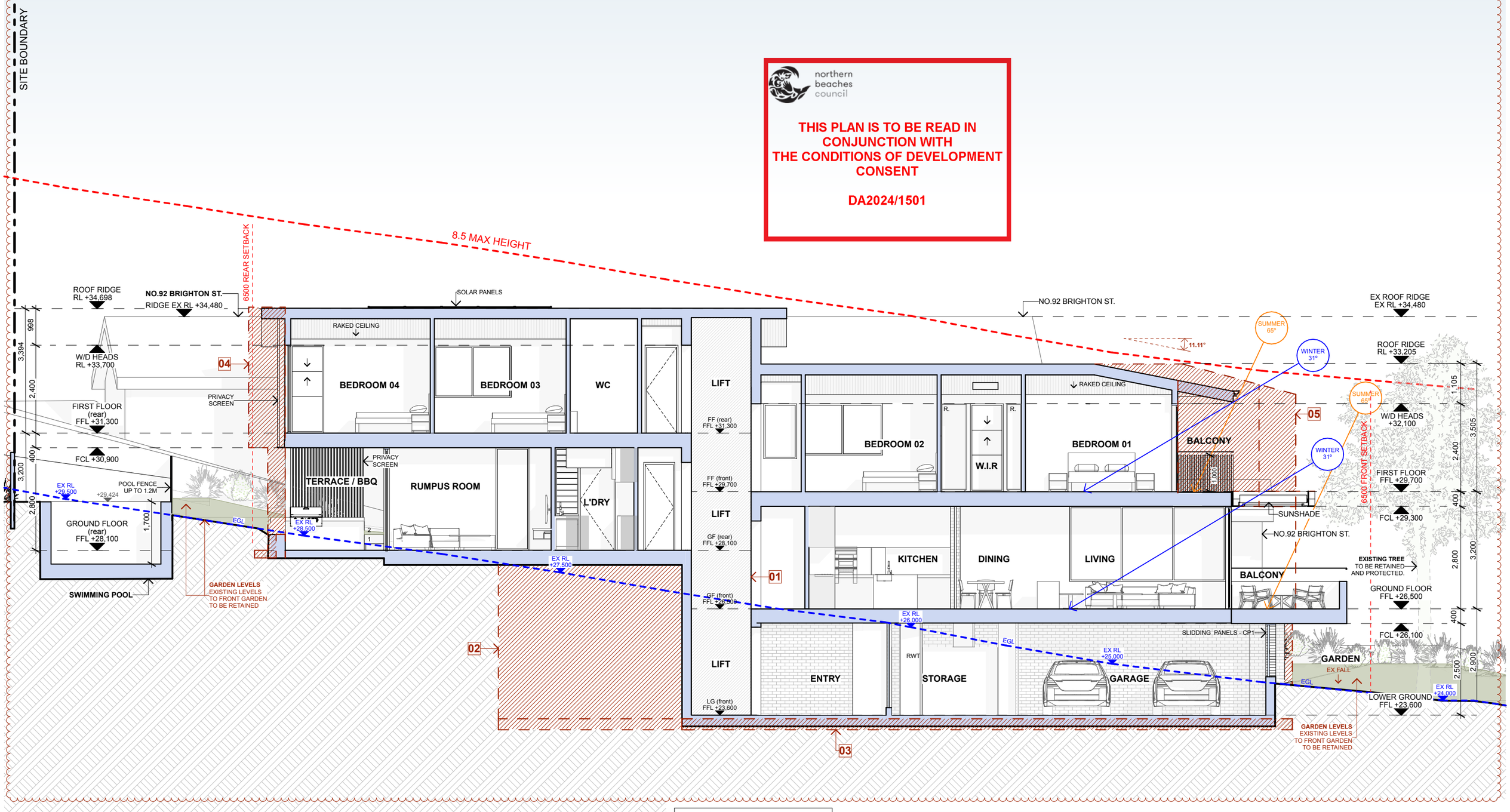
DA2024/1501



WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

LIST OF CHANGES:

01: CIRCULATION RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: REDUCTION IN EXCAVATION
03: GARAGE FFL RAISED TO REDUCE EXTENT OF EXCAVATION
04: REAR OF BUILDING FOOTPRINT REDUCED (REFER TO FLOOR PLANS)

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SCALE: 1:100 @ A3

LOT 1 - SECTION AA

SHEET: **DA09**
ISSUE: **F**

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DA2024/1501

SITE BOUNDARY
SITE BOUNDARY
900 SIDE SETBACK
900 SIDE SETBACK
SITE BOUNDARY
03
EX RL +35,990
EX RL +34,550
EX RL +34,470
ROOF RIDGE RL +33,385
1,285
W/D HEADS RL +32,100
2,400
FIRST FLOOR FFL +29,700
FCL +29,300
3,200
GROUND FLOOR FFL +26,500
FCL +26,100
2,900
LOWER GROUND1 FFL +23,600
8.5 MAX HEIGHT
BUILDING ENVELOPE
BUILDING ENVELOPE (BOUNDARY LINE)
BUILDING ENVELOPE (BOUNDARY LINE NEW)
12.00°
12.00°
ROBE
BEDROOM 01
EX RL +32,680
EX RL +32,810
EX RL +32,810
EX RL +29,640
EX RL +26,860
EX RL +23,940
EX RL+30,130
EX RL +30,020
EX RL +29,210
EX RL +29,210
WINDOW AWNING
WINDOW AWNING
NEW PLANTER
EXISTING FENCE TO BE RETAINED. IVY & CREEPERS TO PLANTERBOX.
750
750
LIVING
SHARED DRIVEWAY FALL
EX RL +24,750
EX RL +25,500
EGL
GARAGE
02
01
NEW PLANTER
RETAINING WALL/ PLANTERS
CONCRETE DRIVEWAY REFER TO TRAFFIC ENG. DRAWINGS
1,100 PROPOSED SETBACK

WALL LEGEND
- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

LIST OF CHANGES:

01: GARAGE FFL RAISED TO REDUCE EXTENT OF EXCAVATION
02: LAYOUT CHANGES TO GARAGE / STORE / ENTRY TO REDUCE EXTENT OF EXCAVATION
03: BOUNDARY LINES ADJUSTED TO EXCLUDE PLANTERBOXES AND SHARED DRIVEWAY, INCREASING SIDE SETBACK

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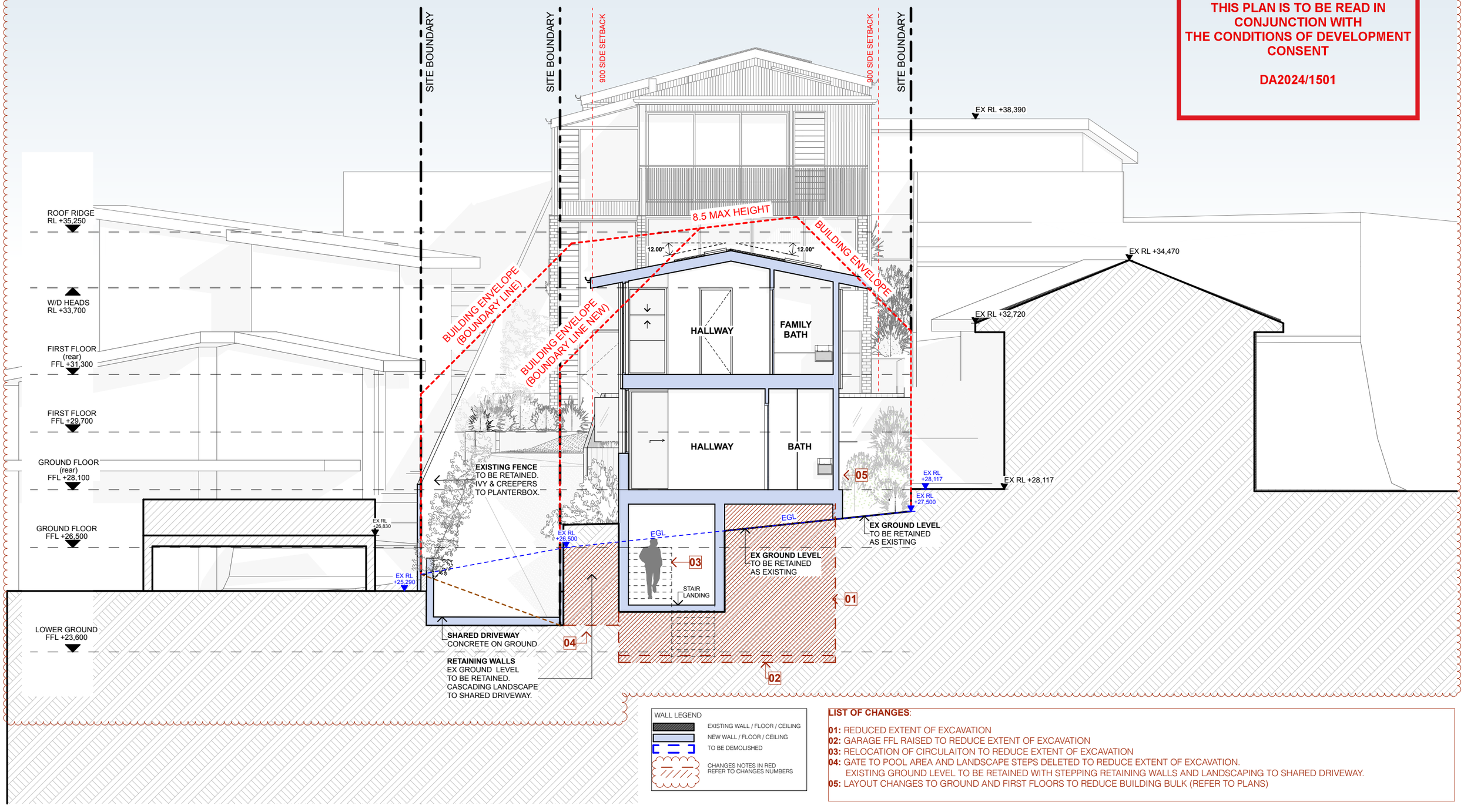
ADDRESS: 90 BRIGHTON STREET FRESHWATER
CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - SECTION BB

SHEET: **DA10**
ISSUE: **F**



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DA2024/1501

WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

LIST OF CHANGES:

01: REDUCED EXTENT OF EXCAVATION
02: GARAGE FFL RAISED TO REDUCE EXTENT OF EXCAVATION
03: RELOCATION OF CIRCULAITON TO REDUCE EXTENT OF EXCAVATION
04: GATE TO POOL AREA AND LANDSCAPE STEPS DELETED TO REDUCE EXTENT OF EXCAVATION.
EXISTING GROUND LEVEL TO BE RETAINED WITH STEPPING RETAINING WALLS AND LANDSCAPING TO SHARED DRIVEWAY.
05: LAYOUT CHANGES TO GROUND AND FIRST FLOORS TO REDUCE BUILDING BULK (REFER TO PLANS)

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CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - SECTION CC

SHEET: **DA11**
ISSUE: **F**

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DA2024/1501

SITE BOUNDARY
SITE BOUNDARY
900 SIDE SETBACK
900 SIDE SETBACK
SITE BOUNDARY
EX RL +38,390
8.5 MAX HEIGHT
BUILDING ENVELOPE (BOUNDARY LINE)
BUILDING ENVELOPE (BOUNDARY LINE NEW)
BUILDING ENVELOPE
ROOF RIDGE RL +35,250
FCL +34,950 (VARIES)
1,250
300
W/D HEADS RL +33,700
2,400
RIDGE EX RL +32,440
FIRST FLOOR (rear) FFL +31,300
400
FCL +30,900
2,800
GROUND FLOOR (rear) FFL +28,100
EX RL +28,920
12.00°
12.00°
R.
FIX PRIVACY SCREEN BEHIND
BEDROOM 04
02
+34,480
+32,810
VOID ABOVE
GLASS POOL FENCE
PRIVACY SCREEN
PRIVACY SCREEN
BBQ
TERRACE
+29,530
+29,000
EGL
EGL
EXISTING TIMBER FENCE
NEW LANDSCAPE RETAINING WALL
EX RL +27,500
EGL
SHARED DRIVEWAY
CONCRETE DRIVEWAY
01
01

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ADDRESS: 90 BRIGHTON STREET FRESHWATER
CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - SECTION DD

SHEET: **DA12**

ISSUE: **F**

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DA2024/1501

SITE BOUNDARY
SITE BOUNDARY
900 SIDE SETBACK
900 SIDE SETBACK
SITE BOUNDARY
EX RL +38,390
RIDGE EX RL +35,990
ROOF RIDGE (rear) RL +34,739
ROOF RIDGE RL +33,205
RIDGE EX RL +34,480
W/D HEADS RL +32,100
2,400
FIRST FLOOR FFL +29,700
400
FCL +29,300
2,800
2,400
GROUND FLOOR FFL +26,500
400
FCL +26,100
2,500
GROUND FLOOR FFL +23,600
CP-1
FG
FG
MR-1
SLD
SLD
SLD
FG
1,100
SLD
SLD
SLD
FG
BALCONY
1,100
CR
EXISTING TREE TO BE RETAINED IN EXISTING LOCATION
EXISTING FENCE TO BE RETAINED
PLANTER BOX IVY'S AND CREEPERS ALONG BOUNDARY FENCE / DRIVEWAY
SHARED DRIVEWAY
FALL
BWK-1
CP-1
CR
NEW TREE PROPOSED NEW TREE AND GARDEN TO EASTERN BOUNDARY
EX GROUND LEVELS TO FRONT GARDEN BE RETAINED
EX RL +24,000
EX RL +23,500
EGL
EX RL +22,500

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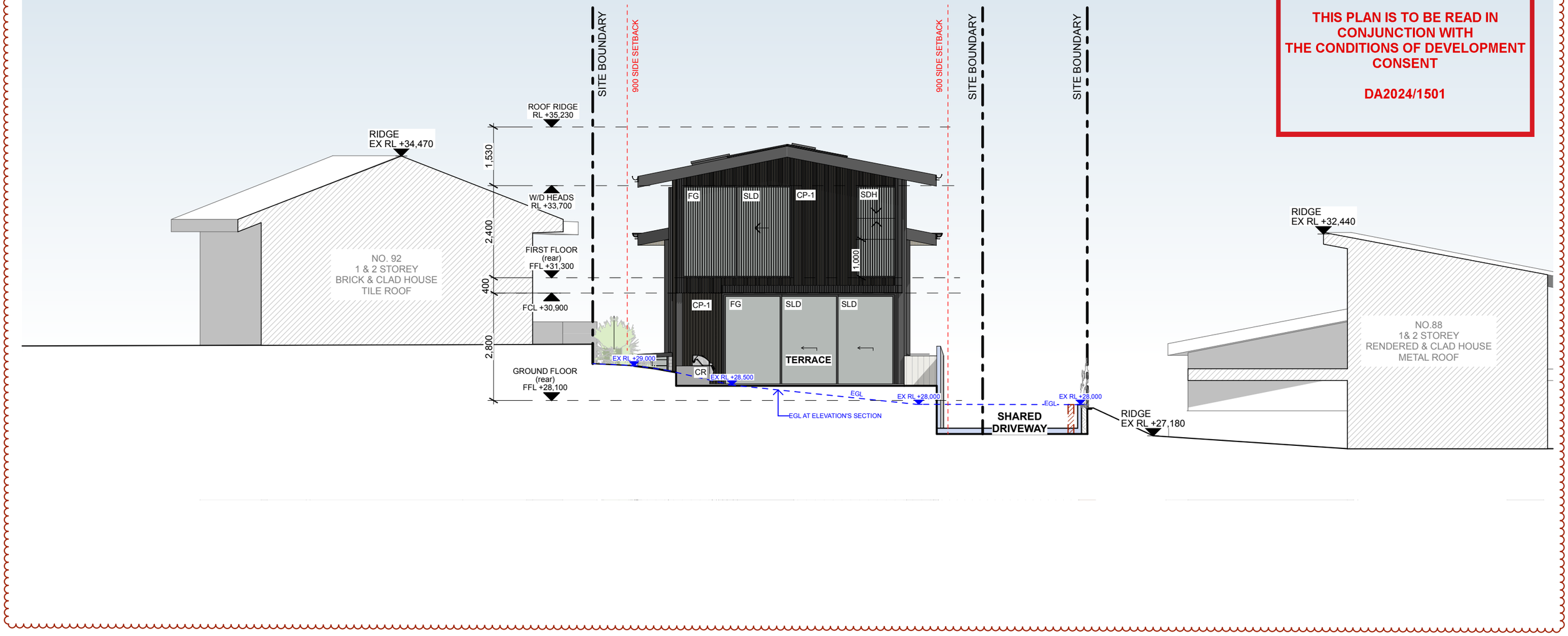
ADDRESS: 90 BRIGHTON STREET FRESHWATER
CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - ELEVATION NORTH

SHEET: **DA13**
ISSUE: **F**



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SCALE: 1:100 @ A3

LOT 1 - ELEVATION SOUTH

SHEET: **DA14**

ISSUE: **F**

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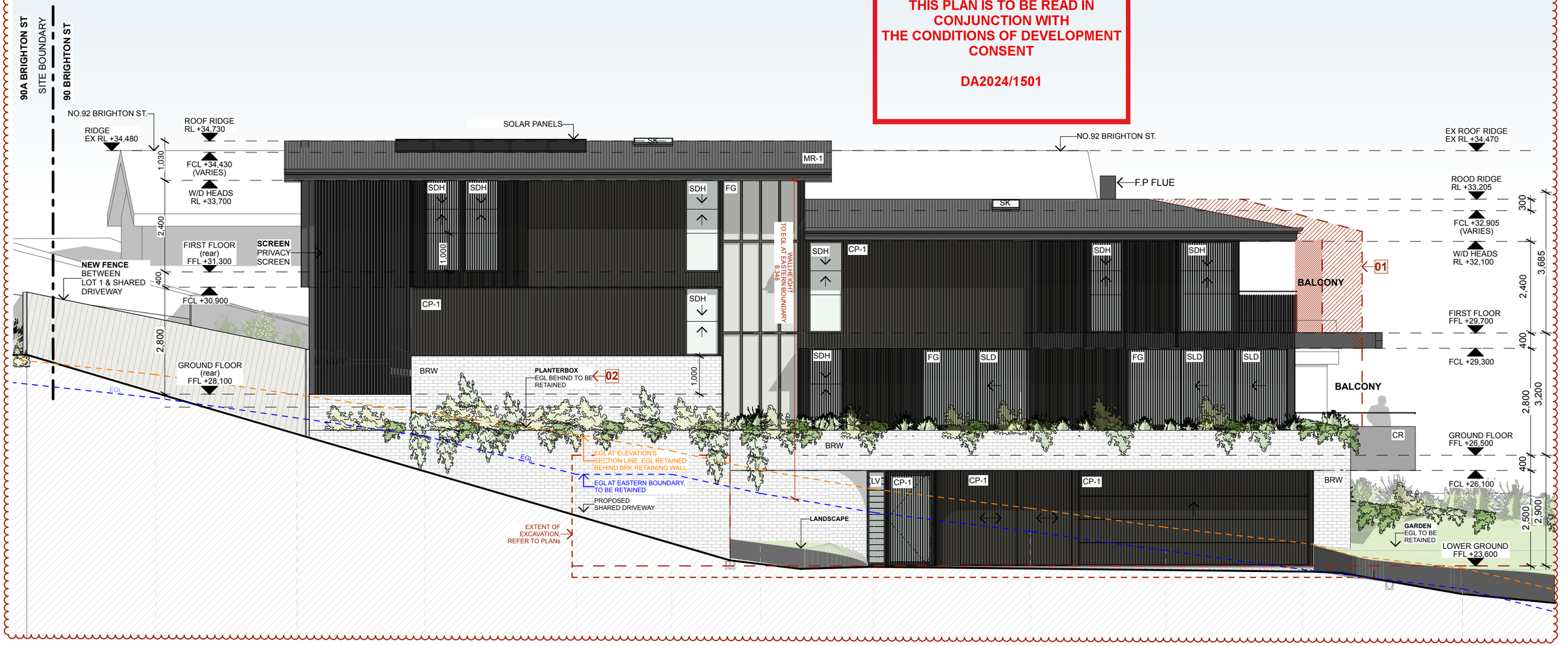
DA2024/1501



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SCALE: 1:100 @ A3

LOT 1 - ELEVATION EAST

SHEET: **DA15**
ISSUE: **F**

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CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 1 - ELEVATION WEST

SHEET: **DA16**
ISSUE: **F**

(UNDER CONSTRUCTION)
EARTH / SOIL

32.36 POOL
POOL
SWIMMING
32.36 POOL
32.32 POOL
32.31 POOL
32.36 POOL

35.52 NS
34.84 NS
34.42 NS
34.28 NS
33.90 NS
32.20 PAV
32.16 CON
31.19 NS

H DA23
DA27 WEST
G DA22
F DA21

WALL AND PALING FENCE UNDER CONSTRUCTION
SITE BOUNDARY - 83.035 - 348° 11' 40"
CONCRETE RETAINING

35.71 TW
35.32 TW
34.91 TW
34.49 TW
34.10 TW
32.22 TW
32.21 TW

1,100 SETBACK
900 SIDE SETBACK
6500 REAR SETBACK
6500 FRONT SETBACK

POOL ABOVE
DA25 SOUTH

03
02
01

RWT
RWT
PLANT STORE
AC
BIN
D1.05
GARAGE
FFL: +29.950
D1.02A
6.000
BALCONY ABOVE
BIKES / SURF STORE
D1.04A
D1.03A
LIFT
1000x1200
COATS & SHOES STORE UNDER STAIR
ENTRY
FFL: +29.950
D1.01A
W1.01A
CP-1 SCREEN
HEKKA HOOD OVER ENTRY
NEW DRIVEWAY & TURNING AREA
REFER TO TRAFFIC ENG. DRAWINGS
GARDEN
RL: +29.100

EXISTING BUILDING
OUTLINE OF EXISTING BUILDING TO BE DEMOLISHED

PALING FENCE
33.60 NS
32.90 NS
31.97 NS
EAST DA26
EGL FALL
EXISTING GROUND LEVELS
EXISTING TO BE RETAINED
THROUGH LANDSCAPE RETAINING WALLS

30.75 NS
34.55 TG
28.75 NS
28.61 NS
31.51 TG
31.53 TG
34.54 TG
34.90 TG
32.09 DS

DECK
32.03 DK
WINDOW 32.78 SL 34.20 HL
WINDOW 30.68 SL 31.37 HL
WINDOW 32.82 SL 34.20 HL
WINDOW 29.94 SL 31.13 HL
WINDOW 32.79 SL 34.19 HL
WINDOW 30.95 HL

METAL ROOF
RENDERED HOUSE
1 & 2 STOREY
No.88

32.48 RR
35.30 RF

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DA2024/1501

WALL LEGEND
- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

DA AMENDMENTS:

01: CIRCULATION RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: LAYOUT CHANGES TO STORE ROOM, PLANT ROOM AND GARAGE.
03: REDUCTION IN EXCAVATION

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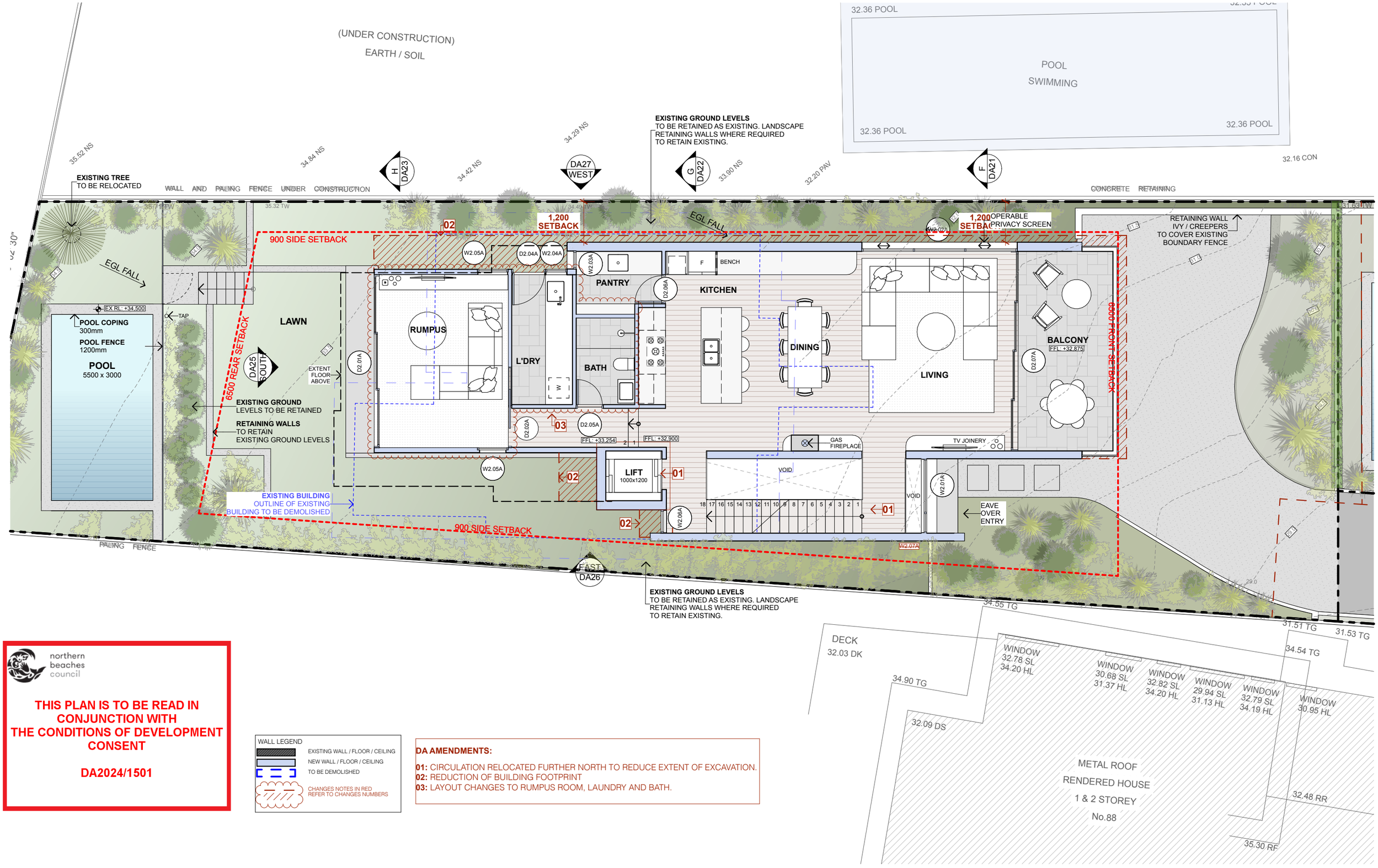
ADDRESS: 90 BRIGHTON STREET FRESHWATER
CLIENT: V. GLAVAN
SCALE: 1:100 @ A3

LOT 2 - LOWER GROUND FLOOR PLAN

SHEET: **DA17**
ISSUE: **F**



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DA2024/1501

WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

DA AMENDMENTS:

01: CIRCULATION RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: REDUCTION OF BUILDING FOOTPRINT
03: LAYOUT CHANGES TO RUMPUS ROOM, LAUNDRY AND BATH.

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LOT 2 - GROUND FLOOR PLAN

SHEET: **DA18**
ISSUE: **F**

WALL LEGEND

EXISTING WALL / FLOOR / CEILING

NEW WALL / FLOOR / CEILING

TO BE DEMOLISHED

CHANGES NOTES IN RED
REFER TO CHANGES NUMBERS

LIST OF CHANGES
01:

(UNDER CONSTRUCTION)
EARTH / SOIL

32.36 POOL
POOL
SWIMMING
32.36 POOL
32.32 POOL
32.31 POOL
32.36 POOL

35.52 NS
34.84 NS
34.29 NS
34.42 NS
33.90 NS
32.20 PAV
32.16 CON

H DA23
DA27 WEST
G DA22
F DA21

WALL AND PALING FENCE UNDER CONSTRUCTION
CONCRETE RETAINING

35.71 TW
35.32 TW
34.91 TW
34.49 TW
34.10 TW
32.22 TW
32.21 TW

900 SIDE SETBACK
6500 REAR SETBACK
6500 FRONT SETBACK

SCREEN OPERABLE PRIVACY SCREENS
BRICK WALL UNDER
WALL BELOW

03
05
01
02

DA25 SOUTH

BEDROOM 04
BEDROOM 03
BEDROOM 02
BEDROOM 01
ROBE
L'DRY CHUTE
LINEN
BATH
SK OVER
6K
WIR
ENSUITE
OPAQUE GLAZING
VOID
BALCONY
RAKED CEILING ABOVE
SCREEN FIX PRIVACY SCREEN
TV
STUDY
FFL: +36.595
HALLWAY
FLUE
GAS FIREPLACE BELOW
LIFT
1000x1200
VOID
ROOF BELOW
FALL
18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

EXISTING BUILDING
OUTLINE OF EXISTING
BUILDING TO BE DEMOLISHED

PALING FENCE

33.60 NS
32.90 NS
31.97 NS
EAST DA26
30.75 NS

DECK
32.03 DK
34.90 TG
32.09 DS
34.55 TG
28.75 NS
31.51 TG
31.53 TG
34.54 TG
WINDOW 32.78 SL 34.20 HL
WINDOW 30.68 SL 31.37 HL
WINDOW 32.82 SL 34.20 HL
WINDOW 29.94 SL 31.13 HL
WINDOW 32.79 SL 34.19 HL
WINDOW 30.95 HL
METAL ROOF
RENDERED HOUSE
1 & 2 STOREY
No.88
32.48 RR
35.30 RF

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WALL LEGEND

EXISTING WALL / FLOOR / CEILING

NEW WALL / FLOOR / CEILING

TO BE DEMOLISHED

CHANGES NOTES IN RED
REFER TO CHANGES NUMBERS

DA AMENDMENTS:

01: CIRCULATION RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: LAYOUT CHANGES TO BEDROOMS AND STUDY
03: INCREASED SIDE SETBACKS TO REDUCE BUILDING SIZE

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LOT 2 - FIRST FLOOR PLAN

SHEET: **DA19**
ISSUE: **F**

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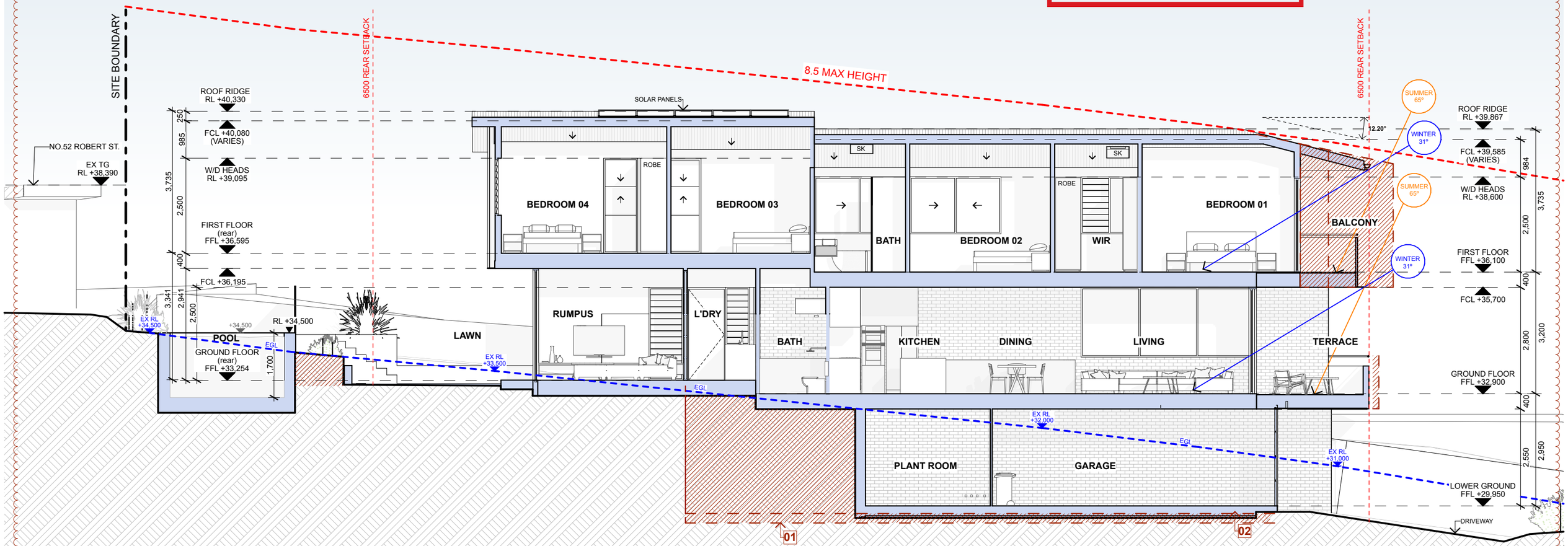

WALL LEGEND

- EXISTING WALL / FLOOR / CEILING
- NEW WALL / FLOOR / CEILING
- TO BE DEMOLISHED
- CHANGES NOTES IN RED REFER TO CHANGES NUMBERS

LIST OF CHANGES:

01: CIRCULATION RELOCATED FURTHER NORTH TO REDUCE EXTENT OF EXCAVATION.
02: GARAGE FFL RAISED TO REDUCE EXTENT OF EXCAVATION
04: BALCONY REDUCTION

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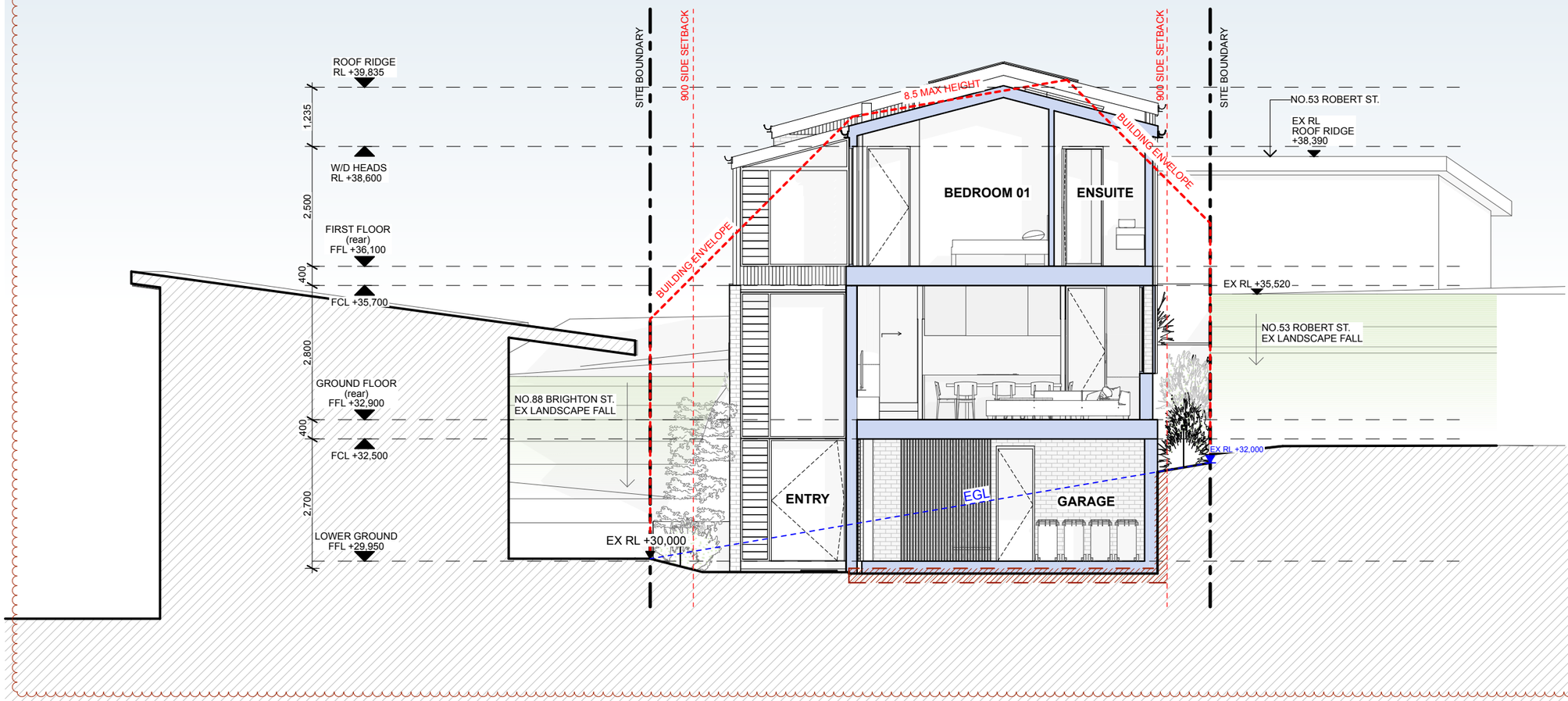
LOT 2 - SECTION EE

SHEET: **DA20**
ISSUE: **F**



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WALL LEGEND

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- CHANGES NOTES IN RED
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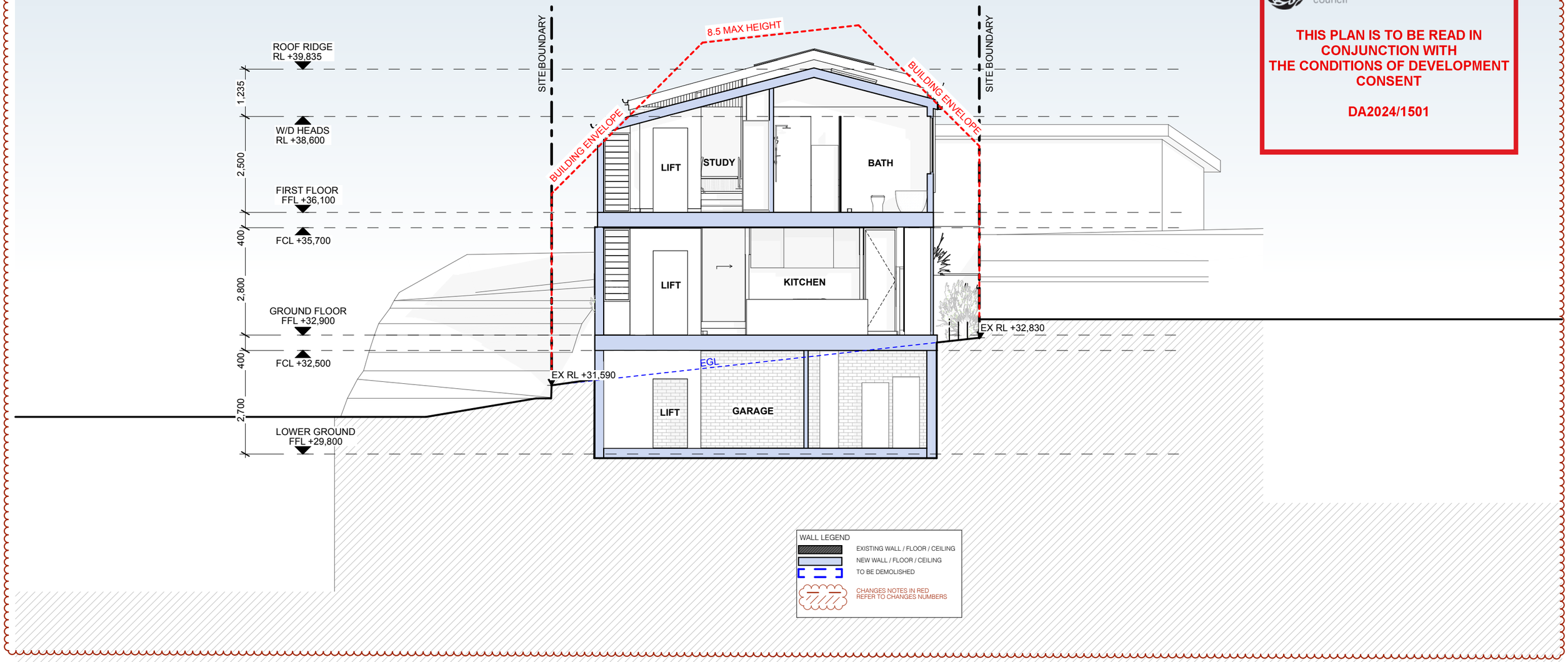
LOT 2 - SECTION FF

SHEET: **DA21**

ISSUE: **F**



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LOT 2 - SECTION GG

SHEET: **DA22**
ISSUE: **F**

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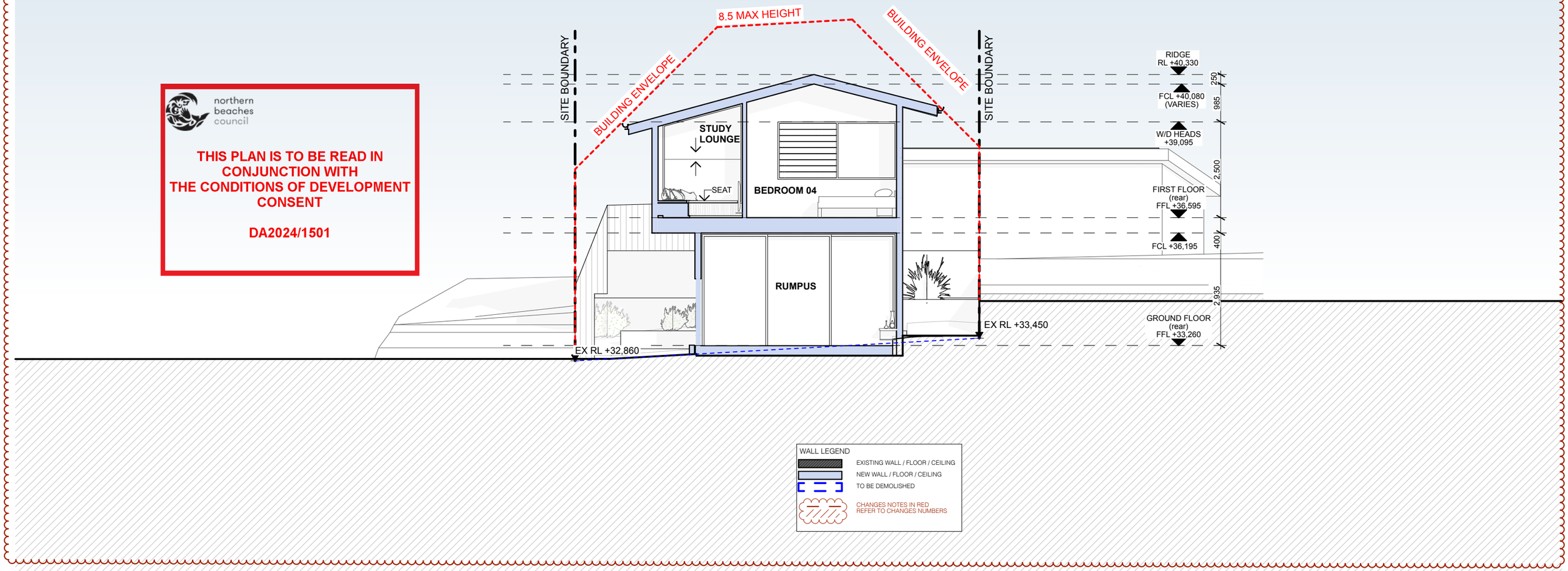

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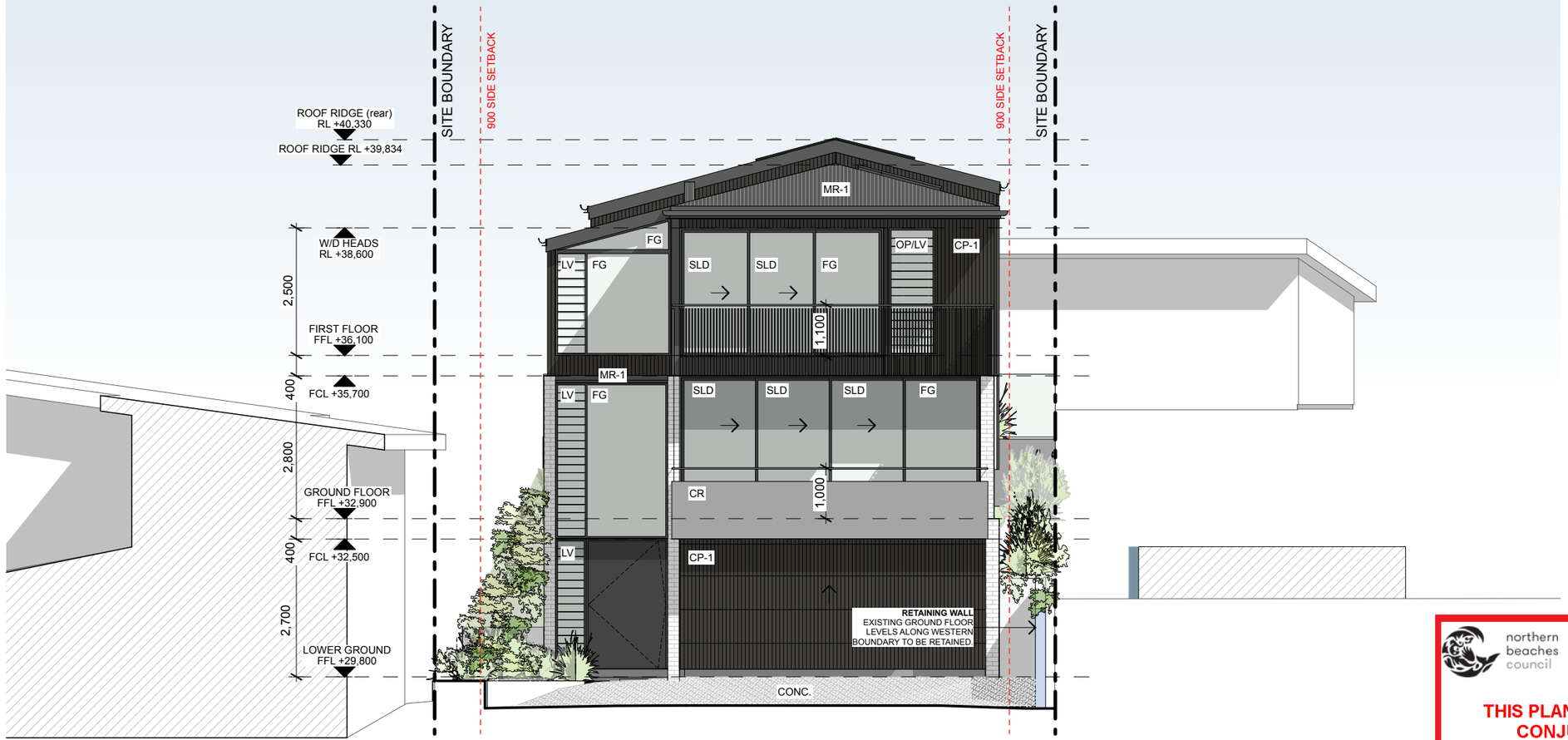
SCALE: 1:100 @ A3

LOT 2 - SECTION HH

SHEET: **DA23**

ISSUE: **F**



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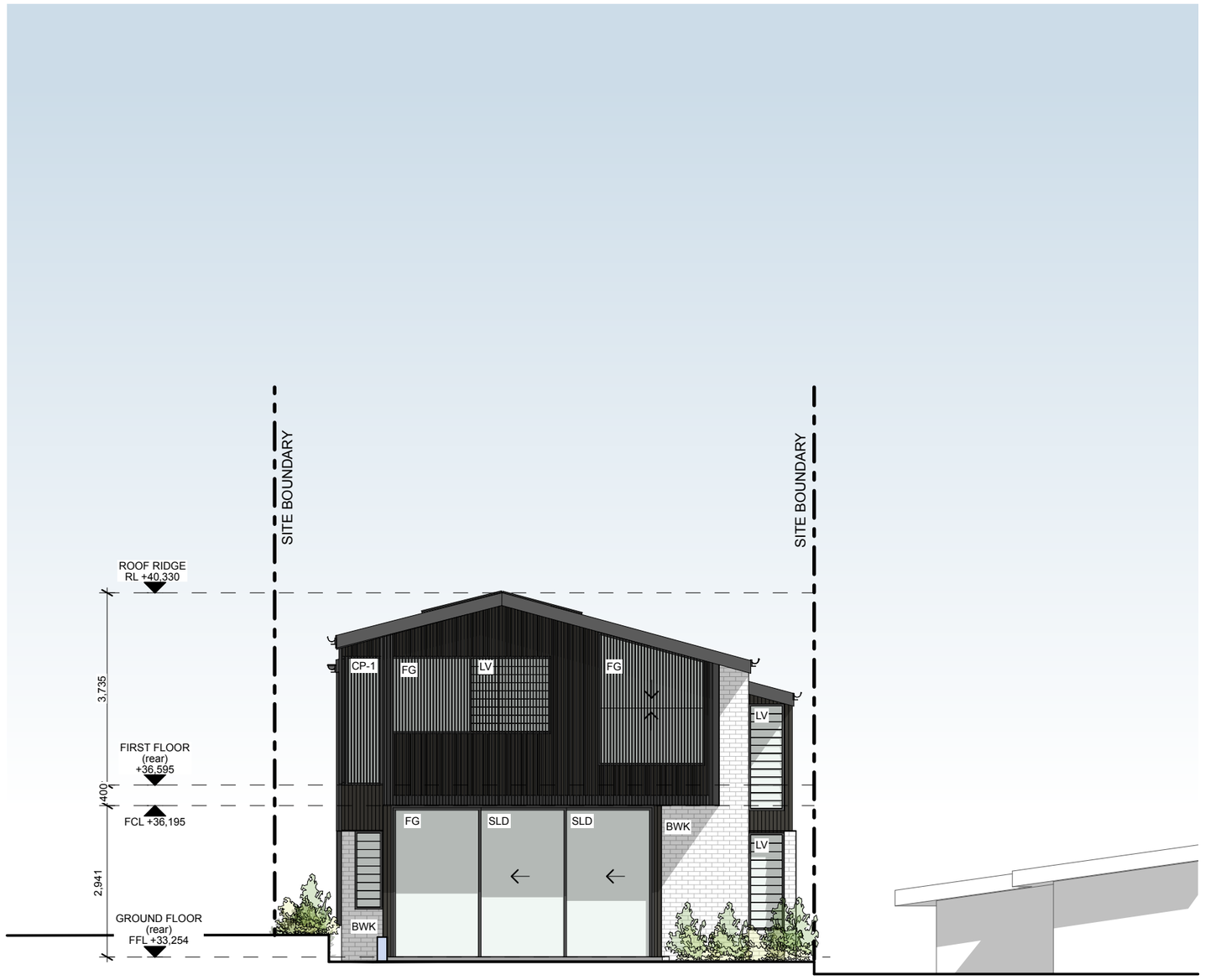
SCALE: 1:100 @ A3

LOT 2 - ELEVATION NORTH

SHEET: **DA24**

ISSUE: **F**



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LOT 2 - ELEVATION SOUTH

SHEET: **DA25**
ISSUE: **F**

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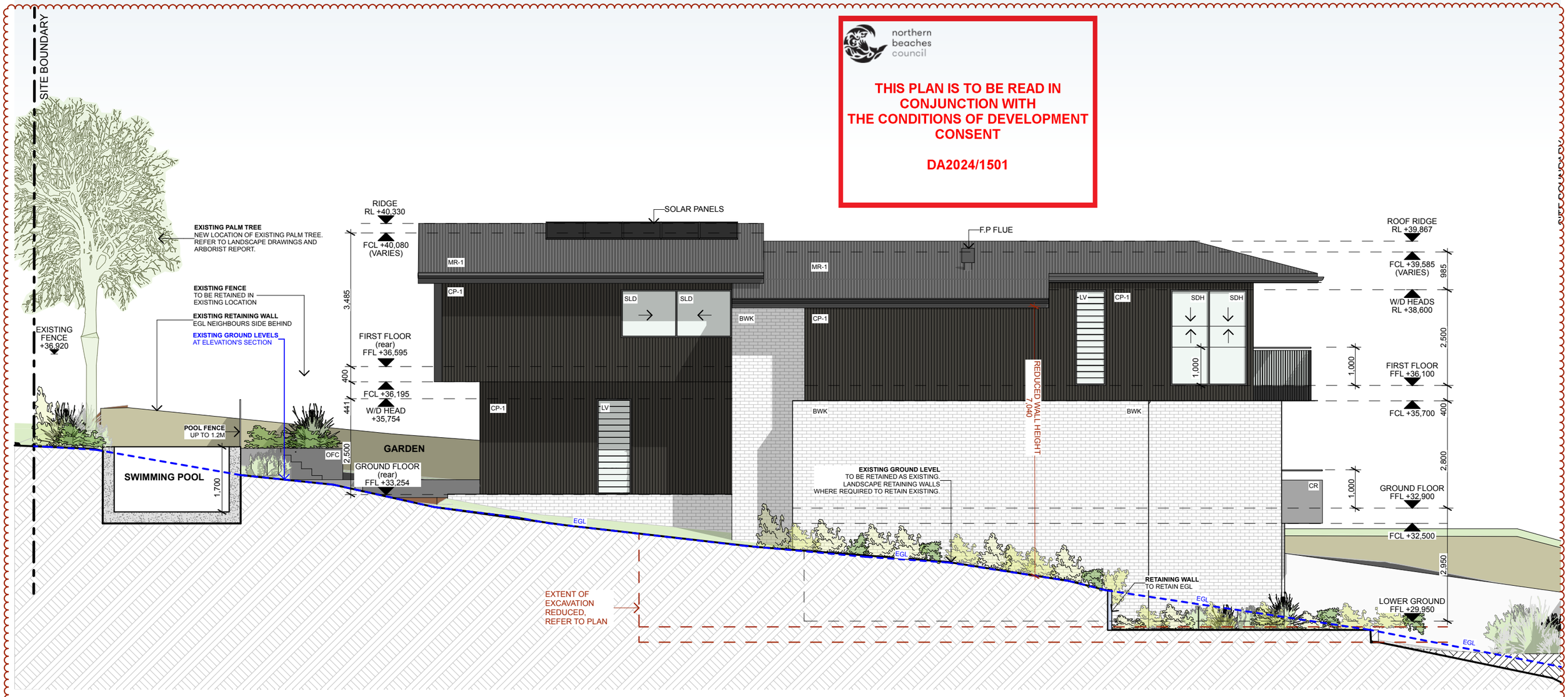

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SCALE: 1:100 @ A3

LOT 2 - ELEVATION EAST

SHEET: **DA26**

ISSUE: **F**

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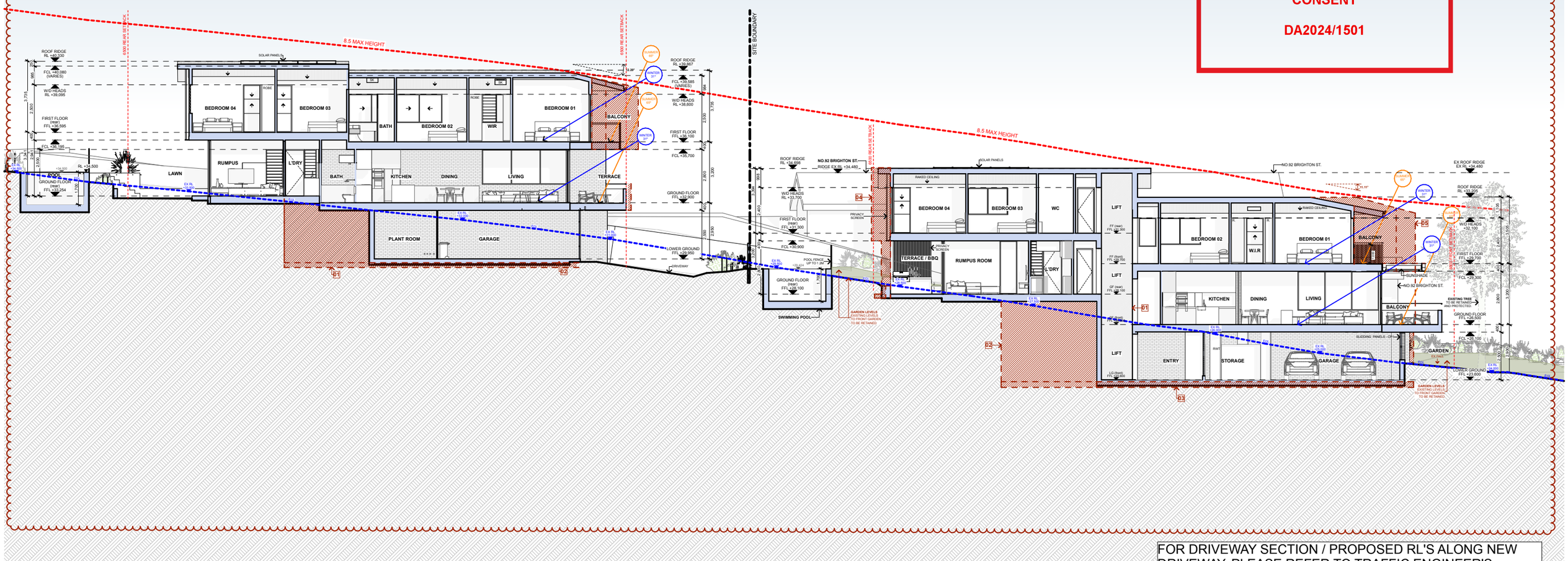
SCALE: 1:100 @ A3

LOT 2 - ELEVATION WEST

SHEET: **DA27**

ISSUE: **F**



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FOR DRIVEWAY SECTION / PROPOSED RL'S ALONG NEW DRIVEWAY, PLEASE REFER TO TRAFFIC ENGINEER'S DOCUMENTATION.

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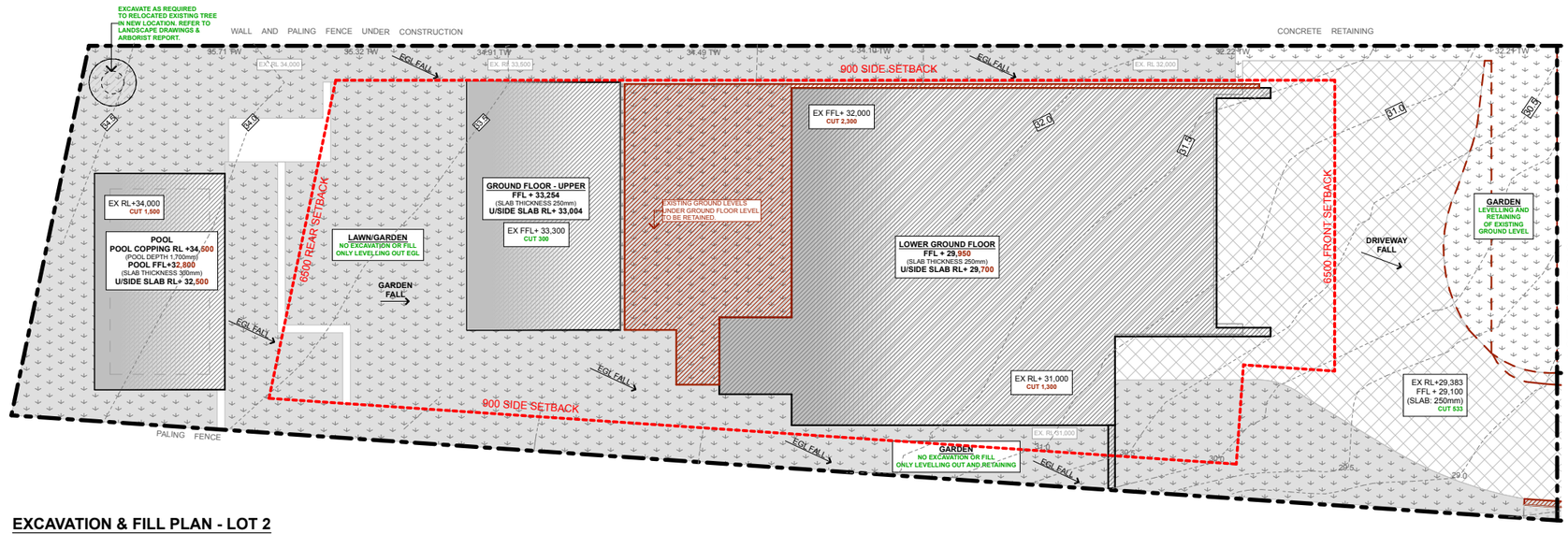
SCALE: 1:200 @ A3

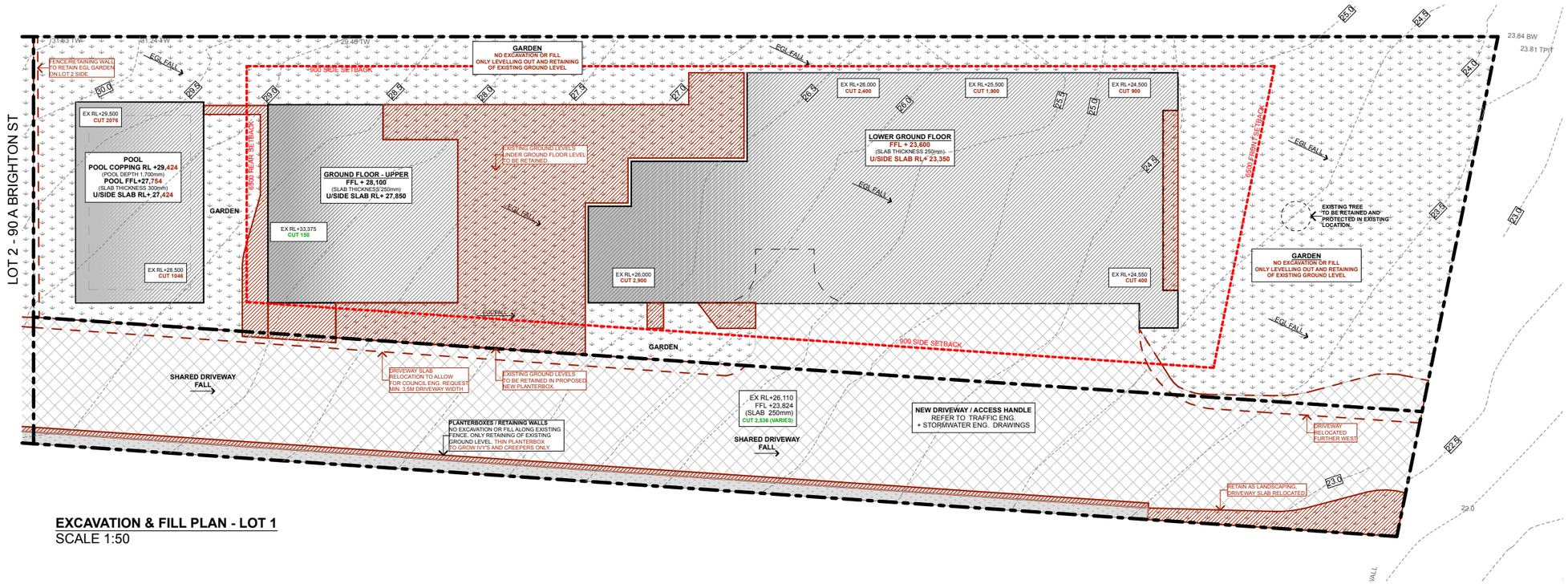
SITE SECTION

SHEET: **DA28**

ISSUE: **F**



EXCAVATION & FILL PLAN - LOT 2
SCALE 1:50



EXCAVATION & FILL PLAN - LOT 1
SCALE 1:50

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SCALE: @ A3

EXCAVATION AND FILL PLAN

SHEET: **DA29**
ISSUE: **F**

SEDIMENT AND EROSION CONTROL NOTES

SEDIMENT AND EROSION CONTROL SHALL BE EFFECTIVELY MAINTAINED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL THE SITE HAS BEEN STABILISED OR LANDSCAPED TO THE PRINCIPAL'S SATISFACTION.

A SINGLE ALL WEATHER ACCESS WAY WILL BE PROVIDED WHERE FRONECESSARY CONSISTING OF 50–75 AGGREGATE OR SIMILAR MATERIAL AT A MINIMUM THICKNESS OF 150 LAID OVER NEEDLE–PUNCHED GEOTEXTILE FABRIC AND CONSTRUCTED PRIOR TO COMMENCEMENT OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT NO SPOIL OR FILL ENCROACHES UPON ADJACENT AREAS FOR THE DURATION OF WORKS.

THE CONTRACTOR SHALL ENSURE THAT KERB INLETS AND DRAINS RECEIVING STORMWATER SHALL BE PROTECTED AT ALL TIMES DURING DEVELOPMENT. KERB INLET SEDIMENT TRAPS SHALL BE INSTALLED ALONG THE IMMEDIATE VICINITY ALONG THE STREET FRONTAGE.

SEDIMENT FENCING SHALL BE SECURED BY POST (WHERE METAL STAR PICKETS ARE USED PLASTIC SAFETY CAPS SHALL BE USED) AT 2000 INTERVALS WITH GEOTEXTILE FABRIC EMBEDDED 200 IN SOIL.

ALL TOPSOIL STRIPPED FORM THE SITE AND STOCKPILED DOES NOT INTERFERE WITH DRAINAGE LINES AND STORMWATER INLETS AND WILL BE SUITABLY COVERED WITH AN IMPERVIOUS MEMBRANE MATERIAL AND SCREENED BY SEDIMENT FENCING.

SOIL CONSERVATION NOTE:

PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE,' 'SEDIMENT TRAP' AND WASHOUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.

MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP AFTER EACH STORM.

SEDIMENT TRAP

900 x 900 WIDE 500 DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

WASHOUT AREA
TO BE 900 x 900 ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT.

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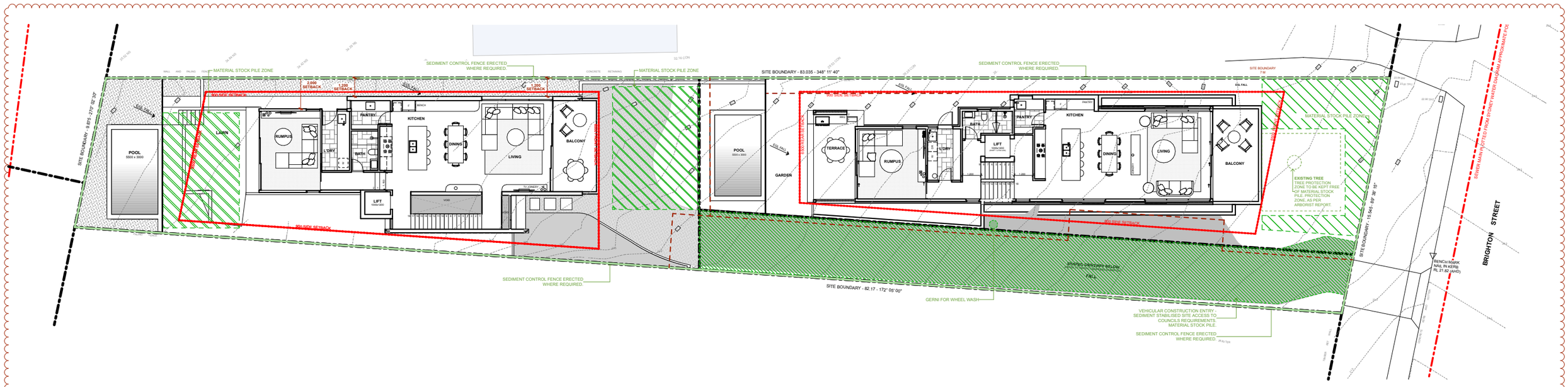
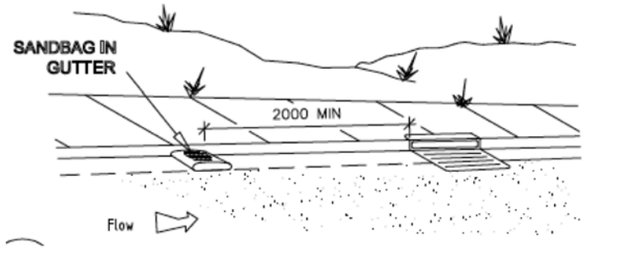
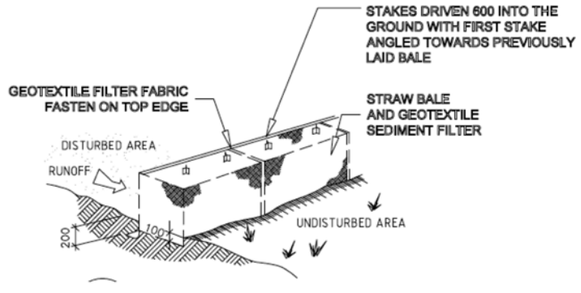
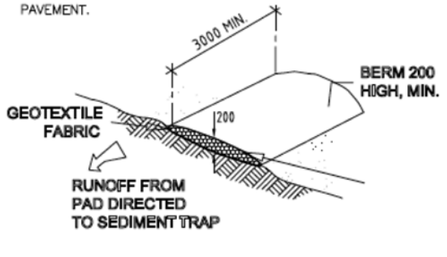


SANDBAG KERB SEDIMENT TRAP
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.





VEHICLE ACCESS TO SITE
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



BUILDING MATERIAL STOCKPILES
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

THE SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.

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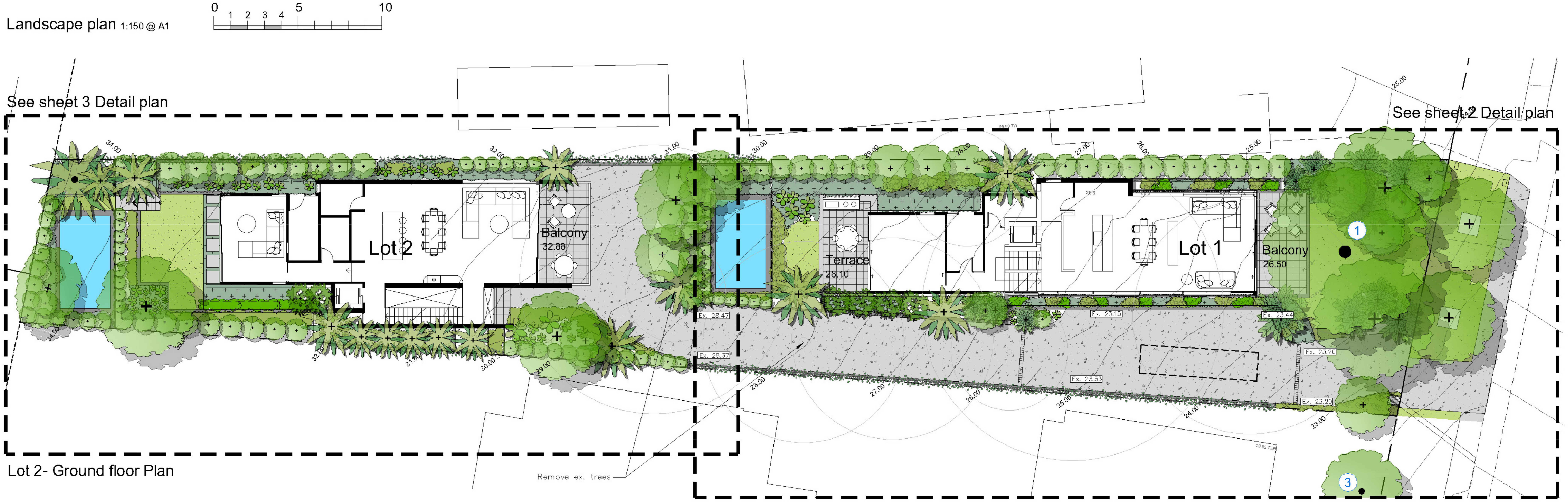
SCALE: 1:250 @ A3

SEDIMENT & EROSION PLAN

SHEET: **DA30**
ISSUE: **F**

Landscape plan 1:150 @ A1



Drawing schedule:

Sheet 1: Landscape site plan
Sheet 2: Lot 1 planting and details
Sheet 3: Lot 2 planting and details
Sheet 4: Lot 1 elevations
Sheet 5: Lot 2 elevations
Sheet 6: Notes

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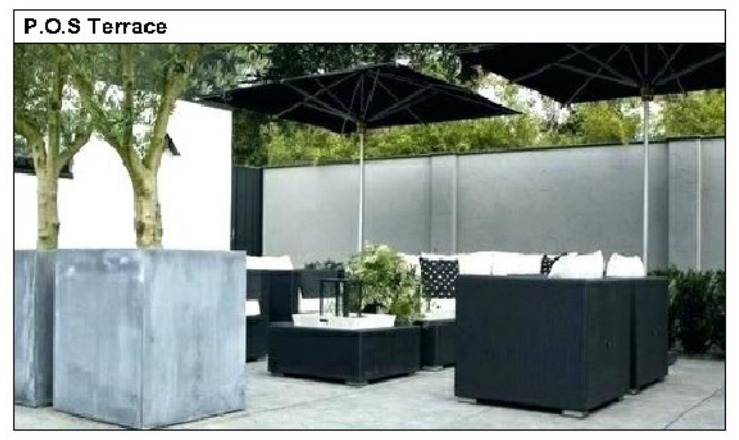
Typical design palette image


Pool


Glass pool fence


Privacy Screen


P.O.S Terrace planting theme

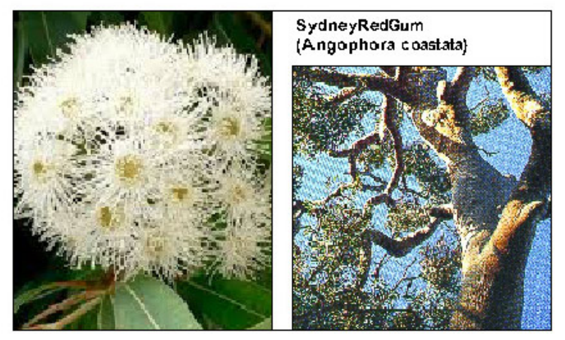

P.O.S Terrace


Integrated seating / stairs


Concrete stepping stones


Climbing Plants

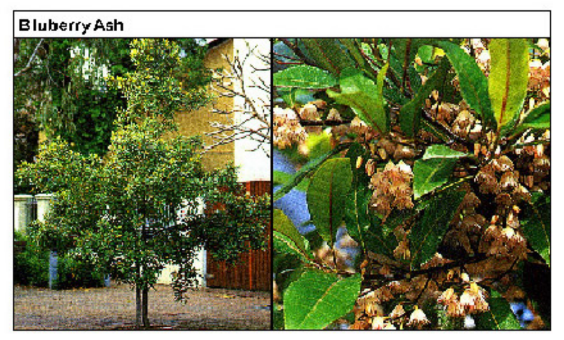
Typical plant species

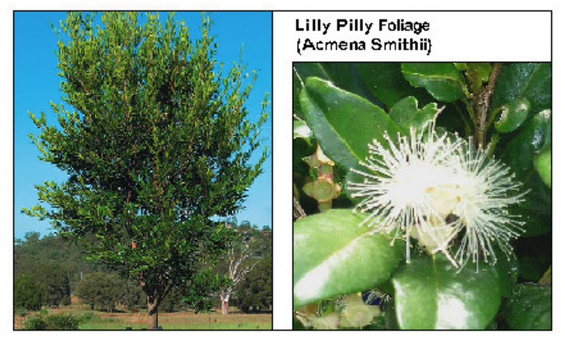

SydneyRedGum (Angophora coastata)

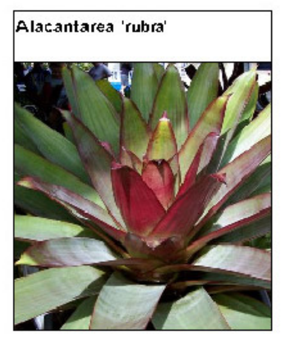

Eleaocarpus eumundii


Banksia Integrifolia


Water Gum Street tree


Bluberry Ash


Lilly Pilly Foliage (Acmena Smithii)


Alacantarea 'rubra'


Isolepis nodosa

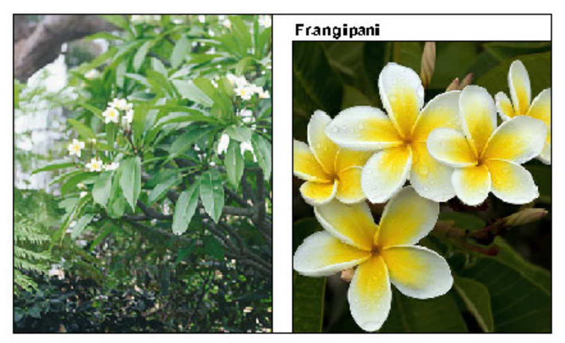

Livistona Palm


Murraya


Pink pearl

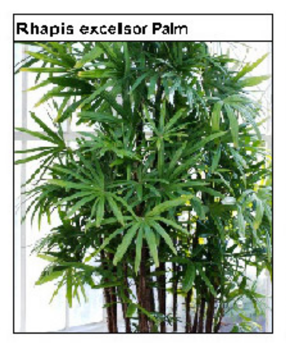

Eleaocarpus eumundii


Callistemon 'Endeavour'


Frangipani


Trachelespermum Jasminoides


Lomandra Tanika border plants


Rhapis excelsor Palm


Kaffir Lilly


Correa alba


Eleaocarpus eumundii


Westringia Blue Gem


Lomandra Tanika border plants


Guinea Flower


Longifolia


Coin Spot Tree Fern


Snow maiden

Legend

- Existing trees to be removed
- Proposed evergreen trees
- Taller palm
- Tree Ferns
- Low shrubs / ornamental grasses
- Medium shrubs
- Groundcovers / mulch
- Private open space paving
- Concrete
- Walls
- Climbing plants
- 21.29 Proposed levels
- Survey layer under

Amendments		
F	13.2.24	
E	11.2.25	Updated Architecturals
D	17.10.24	
C	14.10.24	
B	9.10.24	DA Final Review
A	7.10.24	DA Review

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LANDSCAPE

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Project: 90 Bringhton Street Freshwater

DWG: Landscape site plan

Date: 13.2.25
Scale: 1:150 @A1
Job Ref: 2872/24

Builder must verify all dimensions of the site before work commences.
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NORTH

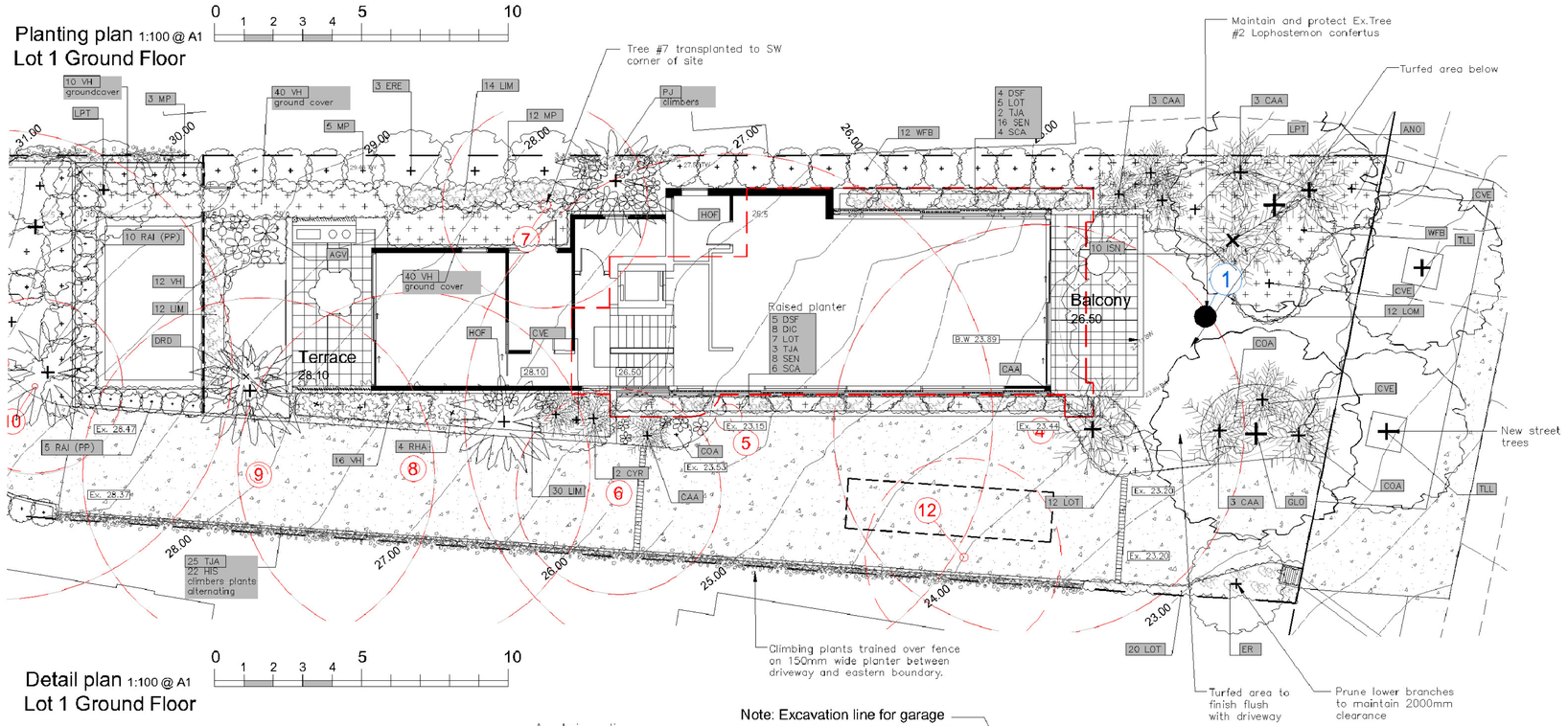
1 of 6

DA

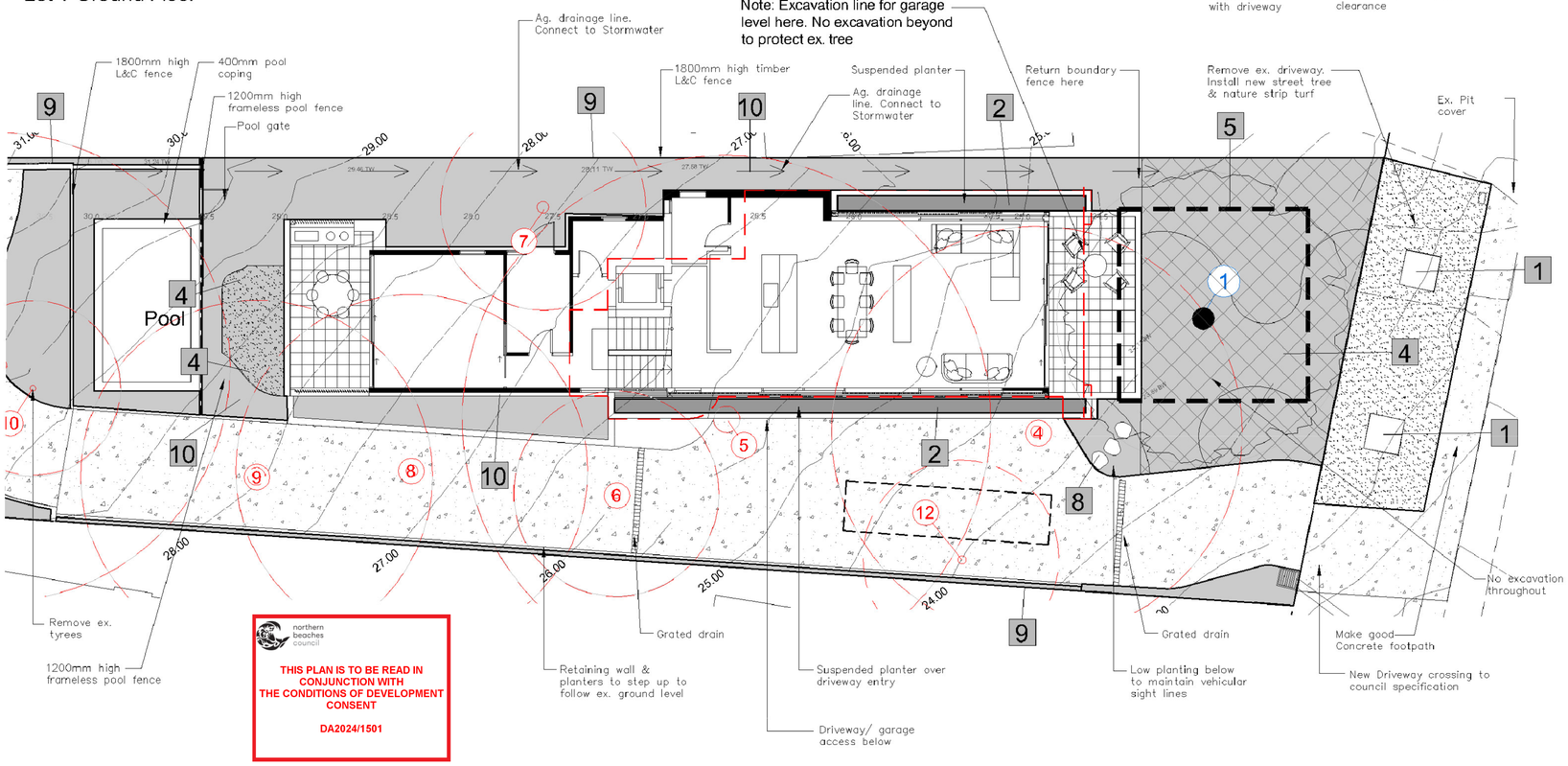
ISSUE-F

Job/Architects/Watershed/Bringhton/2872

Planting plan 1:100 @ A1
Lot 1 Ground Floor



Detail plan 1:100 @ A1
Lot 1 Ground Floor

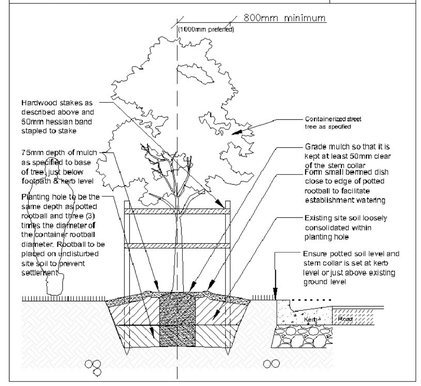


northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

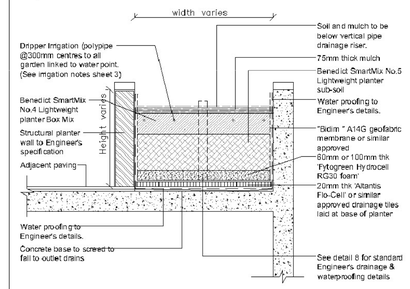
DA2024/1501

Detail 01 — PSLA 67
Tree planting details (Street trees)

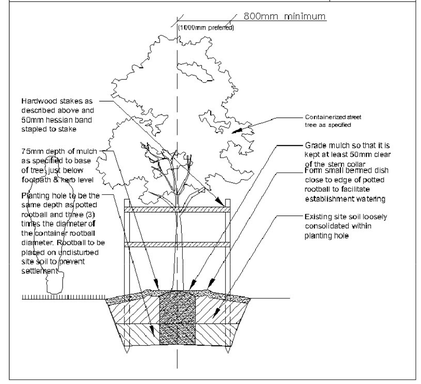


Detail 02 — PSLA 17
On structure planter typical soil installation detail n.t.s

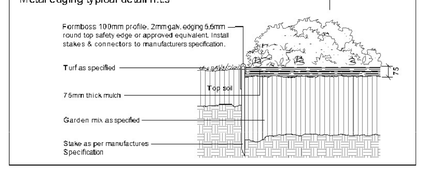
For soil & irrigation methodology only Structural & drainage to relevant Engineers details



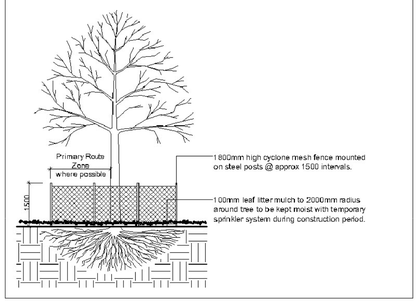
Detail 03 — PSLA 67
Tree planting details



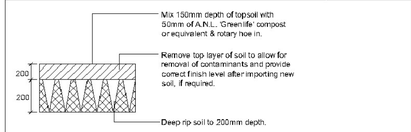
Detail 04 — PSLA 18
Metal edging typical detail n.t.s



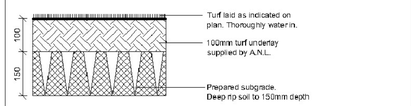
Detail 05 — PSLA 2
Tree protection measure Type 2 n.t.s.



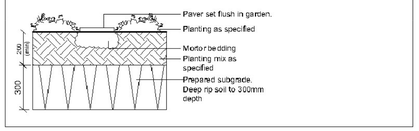
Detail 06 — PSLA 8
Soil preparation detail n.t.s.



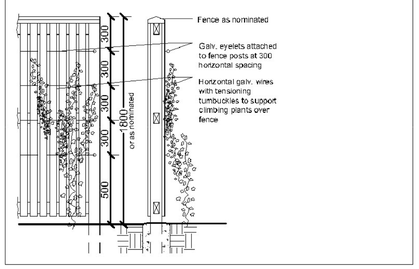
Detail 07 — PSLA 12
Turf over soil n.t.s



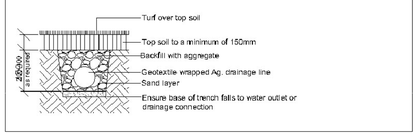
Detail 08 — PSLA 29
Stepping stones in garden n.t.s



Detail 09 — PSLA 50
Wire supports for climbers on fence n.t.s



Detail 10 — PSLA 44
Ag. drainage line n.t.s.



Legend

- Existing trees to be removed (Refer to Arborist report)
- Existing trees to be retained
- Soil / garden areas (Detail 6, sheet 2)
- Turfed areas (Detail 7, sheet 2)
- Raised planters / Retained planters (Detail 2, sheet 2)
- Detail # / Sheet 2 (3)
- 26.50 — Proposed levels
- ER — Planting symbol (See schedule sheet 3)
- No excavation zone

Amendments

F	13.2.24	
E	11.2.25	Updated Architecturals
D	17.10.24	
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Project: 90 Bringhton Street Freshwater

DWG: Lot 1 Ground Floor Detail plan

Scale: 13.2.25 | Scale: 1:100 @A1

Job Ref: 2872/24

2 of 6 DA ISSUE-F

NORTH

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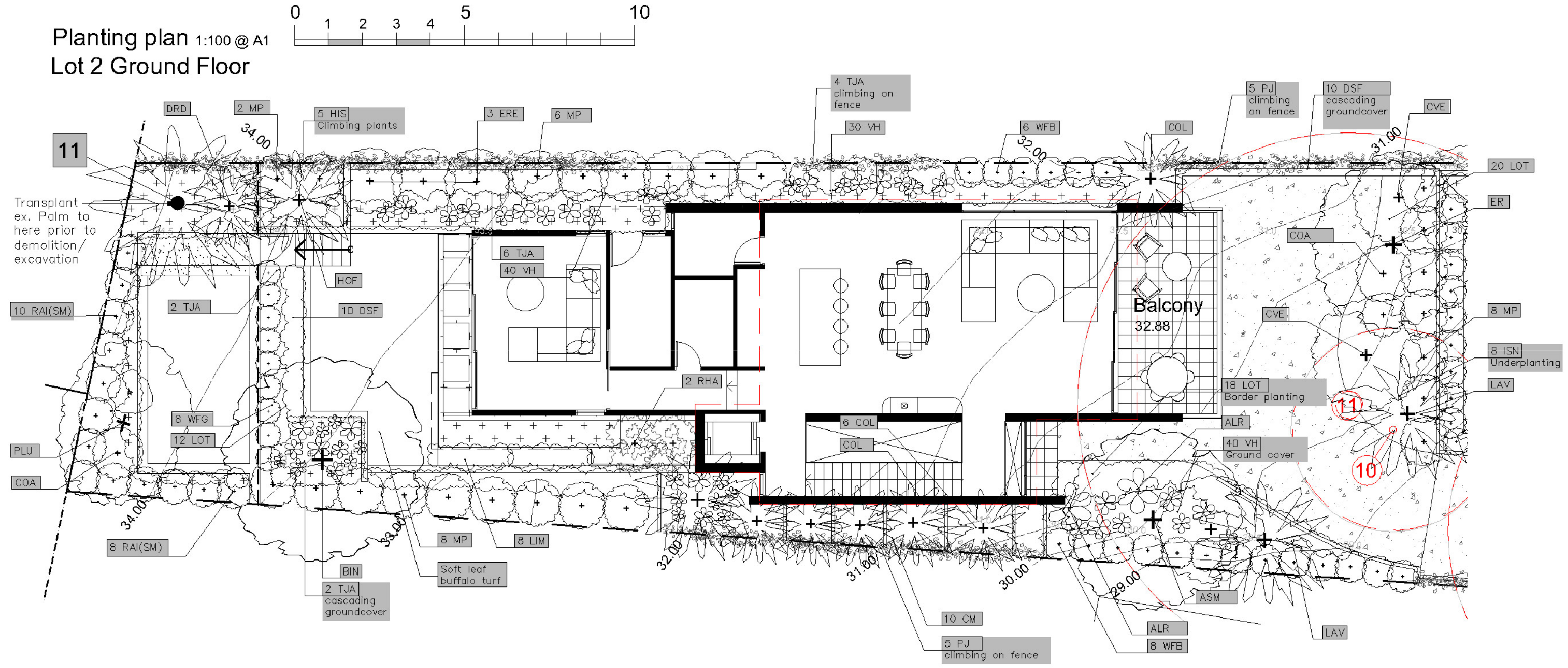
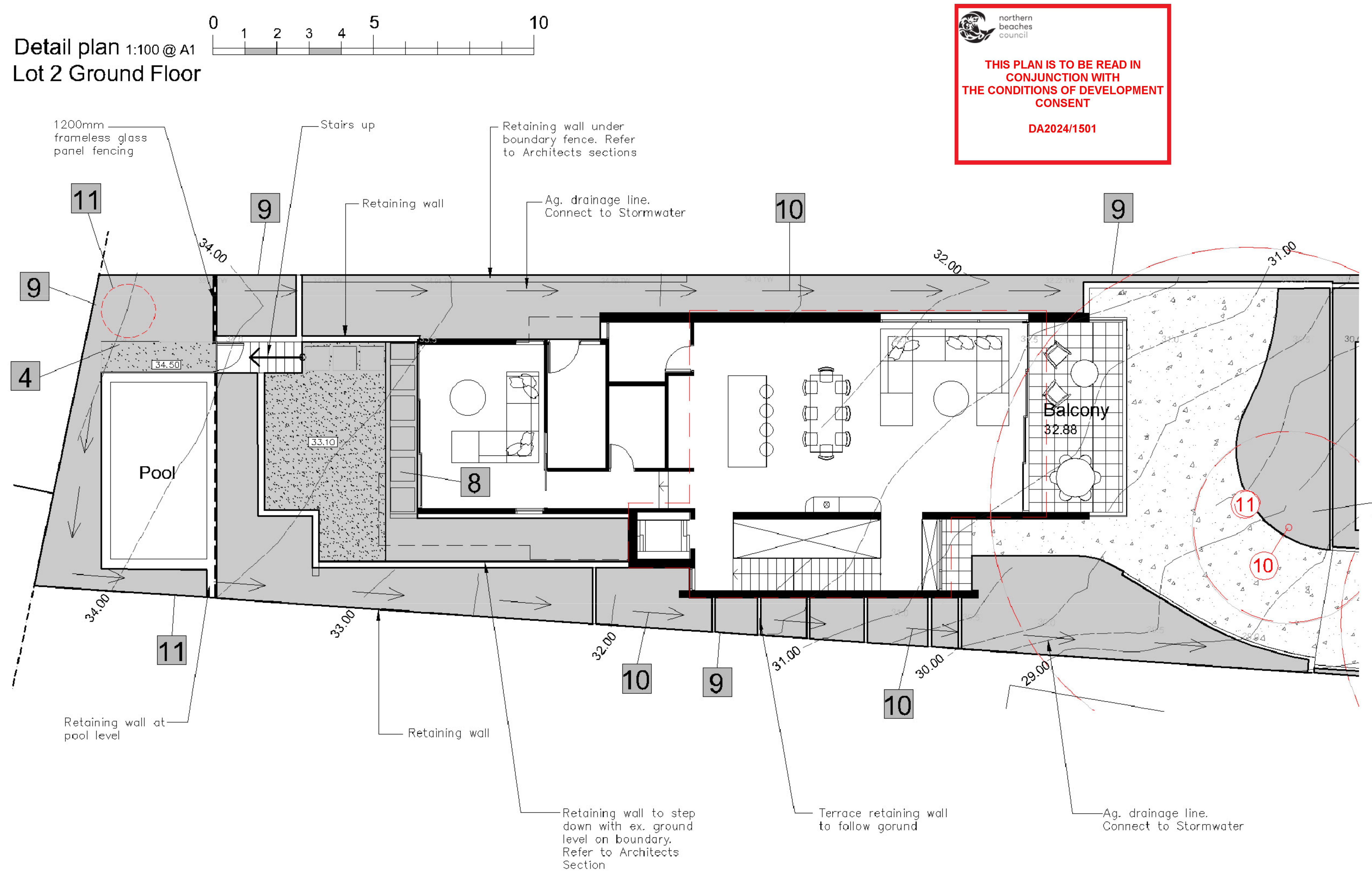
Job/Acn/detail/materials/ref/Brighton/2872

Planting plan 1:100 @ A1
Lot 2 Ground Floor



Detail plan 1:100 @ A1
Lot 2 Ground Floor



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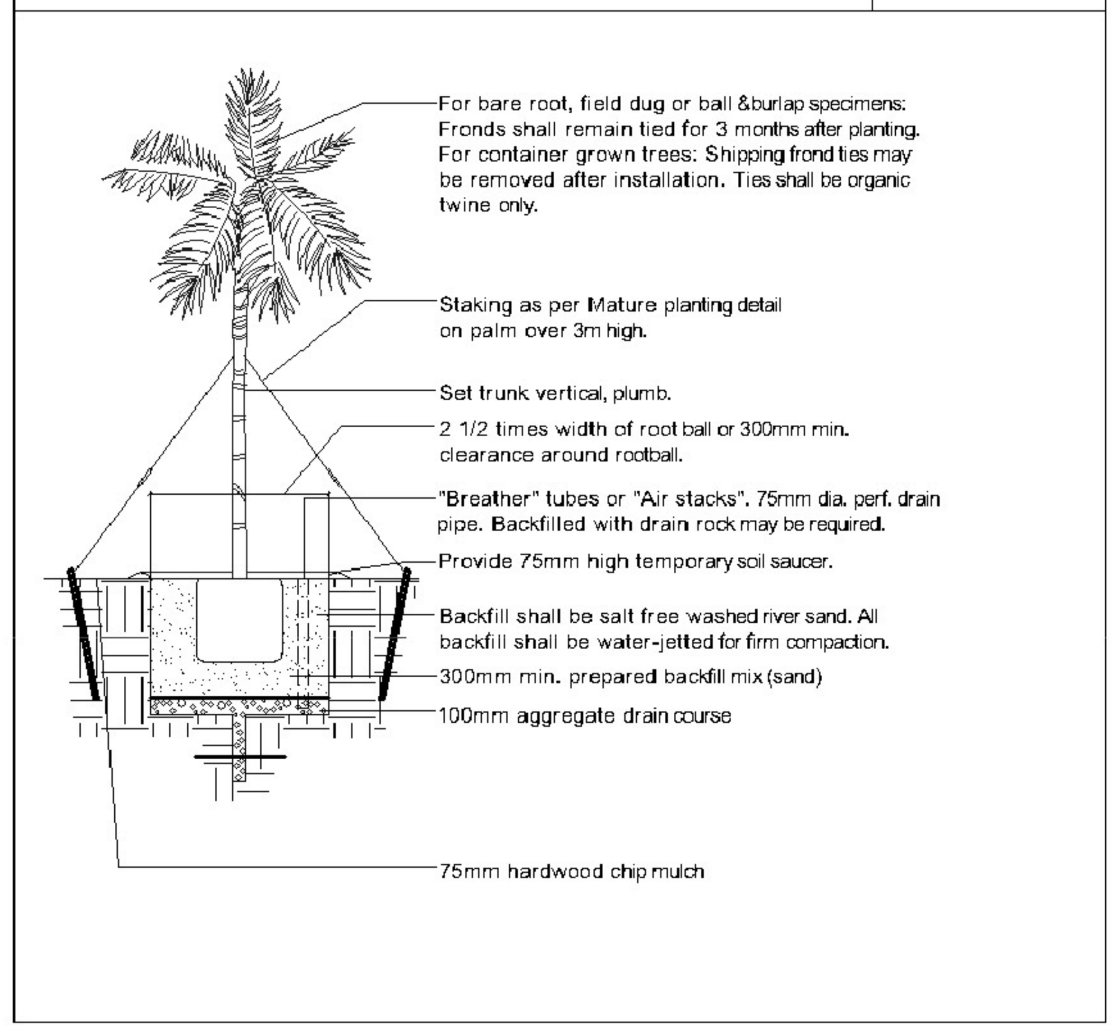
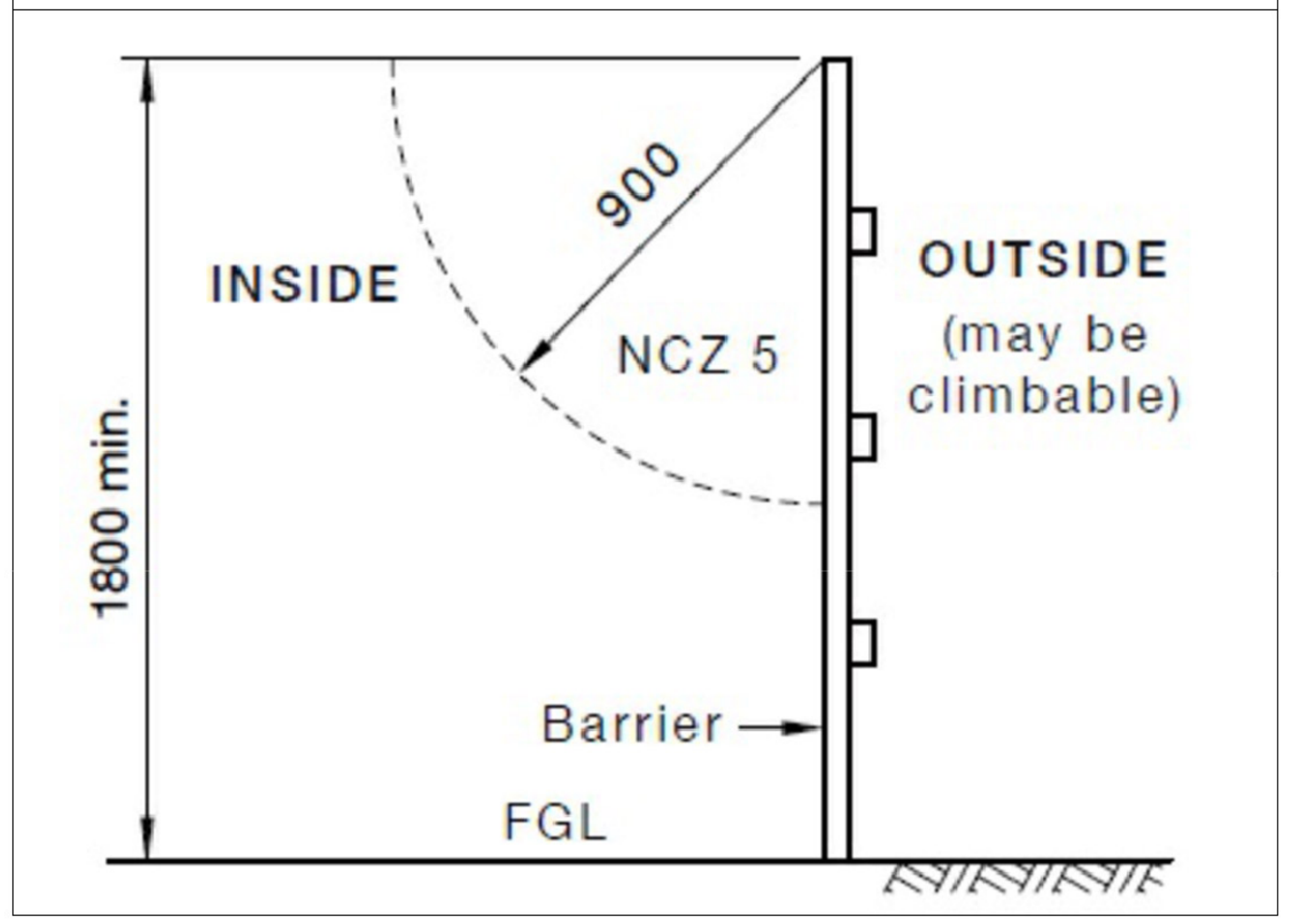
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1501

Detail 11 | PSLA 5
Palm transplanting detail n.t.s



Detail 11
Pool fence detail n.t.s



Planting schedule

Symbol	Botanical name	Common name	Cont. size	Staking	Mature height	No req.
Trees						
ASM	Acmena smithii	**Lilly Pilly** (Native tree in dep soil. Prune lower branches)	75Lt	3x50x50x1800	8-10.0M	1
ANO	Angophora costata	**Sydney Red Gum** (large native tree. Striking bark colour)	45Lt	3x50x50x1800	16-25.0M	1
BIN	Bankisa integrifolia	**Coast Banksia** (medium indigenous tree)	75Lt	3x50x50x1800	12-15.0M	1
ER	Elaeocarpus reticulatus	**Blueberry Ash** (indigenous small tree)	45Lt	3x50x50x1800	6-8.0M	3
ERE	Elaeocarpus eumundii	**QLD Quandong** (native vertical narrow screen tree)	45Lt	2x50x50x1800	7-10.0M	6
GLO	Glochidion ferdinandii	**Cheese Tree** (Indigenous medium tree)	75Lt	3x50x50x1800	7-10.0M	1
LPT	Leptospermum petersonii	**Lemon Scented Tea Tree** (Small native tree. Open foliage)	300mm	2x50x50x1800	3.5-5.0M	2
PLU	Plumeria acutifolia	**Frangipani** (small flowering deciduous tree)	45Lt	2x50x50x1800	3-4.0M	1
TLL	Tristaniopsis laurina 'Lusdous'	**Water Gum cultivar** (indigenous small-med tree)	75Lt	3x50x50x1800	5-7.0M	2
Shrubs / small feature trees						
COA	Correa alba	**White Correa** (hardy salt wind tolerant coastal shrub)	200mm	nil	1.5-2.0M	5
CVE	Callistemon citrinus 'Endeavor'	**Endeavor Crimson Bottlebrush** (Flowering native small tree)	300mm	nil	2-3.0M	2
MP	Murraya paniculata	**Orange Jessamine** (flowering screening plant)	300mm	hedged	2-3.0MM	34
RAI (PP)	Raphiolepis indica PP	**Pink Pearl** (hedging dense flowering plant)	300mm	hedged	1.0M	15
RAI (SM)	Raphiolepis indica SM	**Snow Maiden** (hedging dense flowering plant)	300mm	hedged	1.0M	15
WFB	Westringia fruticosa 'Blue Gem'	**Dwarf Blue Westringia** (hardy low gorwing plant)	150mm	hedged	1.2-1.5M	33
WFG	Westringia fruticosa 'Grey Box'	**Ozbreed** Grey Box® (hardy low screen can be hedged)	200mm	hedged	0.4-0.7M	8
Ferns / Palms / Succulents / ornamental bamboos						
AGV	Agave attenuata	**Century plant** (striking spiky leaved succulent)	200mm	nil	0.5M	1
ALR	Alacantarea 'Rubra'	**Giant Bromeliade** (Large succulent leaved ornamental plant)	300mm	nil	1.0M	2
CAA	Cyathea australe	**Tree Fern** (Native tree ferns)	300mm	nil	2-4.0M	13
COL	Colocasia esculenta '	**Elephants ears** (Large leaved plant)	200mm	nil	1.5-2.-0M	8
CYR	Cycas revolutum	**Sago Palm** (striking native low palm like)	300mm	nil	1-1.2M	2
DRA	Draceana marginata	**Draceana** (Vertical spiky feature plant)	250mm	nil	1.5M	1
DRD	Draceana draco	**Dragon Tree** (striking feature plant)	semi adv.	nil	2.5-3.5M	2
HOF	Howea forsteriana	**Kentia Palm (tall palm)**	semi-adv	wire guys	7-10.0M	3
LAV	Livistona australis	**Cabbage Palm** (tall indigenous palm)	semi adv	wire guys	8-12.0M	4
RHA	Raphis excelsor	**Lady Finger Palm**	300mm	nil	2-2.5M	3
Groundcovers/Climbers						
DSF	Dichondra 'Silver Falls	**Silver Falls** (cascading groundcover in roof garden)	200mm	nil	0.15M	31
HIS	Hibbertia scandens	**Guinea Flower** (flowering climber / groundcover)	200mm	nil	0.3M	27
PJ	Pandorea jasminoides	**Bower Plant** (native climbing/cascading groundcover)	200mm	wire supports on fence	2.5M	11
SCA	Scaevola aemula	**Fan Flower (Flowering cascading groundcover)**	150mm	nil	0.3M	10
SEN	Senicia serpens	**Blue Chalk Sticks** (silver blue low succulent groundcover)	200mm	nil	0.2M	24
TJA	Trachelospermum asiaticum	**Flatmat Star Jasmine** (FT01 Ozbbreed hyvrid groundcover)	200mm	nil	0.2M	34
VH	Viola hederacea	**Native Violets** (native low groundcover)	tubes	nil	0.1M	240
Ornamental grasses/strappy leaved plants						
CM	Clivea miniata	**Kaffir Lily** (shade tolerant groundcover)	200mm	nil	0.5M	10
DIC	Dianella caerulea	**Blue Flax Lily** (blue foliage native grass like plant)	100mm	nil	0.4M	8
ISN	Isolepsis (Finicia) nodosa	**Knobby Club Rush** (native ornamental grass)	150mm	nil	0.6M	18
LIM	Liriope Evergreen Giant	**Turf Lily** (shade tolerant groundcover)	150mm	nil	0.4M	73
LOM	Lomandra longifolia	**Spiny Mat Rush** (Tall hardy grass like clumping plant)	200mm	nil	1-1.2M	12
LOT	Lomandra 'Tanika'	**Dwarf Mat Rush** (native mass planted groundcover)	150mm	nil	0.4M	84

Planting schedule species to be sourced from local nurseries supplying plants of local provenance wherever possible. Landscape contractor is to check plant numbers on plan against the schedule prior to submitting tender price. Contact landscape architect if any number discrepancies are found. Council compliance controls require that any substitution of species variety or container size MUST be confirmed with landscape architect to ensure a compliance certificate can be issued that's meets the specific development consent conditions of the project.

Legend

Existing trees to be removed (Refer to Arborist report)	Soil / garden areas (Detail 6, sheet 2)	Raised planters Retained planters (Detail 2, sheet 2)	26.50 Proposed levels
Existing trees to be retained	Turfed areas (Detail 7, sheet 2)	3 Detail # / Sheet 2	ER Planting symbol (See schedule sheet 3)

Amendments

F	13.2.24	
E	11.2.25	Updated Architecturals
D	17.10.24	
C	14.10.24	
B	9.10.24	DA Final Review
A	7.10.24	DA Review

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Project: 90 Bringhton Street Freshwater

DWG: Lot 2 Ground Floor Detail plan

Scale: 13.2.25 Scale: 1:100 @A1

Job Ref: 2872/24

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NORTH

DA

ISSUE-F

North elevation - Lot 1 1:100 @ A1

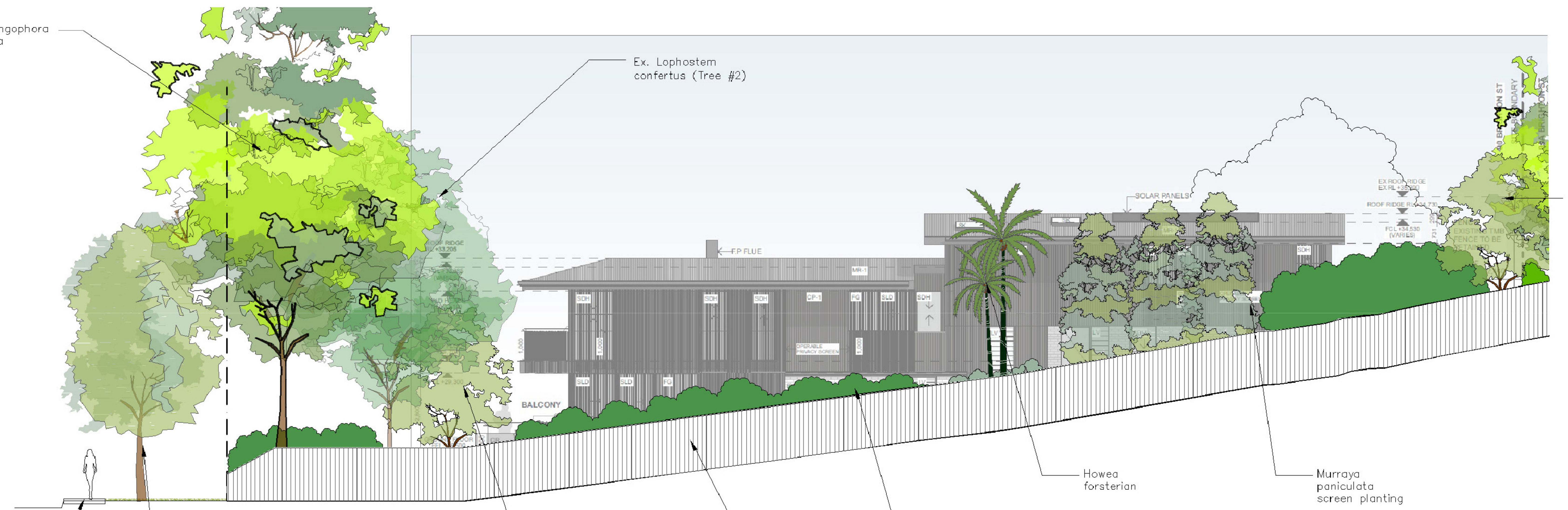
0 1 2 3 4 5 10

East elevation - Lot 1 1:100 @ A1

0 1 2 3 4 5 10

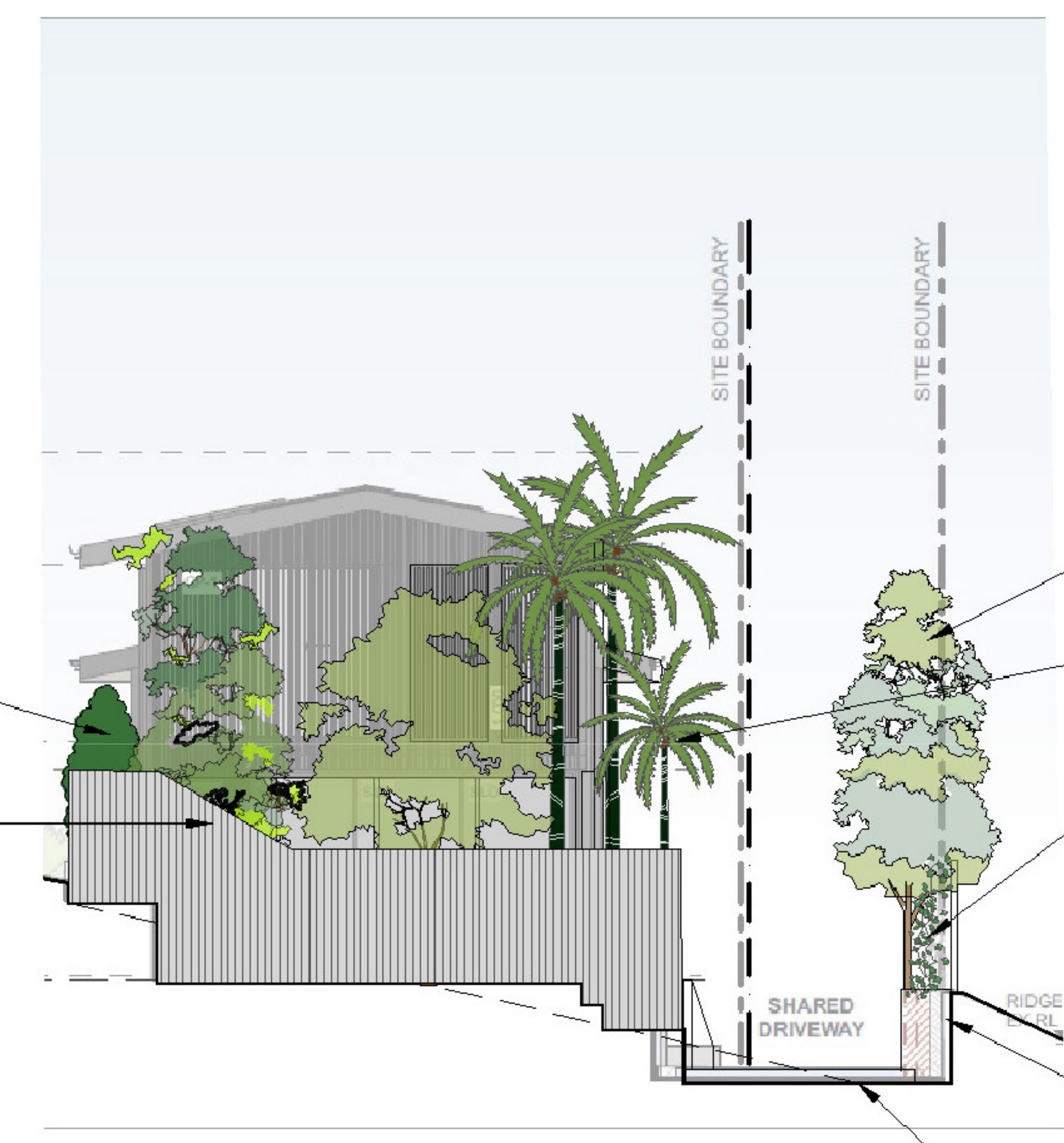
West elevation - Lot 1 1:100 @ A1

0 1 2 3 4 5 10



South elevation - Lot 1 1:100 @ A1

0 1 2 3 4 5 10



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DA2024/1501

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DWG: Lot 1 Elevations

Scale: 13.2.25

Scale: 1:100 @A1

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NORTH

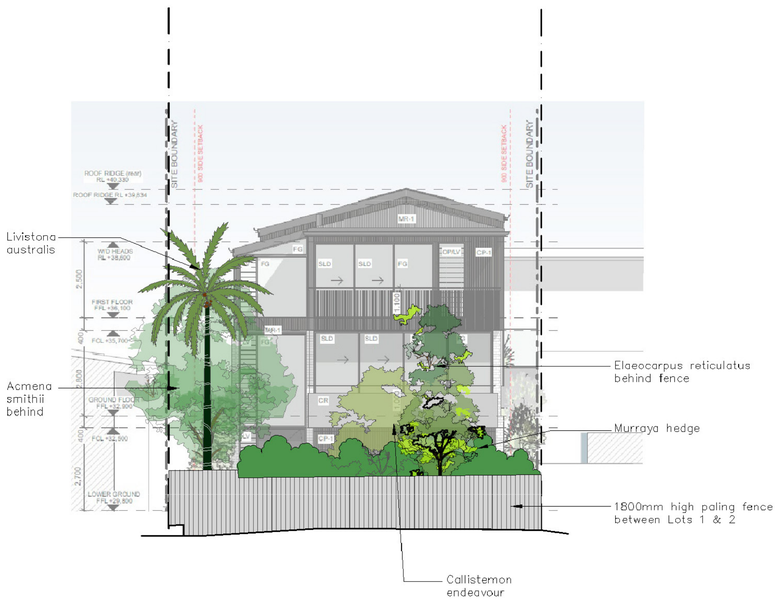
DA

ISSUE-F

Job/Architects/Watershed/Brighton/2872

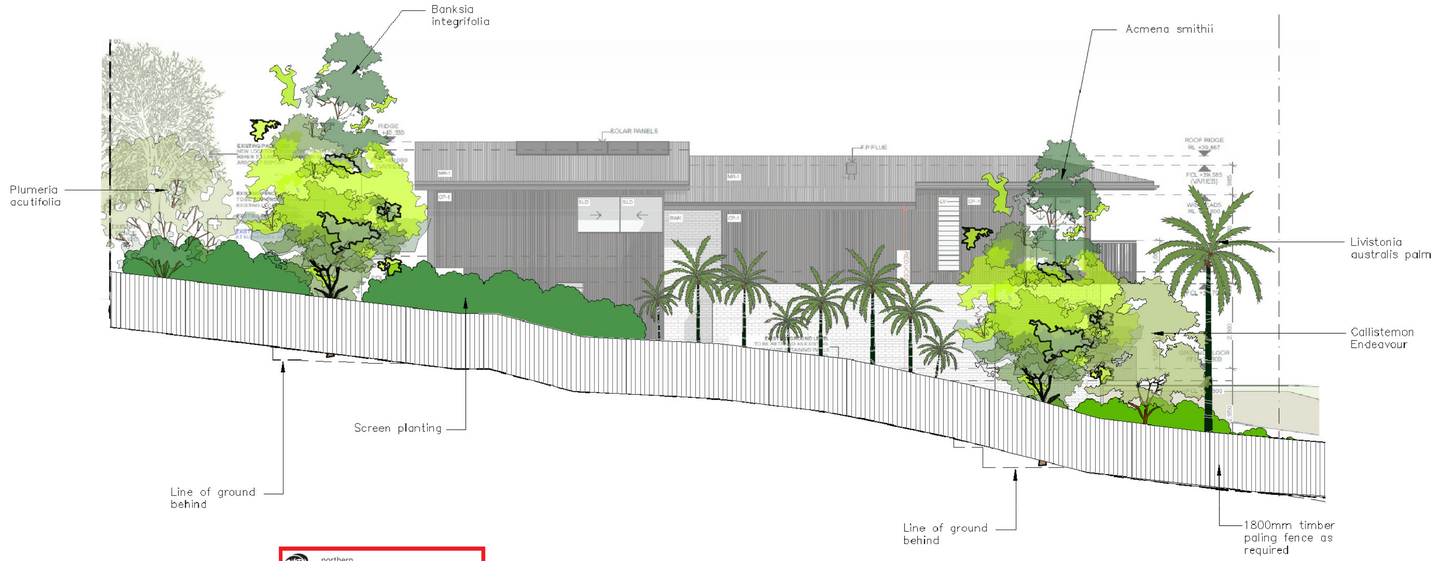
North elevation - Lot 2 1:100 @ A1

0 1 2 3 4 5 10



East elevation - Lot 2 1:100 @ A1

0 1 2 3 4 5 10



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THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

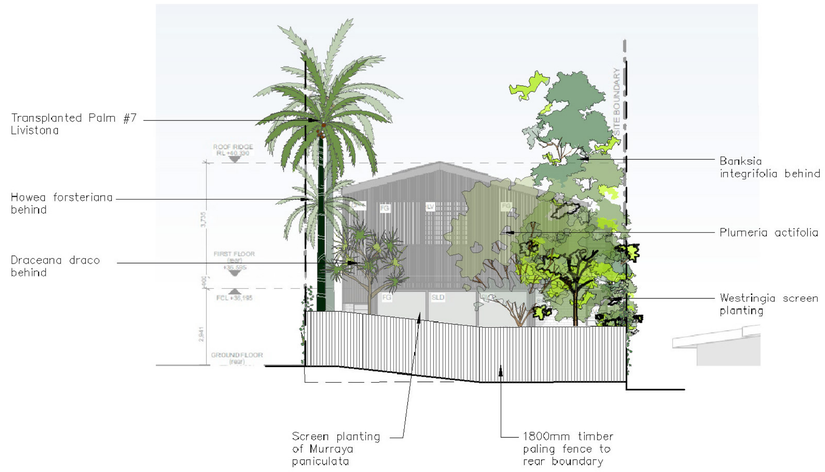
DA2024/1501

West elevation - Lot 2 1:100 @ A1

0 1 2 3 4 5 10

South elevation - Lot 2 1:100 @ A1

0 1 2 3 4 5 10



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NORTH

Job/Acn leaf Watermark Rights/2872

General installation notes

1. Site preparation
Any existing trees and vegetation to be retained shall be preserved and protected from damage of any sort during the execution of landscape work. In particular, root systems of existing plants must not be disturbed if possible. Any nearby site works should be carried carefully using hand tools. To ensure the survival and growth of existing trees during landscaping works, protect by fencing or armoring where necessary. Trees shall not be removed or lopped unless specific written approval to do so is given or is indicated on plan. Storage of materials, mixing of materials, vehicle parking, disposal of liquids, machinery repairs and refueling, site office and sheds, and the lighting of fires shall not occur within three (3) metres of any existing trees. Do not stockpile soil, rubble or other debris cleared from the site, or building materials, within the dripline of existing trees. Vehicular access shall not be permitted within three (3) metres of any tree.

2. Soil preparation
All proposed planting areas to be deep ripped to 200mm (where possible) and clay soils to be treated with clay breaker.. Apply at least 200mm depth good quality garden soil mix to all garden planting areas (OSD basin area). To comply with AS 4419 Turfed areas as noted on plans to be laid over 100mm min. good quality turf underlay with sand mix for free drainage. Turfed areas to be to be laid over 100mm good quality turf underlay (with 25% washed sand mix for free drainage) to be installed over Benedicts Smart Mix no.4 Lightweight Planter Mix (or approved equivalent) to approx. 300-400 min. over drainage layer. See typical raised planter detail. To comply with AS 4454:1999 .

3. New plantings
No staking to plant material in raised planter areas to ensure no damage to waterproofing and drainage layers. Planting holes for plant material should be large enough in size to take root ball with additional space to take back filling of good quality planting mix. (Please note mature heights of planting as shown on planting schedule can vary due to site conditions, locations in constricted deep soil or over slab planters and so forth) Nominated heights for plantings in raised planters over slabs are nominated as less than their normal expected heights in acknowledgement of the contained soil environment. For other deep soil trees heights are subject to particular site conditions, and intended hedging or pruning for functional requirements such as available planting width, intended access under branches and solar access.

4. Raised planter soil installation methodology
All slab areas to be waterproofed and 'Atlantis' drainage cell installed with geotextile fabric or similar approved. Refer Engineer's details for ALL structural and installation details. All waterproofing as per Architects specification. All raised gardens to have the following soils:

- Benedicts Smart Mix no. 4 Lightweight Planter Mix (or approved equivalent) to min. 400mm depth over Benedicts Smart Mix. No. 5 light weight base layer where raised planter depth are required for planters greater 700mm or greater. To comply with min 650mm soil depth as per condition # 22. To comply with AS 4419 and AS 3743
- All common area raised plantersand over slab areas to have automatic dripline irrigation system. (see separate irrigation notes)
- Landscape contractor to install all planter box fill material and plant material after other site works are completed to ensure no deterioration of waterproof membrane behind external walls.

Note: Hold point requirements for raised planting over slab.
Confirmation of waterproofing with certificate by qualified installer that it meets the specified requirements.
Inspection of drains by the stormwater engineer prior to drainage and soil installation.
Landscape consultant to confirm correct soil and drainage layers have been installed
Landscape consultant to confirm that irrigation has been installed in all common areas landscape areas (excluding drainage detention zone)

5. Mulching
All planting areas to be mulched with a minimum 75mm thick cover of recycled hard wood chip mulch and then all plant areas to be thoroughly soaked with water. To comply with AS 4454

6. Fertliser
All planting areas to be fertilised with 9 month 'NPK' slow release fertiliser.

7. Staking
No staking in raised planters to avoid damaging waterproofing installation

8. Turfing
Turfed areas to be to be laid over 100mm good quality turf underlay (with sand mix for free drainage) to be installed over Benedicts Smart Mix no.4 Lightweight Planter Mix (or approved equivalent) to min 300 min. to comply with condition # 22. See typical raised planter detail. To comply with AS 4454:1999 .

9. Structural and drainage
All structural details whatsoever to Structural and Civil Engineer's details. All site and raised planter drainage to Stormwater Engineer's details.

10. Maintenance regime
See separate maintenance notes on sheet 3

11. Final inspections
Final review and any variation as 'Works as executed plans' to be provided to the PCA prior to Occupation Certificate as per condition no. 79.

Maintenance schedule

The Landscape Contractor shall maintain the contract areas by accepted horticultural practices as well as rectifying any defects that become apparent in the works under normal use. The Landscape Contractor shall maintain the works and make good all defects for a period of twenty six (26) weeks after the date of practical completion. Practical completion of the landscape works shall include but not be limited to the replacement of plants which have failed or been damaged or stolen during work under the contract. Landscape maintenance shall include but not be limited to the following: watering, rubbish removal, spraying and wiping leaf surfaces, replacing failed plants, maintaining mulch, pruning, insect and disease control, cleaning of surrounding areas. Mow the nature strip turf when it is established at regular intervals to maintain an average height of 50mm.

After the completion of the defects period noted above the owners corporation of the residence are responsible for the ongoing maintenance and viability of the gardens and ongoing maintenance shall include the following:

- Regular hand watering of gardens if installed drip line irrigation system is turned off. Irrigation to be installed and maintained as per manufacturers specifications including regular checks for function of system, to check for leaks and to ensure general good working operation. Regular maintenance of the irrigation system battery timers (where required) for isolated planter beds in common areas. Battery timers for private terraces are the responsibility of the individual unit owners.
- Mulch is to be regularly topped up every 6 months to ensure an even 75mm coverage in all garden beds
- Regular pruning of plants is to be undertaken to ensure continued uniform growth of canopy and foliage of trees and shrubs. Removal of vegetation over the long term (if and when required) as the garden matures. Subject to the relevant council applications
- Regular assessment of plants for evidence of insect attack or disease. Appropriate pest oil, white oil of industry standard safe to use pest spray is to be employed if required
- Garden/lawn edging to be inspected regularly after practical completion to ensure it is maintained in good order. Replace where required if defective sections are discovered
- All garden refuse, rubbish and associated items that arise from the regular garden maintenance procedures are to be collected and stored in appropriate general waste or green waste containers as is appropriate. Excess waste unable to be stored in Council waste containers is to be removed from the site is a timely manner.

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Irrigation notes

Automatic drip line watering system to be selected. To extend to ALL garden areas nominated on the deep soil and planter box areas and is to include all raised planter boxes over slab. (all lawn areas to be excluded) Water supply tap hosecocks as indicated on CC stage drawings.(To be coordinated with Hydraulic and Structural Engineer's details). Dripline supply system only to be incorporated.

Prior to approval by the project manager and prior to installation the Contractor responsible for the irrigation installation is to provide an irrigation design to meet the following requirements.

Generally: Supply an automatic drip line irrigation system. To include all piping to solenoids either PVC lines and/or class 12 pressure pipe or low density, rubber modified polypropeyline reticulation as required to provide water supply to the nominated areas. To be coordinated with Hydraulic engineers plans. To include all bends, junctions, ends, ball valves, solenoids and all other ancillary equipment. Backwash valve: An approved backwash prevention valve is to be located at the primary water source for top up valves to rainwater tanks (where applicable).

Ensure rain sesnsor is installed for common area garden zones connected to timers

Chemical root control: Provide standard chemical root inhibiting chemical cartridge. These are to be industry standard, in-line replaceable cartridges located for easy access for replacement cartridge installation

.

Automatic Controller: Provide automatic 2 week timer with hourly multi-cycle operation for each zone as noted on the irrigation areas plan on sheet .... . Battery timers to isolated planter boxes is acceptable and to maintained by the owners corporation as part of the ongoing property maintenanace.

Performance: It shall be the Landscape Contractor's responsibility to ensure and guarantee satisfactory operation of the irrigation system. The system is to be fit for the purpose and should utilize sufficient solenoids to provide for the varying watering requirements of landscape areas to allow all plants and lawn areas to thrive and attain long term viability.

Testing: After the system has been installed to the satisfaction of the project manager, the installation shall be tested under working conditions. Acceptance of the installed plant and equipment shall be subject to these being satisfactory.

Warranty: A twelve month warranty is to be provided in writing by the Landscape Contractor, which shall commit the Landscape Contractor to rectify the system (the items they have installed) to the satisfaction of the project manager or nominated representative. This will apply should any fault develop, or the capacity or efficiency fall below that guaranteed, or should the discharge or pressure be inadequate, or should defects develop in the filter unit or control heads, or any blockages that may develop in the system.

Approvals: The Landscape Contractor is to liaise as necessary, to ensure that the irrigation system conforms with all Water Board, Council and Australian standards (AS)

Amendments

F	13.2.24	
E	11.2.25	Updated Architecturals
D	17.10.24	
C	14.10.24	
B	9.10.24	DA Final Review
A	7.10.24	DA Review

PAUL SCRIVENER
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Project: 90 Bringhton Street
Freshwater

DWG: Notes

Scale: 13.2.25
Scale: 1:100 @A1
Job Ref: 2872/24

Builder must verify all dimensions of the site before work commences.
Figured dimensions should be used in preference to those scaled off.

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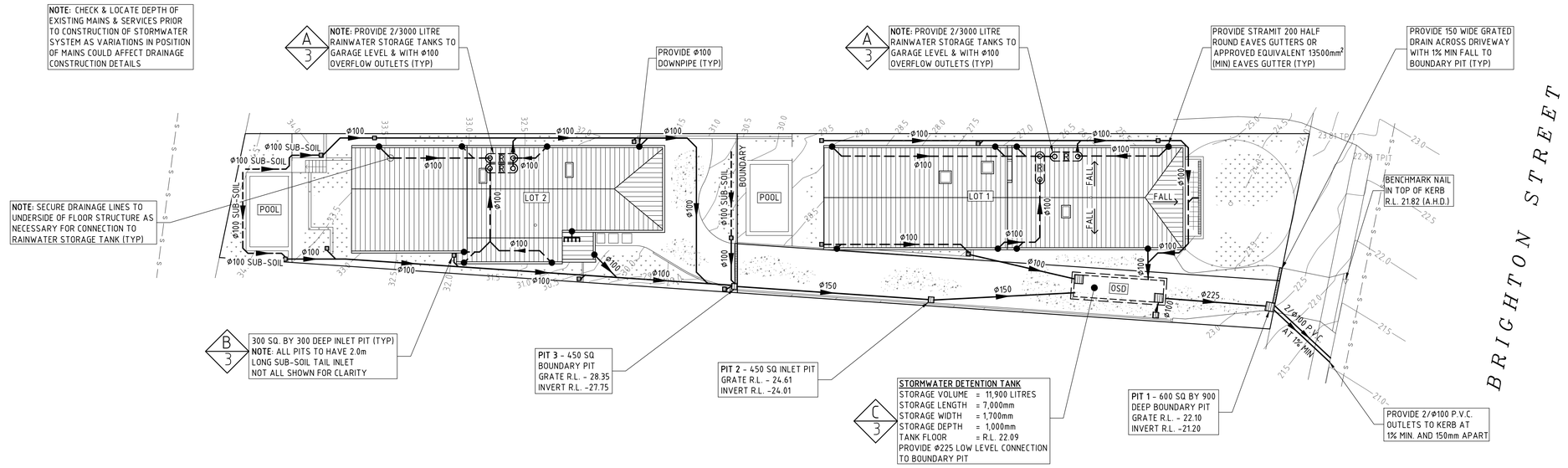
NORTH

DA

ISSUE-F

Jobs/Architects/Watershed / Brighton / 2872



SITE DRAINAGE PLAN

SCALE 1:200

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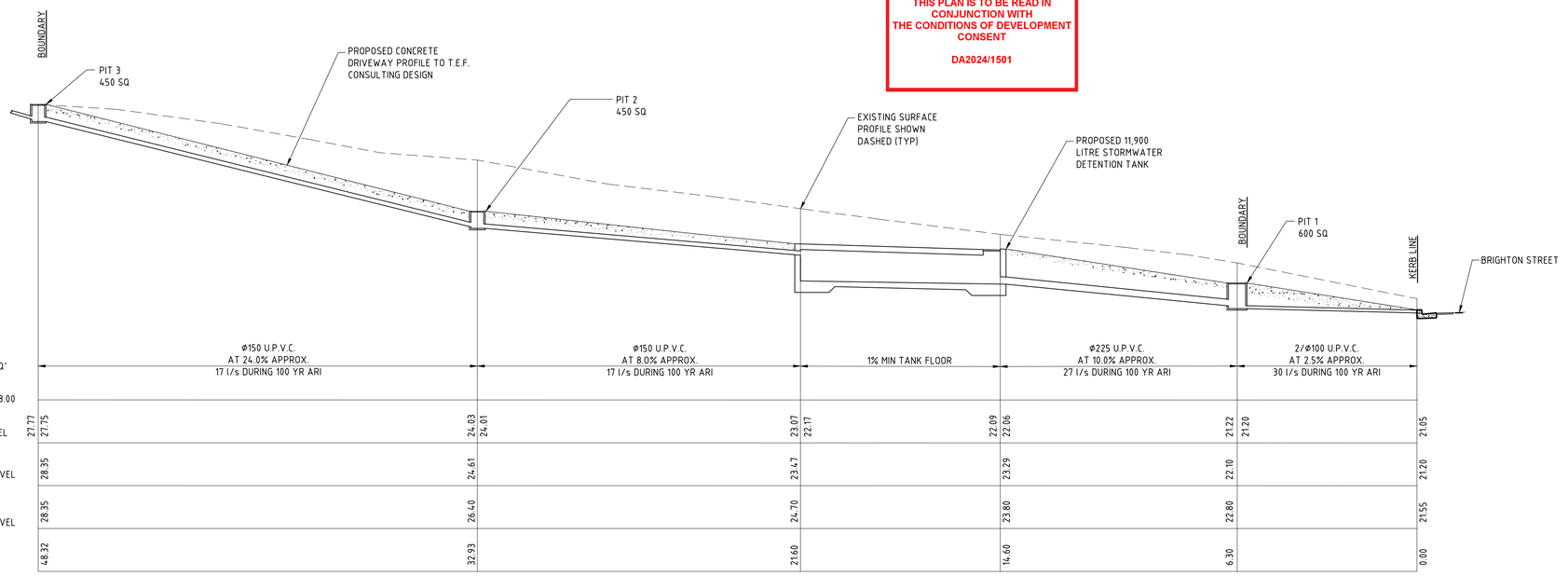

DRAINAGE LONG-SECTION

SCALE 1:100 NATURAL

DRAINAGE NOTES

1. + DENOTES EXISTING GROUND LEVEL
2. FALL STORMWATER PIPES AT 1% MIN. UNLESS OTHERWISE NOTED.
3. SUB-SOIL DRAINAGE TO BE CONNECTED TO THE SITE DRAINAGE SYSTEM AS NECESSARY.
4. SURFACE GRATES 300 SQ. UNLESS OTHERWISE NOTED.
5. ALL STORMWATER PIPES TO HAVE SOLVENT CEMENT WATERTIGHT JOINTS.
6. CHECK & LOCATE DEPTH OF EXISTING MAINS & SERVICES PRIOR TO CONSTRUCTION OF STORMWATER SYSTEM AS VARIATIONS IN POSITION OF MAINS COULD AFFECT DRAINAGE CONSTRUCTION DETAILS.
7. INSPECTIONS MUST BE UNDERTAKEN BY THIS OFFICE (BY PRIOR ARRANGEMENT WITH ENGINEER) DURING CONSTRUCTION TO ENABLE FULL CERTIFICATION UPON COMPLETION OF WORKS.
8. ALL CONSTRUCTION OF COUNCIL DRAINAGE WORKS TO COMPLY WITH COUNCIL STANDARD.
9. REMOVE REDUNDANT DRAINAGE PITS AND SEAL PIPES.
10. PIT BENCHING TO BE HALF THE OUTGOING PIPE DIAMETER. CONCRETE FOR BENCHING TO BE 20 MPa MASS CONCRETE.
11. APPROVED PRE-CAST PITS MAY BE USED.
12. ALL PIPES TO BE LAID ON COMPACTED FINE CRUSHED ROCK OR SAND BEDDING 75mm THICK & PIPES BACKFILLED WITH COMPACTED SAND TO 300mm ABOVE TOP OF PIPE, ELSE ATTACHED TO UNDERSIDE OF STRUCTURE AT 600mm c/c AS NECESSARY
13. PIPE ROUTES SHOWN ARE INDICATIVE ONLY AND SHOULD BE AS NECESSARY ACCORDING TO SITE CONDITIONS, TREE POSITIONS ETC. CONFIRM SIGNIFICANT CHANGES IN PIPES SYSTEM DETAILS WITH SUPERVISING ENGINEER PRIOR TO COMMENCEMENT OF DRAINAGE CONSTRUCTION WORKS.
14. CONTRACTOR SHALL ENSURE THAT SERVICES TO BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS WHERE REQUIRED. ONCE WORKS ARE COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD ALL DISTURBED AREAS.
15. STORMWATER SYSTEM REQUIRES SIGNIFICANT MAINTENANCE DUE TO POTENTIAL HIGH POLLUTANT LOAD. FILTERS AND POLLUTANT TRAPS SHOULD BE CHECKED AFTER LARGE STORM EVENTS AND CLEANED EVERY 6 MONTHS.
16. PLUMBING AND DRAINAGE WORKS TO COMPLY WITH AS-3500, THE NATIONAL DRAINAGE & PLUMBING CODE.
17. WHERE POSSIBLE DRAINAGE LINES SHALL BE LAID IN AREAS PREVIOUSLY DISTURBED BY OTHER SITE WORKS AND FOLLOW TOPOGRAPHICAL FEATURES TO REDUCE IMPACT AND AVOID TREE ROOTS
18. THIS STORMWATER MANAGEMENT PLAN HAS BEEN PREPARED FOR SUBMISSION TO COUNCIL/CERTIFIER AND DOES NOT NECESSARILY CONTAIN ALL APPROPRIATE INFORMATION TO ENABLE FOR ISSUE TO PLUMBER/BUILDER FOR CONSTRUCTION. CONTACT TAYLOR CONSULTING FOR MORE INFORMATION.

RAINWATER RE-USE NOTES AND SPECIFICATIONS

1. ROOF WATER ONLY TO BE DRAINED TO THE RAINWATER STORAGE TANK.
2. THE RAINWATER STORAGE TANK NEEDS TO BE CONNECTED FOR RE-USE AS REQUIRED BY THE OWNER.
3. RAINWATER STORAGE TANK TO BE CONFIGURED IN ACCORDANCE WITH SYDNEY WATER SPECIFICATIONS 'GUIDELINES FOR RAINWATER TANK ON RESIDENTIAL PROPERTIES'.
4. PROVIDE MAINS 'TOP-UP' SUPPLY TO RAINWATER TANK. MAINS TOP-UP ZONE TO BE BASED ON THE DAILY NON-POTABLE USAGE THAT MAY BE EXPECTED FROM THE TANK.
5. PROVIDE A MECHANICAL PUMPING ARRANGEMENT (IN SOUND-PROOF HOUSING) TO PUMP SUPPLIERS SPECIFICATION TO SUIT INTENDED USAGE OF RAINWATER STORAGE. PUMPING ARRANGEMENTS MUST COMPLY WITH EPA GUIDELINES.
6. INLETS TO RAINWATER TANK MUST BE SCREENED TO PREVENT THE ENTRY OF FOREIGN MATTER, ANIMALS OR INSECTS.
7. A SIGN MUST BE AFFIXED TO THE RAINWATER TANK CLEARLY STATING THAT THE WATER IN THE TANK IS RAINWATER AND IS NOT TO BE USED FOR HUMAN CONSUMPTION.
8. RAINWATER TANK TO BE PLACED ON A STRUCTURALLY ADEQUATE BASE IN ACCORDANCE WITH THE MANUFACTURER'S OR STRUCTURAL ENGINEER'S DETAILS.
9. THE TANK MUST NOT BE INSTALLED OVER ANY MAINTENANCE STRUCTURE OR FITTINGS USED BY A PUBLIC AUTHORITY.
10. RAINWATER TANK AND ASSOCIATED PLUMBING WORKS TO BE INSTALLED AND CONFIGURED BY A LICENSED PLUMBER. PUMP TO BE INSTALLED BY A LICENSED ELECTRICIAN.

STORMWATER SYSTEM DESIGN DATA

NORTHERN BEACHES COUNCIL - REGION 2; CENTRAL CATCHMENTS

DETENTION TANK DESIGN CRITERIA PER WATER MANAGEMENT DEVELOPMENT POLICY CLAUSE 9.3.2.

OSD SYSTEM DESIGN DATA

EXISTING SITE FLOWS

5 YR ARI = 21 l/S
100 YR ARI = 48 l/S

DEVELOPED SITE FLOWS

5 YR ARI = 18 l/S
100 YR ARI = 30 l/S

DETENTION SYSTEM DATA

AREA DRAINING TO THE TANK = 889 m²
MAX. 100YR TWL = RL 22.83
ORIFICE DIAM = 119 mm
SSR = 15.96 m³

NOTE : DETENTION STORAGE VOLUME HAS BEEN OFFSET BY VIA THE PROVISION OF 6000 LITRES OF RAINWATER STORAGE.

STORMWATER SYSTEM DESIGN DATA

SITE DATA

SITE AREA = 1,034 m² (100%)
PROPOSED IMPERVIOUS AREA = 689.7 m² (67%)
PROPOSED LANDSCAPED AREA = 344.3 m² (33%)
EXISTING IMPERVIOUS AREA = 204.2 m² (20%)
EXISTING LANDSCAPED AREA = 829.8 m² (80%)

ISSUE DATE	REVISION
10 FEB 2025	UPDATES TO SUIT NEW ARCH PLANS

TITLE

STORMWATER MANAGEMENT PLAN 90 BRIGHTON STREET, FRESHWATER

DRAWN	DATE	CHECKED	SCALE @ A1
RR	14 FEBRUARY 2025	BE Civil (Hons) MIE Aust;	1:200 1:100
ENGINEER DMS			

TAYLOR CONSULTING CIVIL & STRUCTURAL ENGINEERS

DRAWING NO STORM-1/A

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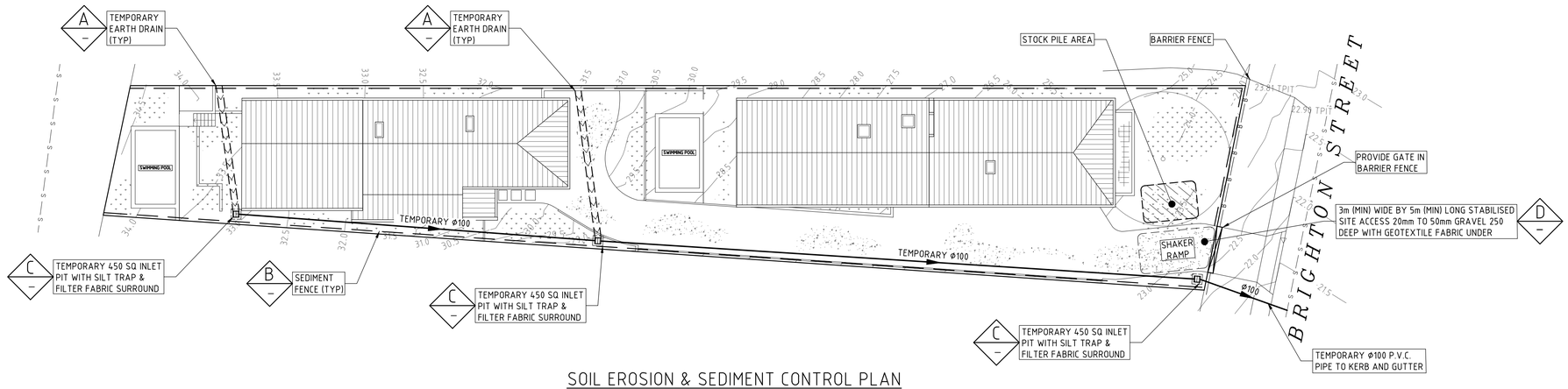


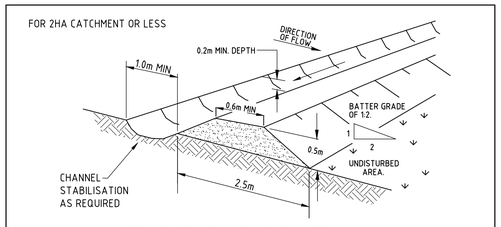
SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE 1:200

northern beaches council

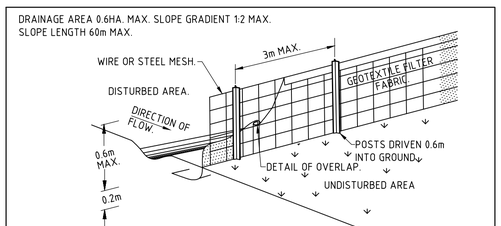
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2024/1501



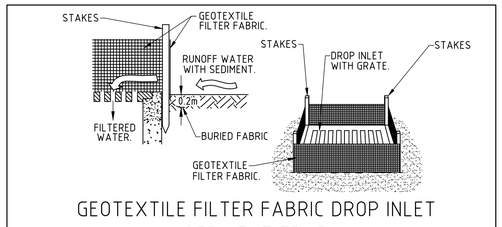
TEMPORARY EARTH DRAIN

DETAIL A NOT TO SCALE



SEDIMENT FENCE

DETAIL B NOT TO SCALE



GEOTEXTILE FILTER FABRIC DROP INLET SEDIMENT TRAP

DETAIL C NOT TO SCALE

SCHEDULE OF WORKS

PLAN TO BE READ IN CONJUNCTION WITH DWG STORM-1 SITE STORMWATER MANAGEMENT PLAN

DESCRIPTION

THE PROJECT IS THE PROVISION OF A NEW RESIDENTIAL DWELLING. THE TOTAL DISTURBED AREA IS APPROXIMATELY 0.1 Ha.

EROSION

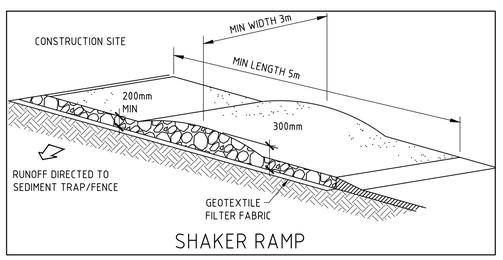
NO AREA IS TO BE DISTURBED OTHER THEN THAT DIRECTLY AFFECTED BY ACCESS, SITE REGRADING, SERVICING, ROAD WORKS AND DRAINAGE WORKS. FOR ALL OTHER AREAS ENTRY IS PROHIBITED AND IS TO BE CLEARLY DEFINED WITH THE INSTALLATION OF BARRIER FENCING. UPSTREAM WATER IS TO BE DIRECTED AROUND THE SITE WITHOUT CONTAMINATION.

SEDIMENT CONTROL

CONTROL WILL BE VIA THE INSTALLATION OF SILT FENCES AS SHOWN ON PLAN. STOCK PILES ARE TO BE LOCATED IN AREAS SHOWN ON THE PLAN (CLEAR OF SERVICING, WATERCOURSES, ROAD AND DRAINAGE WORKS) AND PROVIDED WITH SILT FENCES ON THEIR DOWNSTREAM SIDE.

PHASING OF WORKS

1. INSTALL ALL BARRIER AND SILT FENCING. BARRIER FENCING MAY BE ERECTED AND REMOVED AS NECESSARY TO SUIT STAGING OF WORKS.
2. INSTALL ALL TEMPORARY DRAINAGE STRUCTURES AS NECESSARY.
3. STRIP & STOCKPILE TOPSOIL.
4. UNDERTAKE SITE DEVELOPMENT.
5. AS EARTHWORKS ARE COMPLETED THESE AREAS ARE TO BE TOPSOILED, SEEDED AND MULCHED OR PAVED WITHIN 20 WORKING DAYS.
6. ONLY AT THE COMPLETION OF WORKS AND STABILIZATION OF AREAS UPSTREAM ANY CONTROL DEVICES TO BE REMOVED.



SHAKER RAMP

DETAIL D NOT TO SCALE

ISSUE DATE	REVISION
10 FEB 2025	UPDATES TO SUIT NEW ARCH PLANS

TITLE

EROSION AND SEDIMENT CONTROL PLAN 90 BRIGHTON STREET, FRESHWATER

DRAWN	DATE	CHECKED	SCALE @ A1
R R	14 FEBRUARY 2025	BE Civil (Hons) MIE Aust.	1:200
ENGINEER DMS			

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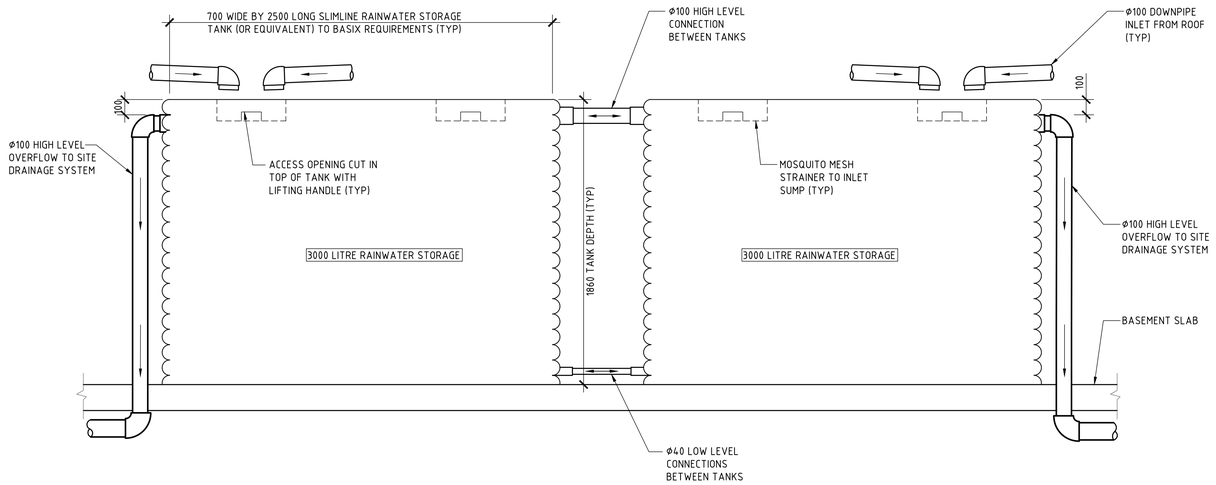
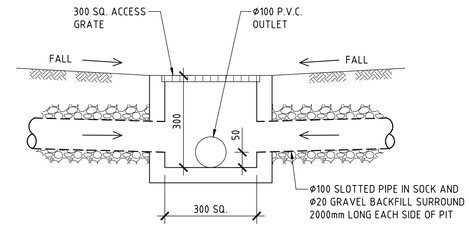
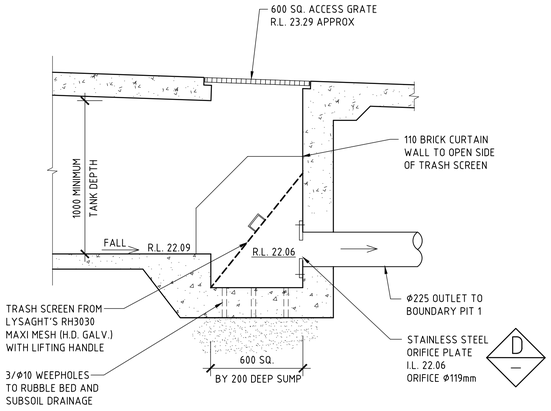


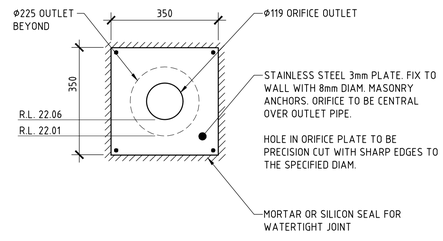
DETAIL A 1
SCALE 1:20
SHOWING RAINWATER TANK CONFIGURATION
SIMILAR FOR LOT 1 AND LOT 2



DETAIL B 1
SCALE 1:10
TYPICAL SURFACE INLET PIT DETAIL



DETAIL C 1
SCALE 1:20



DETAIL D —
SCALE 1:10
ORIFICE PLATE DETAIL

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DA2024/1501

ISSUE DATE	REVISION
20 FEB 2025	UPDATES TO SUIT NEW ARCH PLANS

TITLE
STORMWATER MANAGEMENT DETAILS 90 BRIGHTON STREET, FRESHWATER

DRAWN	DATE	CHECKED	SCALE @ A1
RR	14 FEBRUARY 2025	BE Civil (Hons) MIE Aust	1:20 1:10
ENGINEER DMS			

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