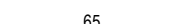
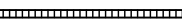


PROPOSED DEVELOPMENT

No.1168 BARRENJOEY ROAD, PALM BEACH

STORMWATER MANAGEMENT PLANS

LEGEND	
	DENOTES ON-SITE DETENTION TANK
	DENOTES ON-SITE RETENTION TANK
	DENOTES DWELLING FOOTPRINT
	DENOTES 100mm DIA. STORMWATER/SURFACE WATER SYSTEM PIPE AT 1% MIN. GRADE U.N.O.
	DENOTES 100mm DIA. FULLY SEALED RAINWATER SYSTEM PIPE U.N.O.
	DENOTES RAINWATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.
	DENOTES STORMWATER/SURFACE WATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.
	DENOTES RISING MAIN AND PIPE DIA. U.N.O.
	DENOTES SUBSOIL DRAINAGE LINE AND DIA. WRAPPED IN GEOFABRIC U.N.O.
	DENOTES DOWNPIPE
	DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL
	DENOTES INSPECTION OPENING WITH SCREW DOWN LID AT FINISHED SURFACE LEVEL FOR SYSTEM FLUSHING PURPOSES
	STORMWATER PIT - SOLID COVER
	STORMWATER PIT - GRATED INLET
	DENOTES GRATED DRAIN
	DENOTES ABSORPTION TRENCH
	NON RETURN VALVE
	PUMP
	STOP VALVE (ISOLATION VALVE)
	240v REQUIRED
	DENOTES LEVEL OF INLET /OUTLET OF STORMWATER PIPE. NOTE: UNLESS NOTED OTHERWISE, THE BASE OF THE PIT IS THE SAME AS THE PIPE INLET/OUTLET.

DIAL BEFORE YOU DIG



IMPORTANT: THE CONTRACTOR IS TO MAINTAIN A CURRENT SET OF "DIAL BEFORE YOU DIG" DRAWINGS ON SITE AT ALL TIMES.

GENERAL NOTES	
1.	THESE PLANS SHALL BE READ IN CONJUNCTION WITH OTHER RELEVANT CONSULTANTS' PLANS, SPECIFICATIONS, CONDITIONS OF DEVELOPMENT CONSENT AND CONSTRUCTION CERTIFICATE REQUIREMENTS. WHERE DISCREPANCIES ARE FOUND ACOR CONSULTANTS (CC) MUST BE CONTACTED IMMEDIATELY FOR VERIFICATION
2.	WHERE THESE PLANS ARE NOTED FOR DEVELOPMENT APPLICATION PURPOSES ONLY, THEY SHALL NOT BE USED FOR OBTAINING A CONSTRUCTION CERTIFICATE NOR USED FOR CONSTRUCTION PURPOSES
3.	SUBSOIL DRAINAGE SHALL BE DESIGNED AND DETAILED BY THE STRUCTURAL ENGINEER. SUBSOIL DRAINAGE SHALL NOT BE CONNECTED INTO THE STORMWATER SYSTEM IDENTIFIED ON THESE PLANS UNLESS APPROVED BY ACOR CONSULTANTS (CC)

STORMWATER CONSTRUCTION NOTES	
1.	ALL WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS/NZS 3500 (CURRENT EDITION) AND THE REQUIREMENTS OF THE LOCAL COUNCIL'S POLICIES AND CODES
2.	THE MINIMUM SIZES OF THE STORMWATER DRAINS SHALL NOT BE LESS THAN DN90 FOR CLASS 1 BUILDINGS AND DN100 FOR OTHER CLASSES OF BUILDING OR AS REQUIRED BY THE REGULATORY AUTHORITY
3.	THE MINIMUM GRADIENT OF STORMWATER DRAINS SHALL BE 1%, UNLESS NOTED OTHERWISE
4.	COUNCIL'S TREE PRESERVATION ORDER IS TO BE STRICTLY ADHERED TO. NO TREES SHALL BE REMOVED UNTIL PERMIT IS OBTAINED
5.	PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY AT THE CLIENT'S EXPENSE
6.	ALL PITS TO BE BENCHED AND STREAMLINED. PROVIDE STEP IRONS FOR ALL PITS OVER 1.2m DEEP
7.	MAKE SMOOTH JUNCTION WITH ALL EXISTING WORK
8.	VEHICULAR ACCESS AND ALL SERVICES TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION
9.	SERVICES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM INFORMATION SUPPLIED BY THE RELEVANT AUTHORITIES AND FIELD INVESTIGATIONS AND ARE NOT GUARANTEED COMPLETE NOR CORRECT. IT IS THE CLIENT & CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL PRIOR TO CONSTRUCTION
10.	ANY VARIATION TO THE WORKS AS SHOWN ON THE APPROVED DRAWINGS ARE TO BE CONFIRMED BY ACOR CONSULTANTS (CC) PRIOR TO THEIR COMMENCEMENT

RAINWATER RE-USE SYSTEM NOTES	
1.	RAINWATER SUPPLY PLUMBING TO BE CONNECTED TO OUTLETS WHERE REQUIRED BY BASIX CERTIFICATE (BY OTHERS)
2.	TOWN WATER CONNECTION TO RAINWATER TANK TO BE TO THE SATISFACTION OF THE REGULATORY AUTHORITY. THIS MAY REQUIRE PROVISION OF: 2.1. PERMANENT AIR GAP 2.2. BACKFLOW PREVENTION DEVICE
3.	NO DIRECT CONNECTION BETWEEN TOWN WATER SUPPLY AND THE RAIN WATER SUPPLY
4.	AN APPROVED STOP VALVE AND/OR PRESSURE LIMITING VALVE AT THE RAINWATER TANK
5.	PROVIDE APPROPRIATE FLOAT VALVES AND/OR SOLENOID VALVES TO CONTROL TOWN WATER SUPPLY INLET TO TANK IN ORDER TO ACHIEVE THE TOP-UP INDICATED ON THE TYPICAL DETAIL
6.	ALL PLUMBING WORKS ARE TO BE CARRIED OUT BY LICENSED PLUMBERS IN ACCORDANCE WITH AS/NZS3500.1 NATIONAL PLUMBING AND DRAINAGE CODE
7.	PRESSURE PUMP ELECTRICAL CONNECTION TO BE CARRIED OUT BY A LICENSED ELECTRICIAN
8.	ONLY ROOF RUN-OFF IS TO BE DIRECTED TO THE RAINWATER TANK. SURFACE WATER INLETS ARE NOT TO BE CONNECTED
9.	PIPE MATERIALS FOR RAINWATER SUPPLY PLUMBING ARE TO BE APPROVED MATERIALS TO AS/NZS3500 PART 1 SECTION 2 AND TO BE CLEARLY AND PERMANENTLY IDENTIFIED AS 'RAINWATER'. THIS MAY BE ACHIEVED FOR BELOW GROUND PIPES USING IDENTIFICATION TAPE (MADE IN ACCORDANCE WITH AS2648) OR FOR ABOVE GROUND PIPES BY USING ADHESIVE PIPE MARKERS (MADE IN ACCORDANCE WITH AS1345)
10.	EVERY RAINWATER SUPPLY OUTLET POINT AND THE RAINWATER TANK ARE TO BE LABELED 'RAINWATER' ON A METALLIC SIGN IN ACCORDANCE WITH AS1319
11.	ALL INLETS AND OUTLETS TO THE RAINWATER TANK ARE TO HAVE SUITABLE MEASURES PROVIDED TO PREVENT MOSQUITO AND VERMIN ENTRY

SHEET INDEX	
COVER SHEET & NOTES	SHEET C1
STORMWATER MANAGEMENT PLAN - GARAGE	SHEET C2
STORMWATER MANAGEMENT PLAN - STOREROOM	SHEET C3
STORMWATER MANAGEMENT PLAN - LOWER GROUND FLOOR	SHEET C4
STORMWATER MANAGEMENT DETAILS	SHEET C5
EROSION & SEDIMENT CONTROL PLAN	SHEET C6
EROSION & SEDIMENT CONTROL NOTES & DETAILS	SHEET C7

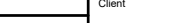
NORTHERN BEACHES COUNCIL REQUIREMENTS	
1.	SITE AREA (m²) 921
2.	PRE-DEVELOPED IMPERVIOUS AREA (m²) 200
3.	POST DEVELOPED IMPERVIOUS AREA (m²) 298
4.	INCREASE IN IMPERVIOUS AREA (m²) 98
5.	<u>RAINWATER RE-USE</u> RAINWATER REUSE TANK PROVIDED IN ACCORDANCE WITH BASIX REQUIREMENT. RAINWATER TANK OVERFLOW TO BE DIRECTED TO BARRENJOEY ROAD. TOTAL STORAGE PROVIDED : 29,500 LITRES
6.	<u>ON-SITE DETENTION</u> 6000 LITRES OF OSD IS REQUIRED FOR THIS SITE BASED ON COUNCIL'S - 'ON SITE STORMWATER DISPOSAL REQUIREMENTS REGION 1 NORTHERN CATCHMENTS.'
WE NOTE DUE TO THE SITES CLOSE PROXIMITY TO THE OUTLET AND TOPOGRAPHY ON SITE DETENTION HAS NOT BEEN PROVIDED. WE RECOMMEND COUNCIL CONSIDER FAVOURABLY RETENTION STORAGE IN LIEU OF ON SITE DETENTION AS THE TOTAL VOLUME PROVIDED ON THIS SITE EXCEEDS COUNCIL'S REQUIREMENT.	
OSD VOLUME REQUIRED: 6m³ MIN. BASIX RETENTION VOLUME REQUIRED: 5m³ RETENTION VOLUME PROVIDED : 29.5m³ (2.7 (x) TIMES THE TOTAL RETENTION VOLUME REQUIRED FOR THIS SITE.)	
REUSE HAS BEEN PROVIDED FOR IRRIGATION, WC FLUSHING & WASHING MACHINE.	
7.	DESIGN HAS BEEN PREPARED IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL'S WATER MANAGEMENT POLICY, AR&R AND AS/NZS 3500



DEVELOPMENT APPLICATION ISSUE
NOT FOR CONSTRUCTION

DRAWINGS MUST BE PRINTED IN COLOUR

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					Client	Architect	ACOR CONSULTANTS ENGINEERS MANAGERS INFRASTRUCTURE PLANNERS DEVELOPMENT CONSULTANTS	Project	ACOR Consultants (CC) Pty Ltd Platinum Building, Suite 2.01, 4 Ilya Avenue ERINA NSW 2250, Australia T +61 2 4324 3499 PROPOSED RESIDENTIAL DEVELOPMENT No. 1168 BARRENJOEY ROAD PALM BEACH	Drawing Title
					PROVENT PROPERTY GROUP PTY LTD	LUIGI ROSSELLI PTY LTD		COVER SHEET & NOTES		
					North 					

BENCH MARK
NAIL IN CONCRETE
RL 12.31 (AHD)

WARNING
LOCATION AND DEPTH OF ALL
UNDERGROUND SERVICES TO BE
INVESTIGATED WITH THE
RELEVANT AUTHORITIES PRIOR
TO COMMENCING WORK

DISCHARGE STORMWATER TO EXISTING
DISHDRAIN AND TO THE SATISFACTION OF
COUNCIL. MAKE GOOD EXISTING
CONSTRUCTION.
INVERT LEVEL OF OUTLET SHALL BE SITE
CONFIRMED PRIOR TO COMMENCEMENT OF
WORKS. DESIGN INVERT: IL 12.95

200 x 100 GALV RHS
GRADE. 1% MIN.

CROSSOVER AND DRIVEWAY TO BE IN
ACCORDANCE WITH COUNCIL REQUIREMENTS.
THE LEVELS AND DESIGN OF THE CROSSOVER
AND DRIVEWAY SHALL BE BY OTHERS.

STORMWATER LEGEND

-  DENOTES 100mm DIA. FULLY SEALED UNDERGROUND RAINWATER SYSTEM PIPE U.N.O.
-  DENOTES 100mm DIA. UNDERGROUND STORMWATER / SURFACE WATER SYSTEM PIPE AT 1% MIN. GRADE U.N.O.
-  DENOTES RAINWATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.
-  DENOTES STORMWATER/SURFACE WATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.

PIT P1
450 SQUARE PIT WITH
MEDIUM DUTY GRATED INLET
TOP OF GRATE - 13.60 nom

PIT P2
300 SQUARE PIT WITH
LIGHT DUTY GRATED INLET
TOP OF GRATE - 13.70 nom

PIT P3
300 SQUARE PIT WITH
LIGHT DUTY GRATED INLET
TOP OF GRATE - 13.70 nom

NOTES:

- TOP OF GRATE LEVELS HAVE BEEN DETERMINED FROM THE SURVEY DETAIL PROVIDED. FOLLOWING EARTHWORKS AND BENCHING, VALIDITY OF GRATE LEVELS SHOULD BE ASSESSED AND ADJUSTED AS REQUIRED TO MEET THE INTENT OF THE DESIGN. WHERE IN DOUBT CONTACT THE DESIGN ENGINEER.
- LANDSCAPE SURFACE DRAINAGE SYSTEM TO DETAIL BY OTHERS. THIS SYSTEM IS TO BE INTEGRATED WITH ANY LANDSCAPE REQUIREMENTS. THE COLLECTION OF LANDSCAPE STORMWATER SHALL BE CONVEYED BY A SEPARATE SYSTEM OF PITS AND PIPES. NO CONNECTION IS ALLOWED INTO THE RAINWATER PIPE SYSTEM IDENTIFIED AS SHOWN: 
- THE LOCATIONS OF DOWNPIPES SHOWN ON THIS DRAWING ARE INDICATIVE AND WILL NEED TO BE SITE VERIFIED BY THE BUILDER. ALL DOWNPIPES TO BE 100mm MIN. DIA. U.N.O. IF CHANGES ARE MADE TO THE NUMBER OR POSITION OF DOWNPIPES THE DESIGN ENGINEER SHALL BE CONTACTED FOR VERIFICATION.
- FOR CHARGED/SEALED LINES PROVIDE APPROPRIATE CLEAN OUT FACILITY AT LOW POINTS OF SYSTEM, TYP.

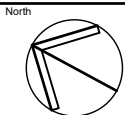
STORMWATER MANAGEMENT PLAN

SCALE - 1:50/A1, 1:100/A3



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Issue		Date	Drawn	Approved
B		10.05.23	RH	BK
A		26.04.23	RH	BK
Issue		Date	Drawn	Approved



Client
**PROVENT PROPERTY
GROUP PTY LTD**

Architect
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Project
**PROPOSED RESIDENTIAL
DEVELOPMENT**
No. 1168
BARRENJOEY ROAD
PALM BEACH

Drawing Title		Scale	A1	Q.A. Check		Date
STORMWATER MANAGEMENT PLAN GARAGE		AS NOTED	-	-		-
Drawn	ED	MARCH 2023	AS NOTED	-		-
Designed	BK	Project No.	CC220269	Dwg. No.	C2	Issue

WARNING
LOCATION AND DEPTH OF ALL
UNDERGROUND SERVICES TO BE
INVESTIGATED WITH THE
RELEVANT AUTHORITIES PRIOR
TO COMMENCING WORK

NOTES:

1. TOP OF GRATE LEVELS HAVE BEEN DETERMINED FROM THE SURVEY DETAIL PROVIDED. FOLLOWING EARTHWORKS AND BENCHING, VALIDITY OF GRATE LEVELS SHOULD BE ASSESSED AND ADJUSTED AS REQUIRED TO MEET THE INTENT OF THE DESIGN. WHERE IN DOUBT CONTACT THE DESIGN ENGINEER.
2. LANDSCAPE SURFACE DRAINAGE SYSTEM TO DETAIL BY OTHERS. THIS SYSTEM IS TO BE INTEGRATED WITH ANY LANDSCAPE REQUIREMENTS. THE COLLECTION OF LANDSCAPE STORMWATER SHALL BE CONVEYED BY A SEPARATE SYSTEM OF PITS AND PIPES. NO CONNECTION IS ALLOWED INTO THE RAINWATER PIPE SYSTEM IDENTIFIED AS SHOWN: —RW—RW—
3. THE LOCATIONS OF DOWNPIPES SHOWN ON THIS DRAWING ARE INDICATIVE AND WILL NEED TO BE SITE VERIFIED BY THE BUILDER. ALL DOWNPIPES TO BE 100mm MIN. DIA. U.N.O. IF CHANGES ARE MADE TO THE NUMBER OR POSITION OF DOWNPIPES THE DESIGN ENGINEER SHALL BE CONTACTED FOR VERIFICATION.
4. FOR CHARGED/SEALED LINES PROVIDE APPROPRIATE CLEAN OUT FACILITY AT LOW POINTS OF SYSTEM, TYP.

RAINWATER RE-USE TANK

VOLUME PROVIDED : 29,500 LITRES FOR RE-USE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BASIC CERTIFICATE & COUNCIL REQUIREMENTS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION, AS/NZS 3500, AND COUNCIL'S GUIDELINES. REFER SHEET C5 FOR DETAIL. FINAL LOCATION OF TANK TO BE SITE CONFIRMED.

PROVIDE TANK RE-USE PUMP CONTROL UNIT TO MANUFACTURERS SPECIFICATION. PROVIDE FIRST FLUSH DEVICE OR EQUIVALENT PRIOR TO DISCHARGING TO TANK.

STORMWATER MANAGEMENT PLAN

SCALE - 1:50/A1, 1:100/A3



STORMWATER LEGEND

- RW— DENOTES 100mm DIA. FULLY SEALED UNDERGROUND RAINWATER SYSTEM PIPE U.N.O.
- SW— DENOTES 100mm DIA. UNDERGROUND STORMWATER / SURFACE WATER SYSTEM PIPE AT 1% MIN. GRADE U.N.O.
- 150 DENOTES RAINWATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.
- 150 DENOTES STORMWATER/SURFACE WATER PIPE AND DIA. WHEN PIPE EXCEEDS 100mm DIA.

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A	ISSUED FOR DEVELOPMENT APPROVAL			26.04.23	RH	BK		
Issue	Description			Date	Drawn	Approved		
1cm at full size 10cm								

Client
**PROVENT PROPERTY
GROUP PTY LTD**

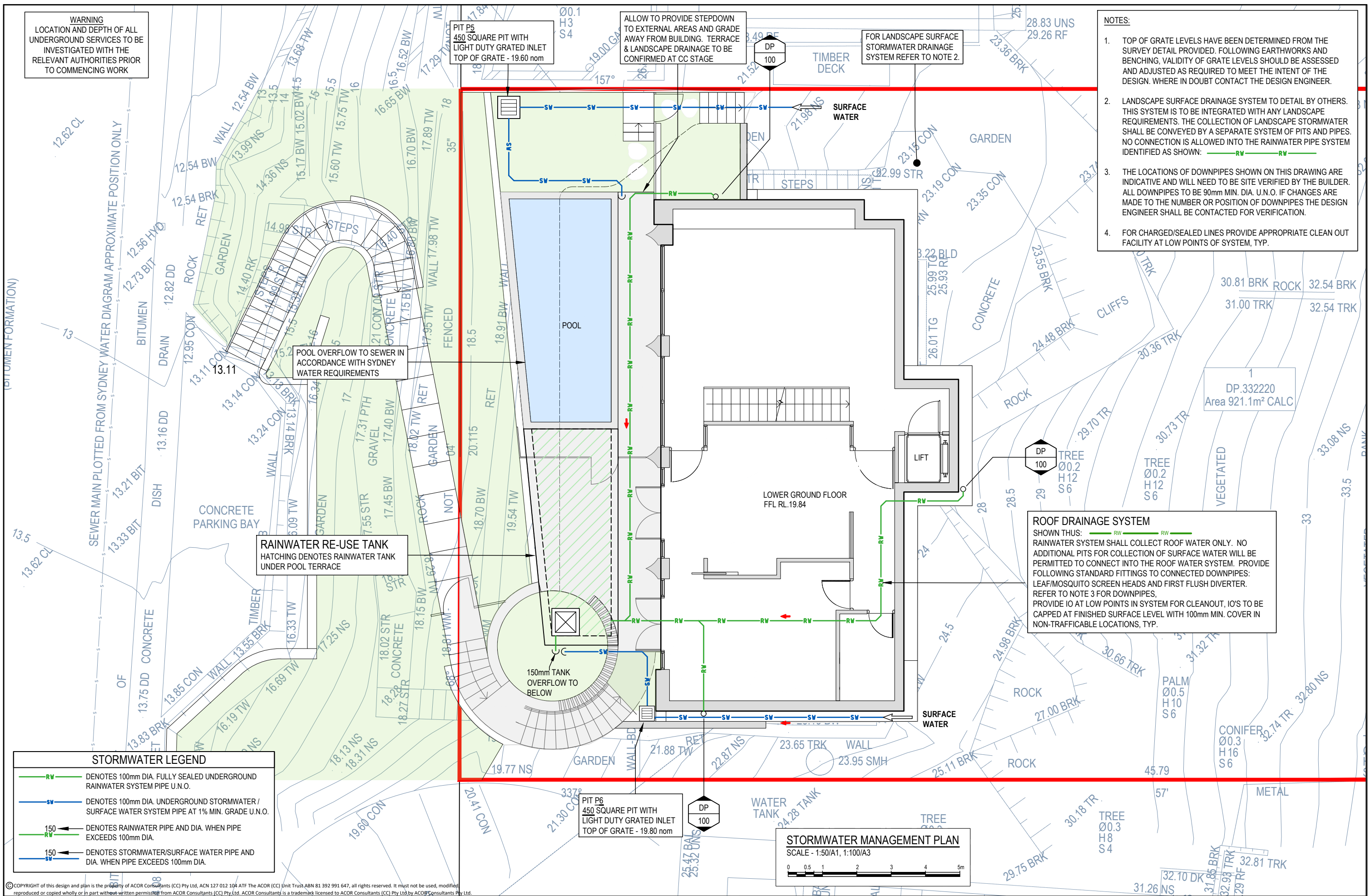
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Project
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DEVELOPMENT**
No. 1168
BARRENJOEY ROAD
PALM BEACH

Drawing Title STORMWATER MANAGEMENT PLAN STORE ROOM					
Drawn ED	Date MARCH 2023	Scale AS NOTED	A1	Q.A. Check -	Date -
Designed BK	Project No. CC220269	Dwg. No. C3	Issue B		



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A	ISSUED FOR DEVELOPMENT APPROVAL	26.04.23	RH BK
Issue	Description	Date	Drawn Approved
1cm at full size			

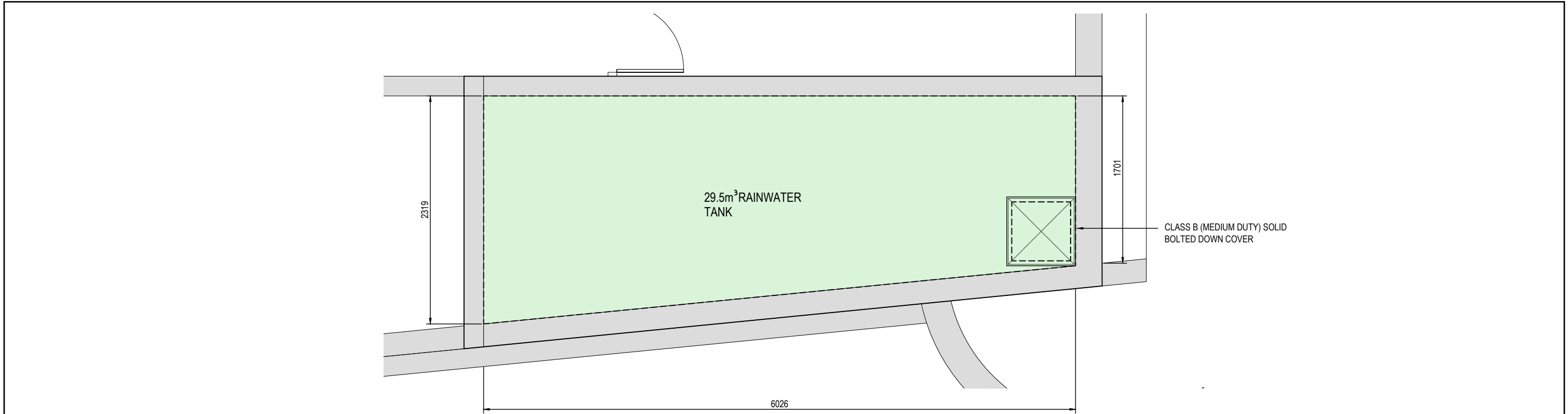
Client
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Architect
LUIGI ROSSELLI PTY LTD

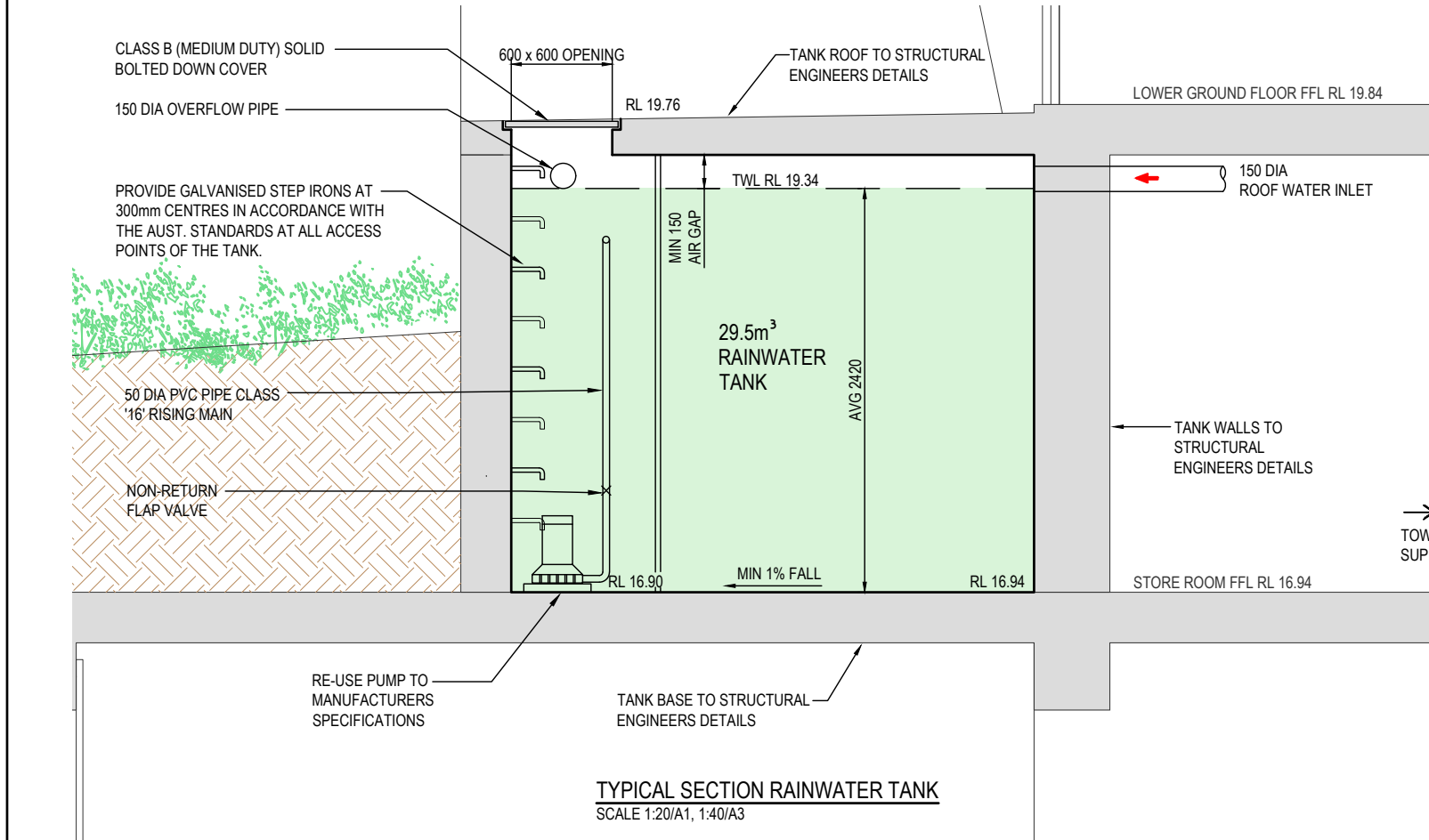
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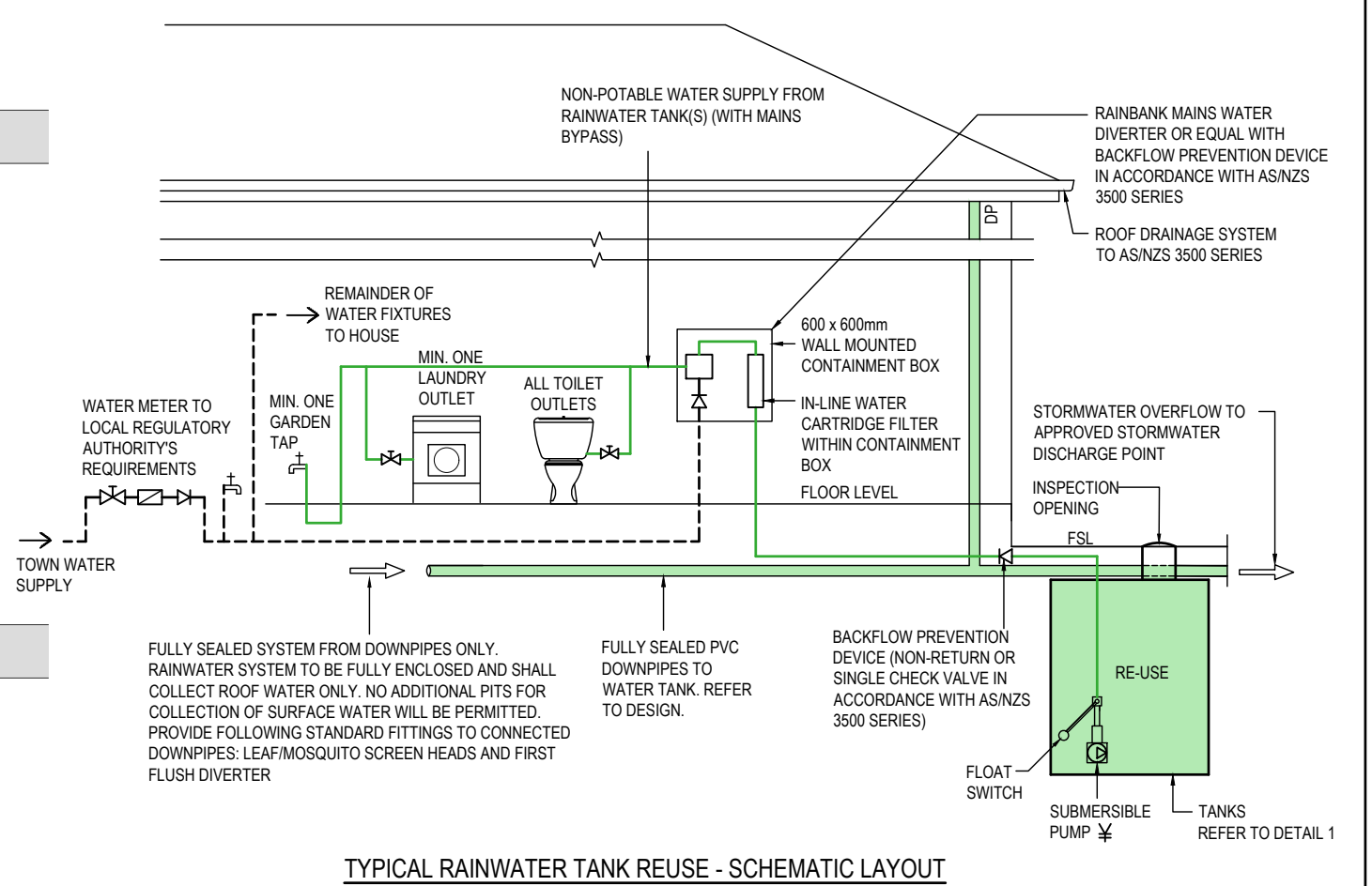
Drawing Title PROPOSED RESIDENTIAL DEVELOPMENT			
Drawn	Date	Scale	A1 Q.A. Check
ED	MARCH 2023	AS NOTED	-
Designed	Project No.	Dwg. No.	Issue
BK	CC220269	C4	B



RAINWATER RE-USE TANK PLAN
SCALE 1:20/A1, 1:40/A3



TYPICAL SECTION RAINWATER TANK
SCALE 1:20/A1, 1:40/A3



TYPICAL RAINWATER TANK REUSE - SCHEMATIC LAYOUT
NOT TO SCALE

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North				Client		Architect		ACOR Consultants (CC) Pty Ltd Platinum Building, Suite 2.01, 4 Ilya Avenue ERINA NSW 2250, Australia T +61 2 4324 3499		Project		Drawing Title	
				PROVENT PROPERTY GROUP PTY LTD		LUIGI ROSSELLI PTY LTD		ENGINEERS MANAGERS INFRASTRUCTURE PLANNERS DEVELOPMENT CONSULTANTS		PROPOSED RESIDENTIAL DEVELOPMENT		STORMWATER MANAGEMENT DETAILS	
										No. 1168 BARRENJOEY ROAD PALM BEACH		Drawn	
										Date		Scale	
										MARCH 2023		A1	
										AS NOTED		Q.A. Check	
										-		Date	
												Designed	
										Project No.		Dwg. No.	
										CC220269		C5	
												Issue	
												B	

EROSION & SEDIMENT LEGEND

1

INSTALL SEDIMENT FENCING REFER
DETAIL SD 6-8, SHEET C7. WHERE
UNDER CANOPY AREAS OF TREES TO
BE RETAINED, FENCING NOT TO BE
DUG INTO THE GROUND BUT INSTEAD
ATTACHED TO GROUND BY TIGHTLY
PACKED SANDBAGS.

2

THE EXISTING CROSSOVER &
LAYBACK ARE TO BE RETAINED
FOR SITE ACCESS UNTIL
REASONABLE COMPLETION OF
CONSTRUCTION WORKS

3

STOCKPILE IN ACCORDANCE
WITH DETAIL SD 4-1,
REFER TO SHEET C7. LOCATION
MAY BE ALTERED PENDING
CONSTRUCTION STAGING

4

WASTE STORAGE AREA
PROVIDE SOLID AND LIQUID
WASTE RECEPTACLE BINS

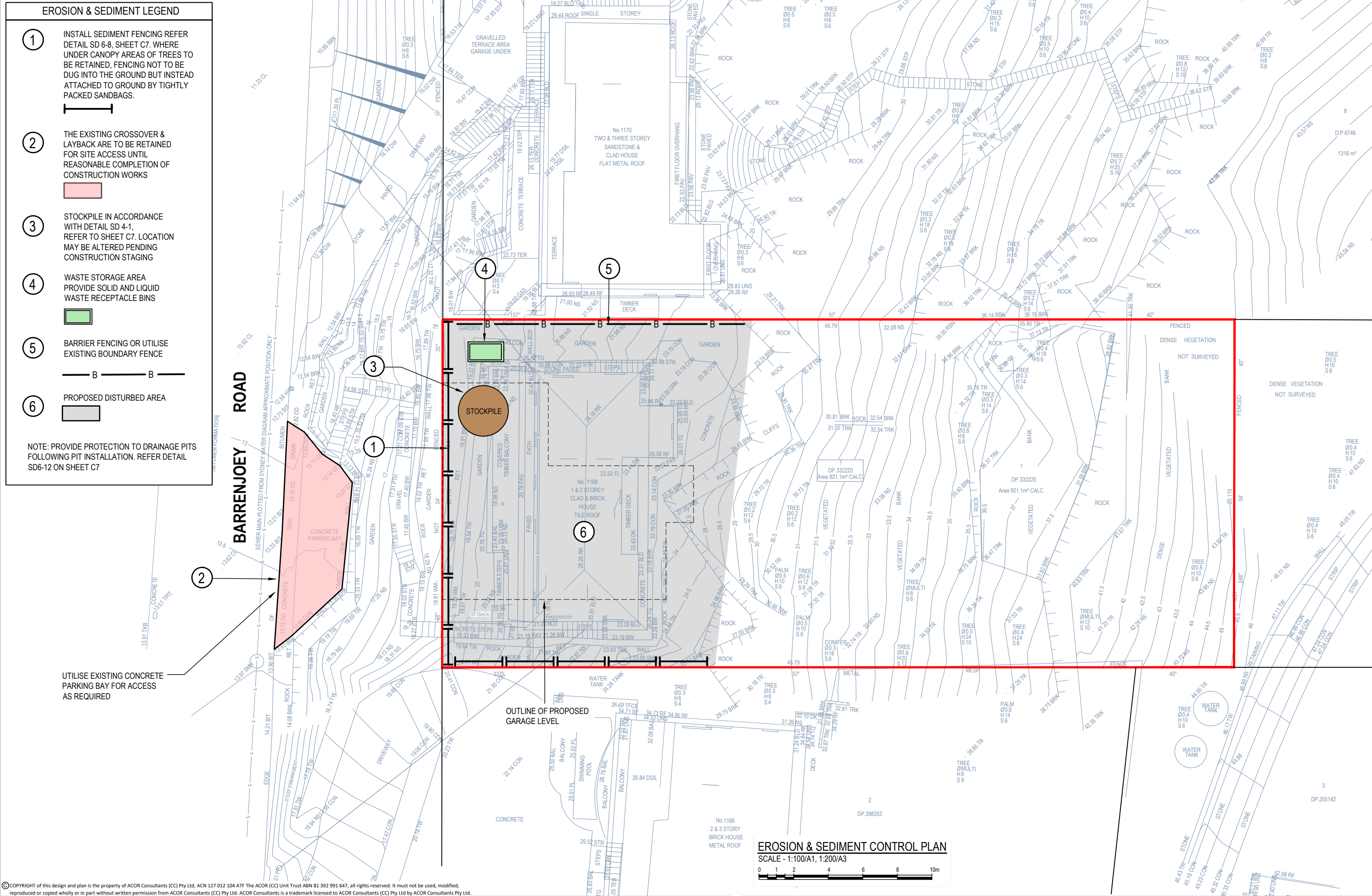
5

BARRIER FENCING OR UTILISE
EXISTING BOUNDARY FENCE

6

PROPOSED DISTURBED AREA

NOTE: PROVIDE PROTECTION TO DRAINAGE PITS
FOLLOWING PIT INSTALLATION. REFER DETAIL
SD6-12 ON SHEET C7



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B	RE-ISSUED FOR DEVELOPMENT APPROVAL	10.05.23	RH BK
A	ISSUED FOR DEVELOPMENT APPROVAL	26.04.23	RH BK
Issue	Description	Date	Drawn Approved
1cm at full size			

Client
PROVENT PROPERTY GROUP PTY LTD

Architect
LUIGI ROSSELLI PTY LTD

AcOR

CONSULTANTS

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Project
PROPOSED RESIDENTIAL DEVELOPMENT
No. 1168
BARRENJOEY ROAD
PALM BEACH

Drawing Title EROSION & SEDIMENT CONTROL PLAN			
Drawn ED	Date MARCH 2023	Scale AS NOTED	A1 Q.A. Check -
Designed BK	Project No. CC220269	Dwg. No. C6	Issue B

EROSION AND SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

- THIS SOIL AND WATER MANAGEMENT PLAN IS TO BE READ IN CONJUNCTION WITH OTHER ENGINEERING PLANS RELATING TO THIS DEVELOPMENT.
- CONTRACTORS WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE UNDERTAKEN AS INSTRUCTED IN THIS SPECIFICATION AND CONSTRUCTED FOLLOWING THE GUIDELINES OF "MANAGING URBAN STORMWATER SOILS AND CONSTRUCTION", DEPT OF HOUSING, 1998 (BLUE BOOK).
- ALL SUBCONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN REDUCING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE AREAS.

LAND DISTURBANCE INSTRUCTIONS

- DISTURBANCE TO BE NO FURTHER THAN 5 (PREFERABLY 2) METRES FROM THE EDGE OF ANY ESSENTIAL ENGINEERING ACTIVITY AS SHOWN ON APPROVED PLANS. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE ZONES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ACCESS AREAS ARE TO BE LIMITED TO A MAXIMUM WIDTH OF 10 METRES THE SITE MANAGER WILL DETERMINE AND MARK THE LOCATION OF THESE ZONES ON-SITE. ALL SITE WORKERS WILL CLEARLY RECOGNISE THESE BOUNDARIES THAT, WHERE APPROPRIATE, ARE IDENTIFIED WITH BARRIER FENCING (UPSLOPE) AND SEDIMENT FENCING (DOWNSLOPE) OR SIMILAR MATERIALS.
- ENTRY TO LANDS NOT REQUIRED FOR CONSTRUCTION OR ACCESS IS PROHIBITED EXCEPT FOR ESSENTIAL THINNING OF PLANT GROWTH.
- WORKS ARE TO PROCEED IN THE FOLLOWING SEQUENCE:
 - INSTALL ALL BARRIER AND SEDIMENT FENCING WHERE SHOWN ON THE PLAN.
 - CONSTRUCT THE STABILISED SITE ACCESS.
 - CONSTRUCT DIVERSION DRAINS AS REQUIRED.
 - INSTALL MESH AND GRAVEL INLETS FOR ANY ADJACENT KERB INLETS.
 - INSTALL GEOTEXTILE INLET FILTERS AROUND ANY ON-SITE DROP INLET PITS.
 - CLEAR SITE AND STRIP AND STOCKPILE TOPSOIL IN LOCATIONS SHOWN ON THE PLAN.
 - UNDERTAKE ALL ESSENTIAL CONSTRUCTION WORKS ENSURING THAT ROOF AND/OR PAVED AREA STORMWATER SYSTEMS ARE CONNECTED TO PERMANENT DRAINAGE AS SOON AS PRACTICABLE.
 - GRADE LOT AREAS TO FINAL GRADES AND APPLY PERMANENT STABILISATION (LANDSCAPING) WITHIN 20 DAYS OF COMPLETION OF CONSTRUCTION WORKS.
 - REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER THE PERMANENT LANDSCAPING HAS BEEN COMPLETED.
- ENSURE THAT SLOPE LENGTHS DO NOT EXCEED 80 METRES WHERE PRACTICABLE. SLOPE LENGTHS ARE DETERMINED BY SILTATION FENCING AND CATCH DRAIN SPACING.
- ON COMPLETION OF MAJOR WORKS LEAVE DISTURBED LANDS WITH A SCARIFIED SURFACE TO ENCOURAGE WATER INFILTRATION AND ASSIST WITH KEYING TOPSOIL LATER.

SITE MAINTENANCE INSTRUCTIONS

- THE SITE SUPERINTENDENT WILL INSPECT THE SITE AT LEAST WEEKLY AND AT THE CONCLUSION OF EVERY STORM EVENT TO:
 - ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS.
 - REMOVE SPILLED SAND OR OTHER MATERIALS FROM HAZARD AREAS, INCLUDING LANDS CLOSER THAN 5 METRES FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS ESPECIALLY WATERWAYS AND PAVED AREAS.
 - REMOVE TRAPPED SEDIMENT WHENEVER THE DESIGN CAPACITY OF THAT STRUCTURE HAS BEEN EXCEEDED.
 - ENSURE REHABILITATED LANDS HAVE EFFECTIVELY REDUCED THE EROSION HAZARD AND TO INITIATE UPGRADING OR REPAIR AS NECESSARY.
 - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS MIGHT BECOME NECESSARY TO ENSURE THE DESIRED PROTECTION IS GIVEN TO DOWNSLOPE LANDS AND WATERWAYS. MAKE ONGOING CHANGES TO THE PLAN WHERE IT PROVES INADEQUATE IN PRACTICE OR IS SUBJECTED TO CHANGES IN CONDITIONS ON THE WORK-SITE OR ELSEWHERE IN THE CATCHMENT.
 - MAINTAIN EROSION AND SEDIMENT CONTROL STRUCTURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS REHABILITATED.
- THE SITE SUPERINTENDENT WILL KEEP A LOGBOOK MAKING ENTRIES AT LEAST WEEKLY, IMMEDIATELY BEFORE FORECAST RAIN AND AFTER RAINFALL. ENTRIES WILL INCLUDE:
 - THE VOLUME AND INTENSITY OF ANY RAINFALL EVENTS.
 - THE CONDITION OF ANY SOIL AND WATER MANAGEMENT WORKS.
 - THE CONDITION OF VEGETATION AND ANY NEED TO IRRIGATE.
 - THE NEED FOR DUST PREVENTION STRATEGIES.
 - ANY REMEDIAL WORKS TO BE UNDERTAKEN.THE LOGBOOK WILL BE KEPT ON-SITE AND MADE AVAILABLE TO ANY AUTHORISED PERSON UPON REQUEST. IT WILL BE GIVEN TO THE PROJECT MANAGER AT THE CONCLUSION OF THE WORKS.

SEDIMENT CONTROL INSTRUCTIONS

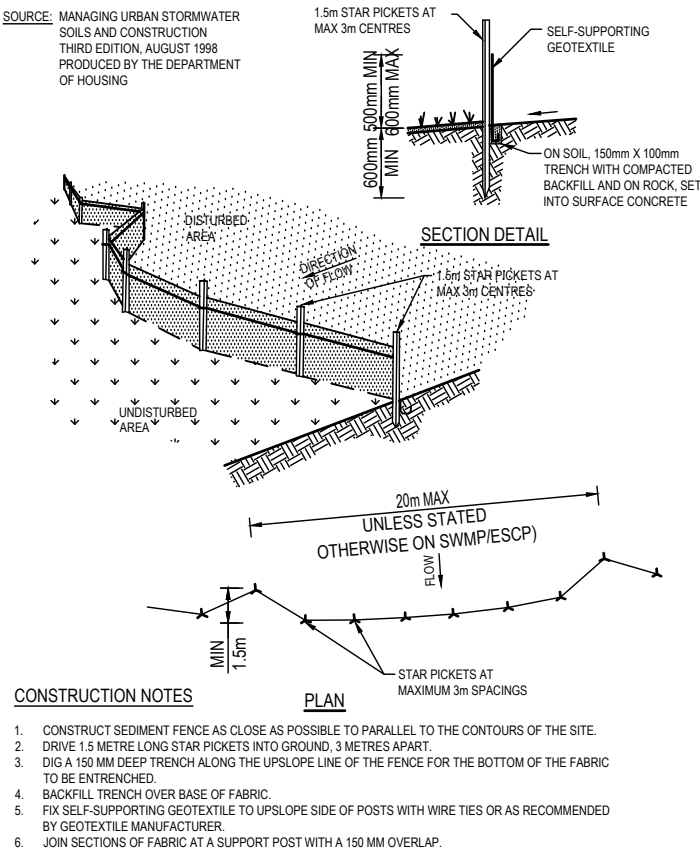
- SEDIMENT FENCES WILL BE INSTALLED AS SHOWN ON THE PLAN AND ELSEWHERE AT THE DISCRETION OF THE SITE SUPERINTENDENT TO CONTAIN SOIL AS NEAR AS POSSIBLE TO THEIR SOURCE.
- SEDIMENT FENCES WILL NOT HAVE CATCHMENT AREAS EXCEEDING 900 SQUARE METRES AND HAVE A STORAGE DEPTH OF AT LEAST 0.6 METRES.
- SEDIMENT REMOVED FROM ANY TRAPPING DEVICES WILL BE RELOCATED WHERE FURTHER POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS CANNOT OCCUR.
- STOCKPILES ARE NOT TO BE LOCATED WITHIN 5 METRES OF HAZARD AREAS INCLUDING AREAS OF HIGH VELOCITY FLOWS SUCH AS WATERWAYS, PAVED AREAS AND DRIVEWAYS.
- WATER WILL BE PREVENTED FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR WATER HAS BEEN TREATED BY AN APPROVED DEVICE.
- TEMPORARY SEDIMENT TRAPS WILL REMAIN IN PLACE UNTIL AFTER THE LANDS THEY ARE PROTECTING ARE COMPLETELY REHABILITATED.
- ACCESS TO SITES SHOULD BE STABILISED TO REDUCE THE LIKELIHOOD OF VEHICLES TRACKING SOIL MATERIALS ONTO PUBLIC ROADS AND ENSURE ALL-WEATHER ENTRY/EXIT.

SOIL EROSION CONTROL INSTRUCTIONS

- EARTH BATTERS WILL BE CONSTRUCTED WITH AS LOW A GRADIENT AS PRACTICABLE BUT NO STEEPER, UNLESS OTHERWISE NOTED, THAN:
 - 2(H):1(V) WHERE SLOPE LENGTH LESS THAN 12 METRES
 - 2.5(H):1(V) WHERE SLOPE LENGTH BETWEEN 12 AND 16 METRES.
 - 3(H):1(V) WHERE SLOPE LENGTH BETWEEN 16 AND 20 METRES.
 - 4(H):1(V) WHERE SLOPE LENGTH GREATER THAN 20 METRES.
- ALL WATERWAYS, DRAINS, SPILLWAYS AND THEIR OUTLETS WILL BE CONSTRUCTED TO BE STABLE IN AT LEAST THE 1:20 YEAR ARI, TIME OF CONCENTRATION STORM EVENT.
- WATERWAYS AND OTHER AREAS SUBJECT TO CONCENTRATED FLOWS AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND COVER C-FACTOR OF 0.05 (70% GROUND COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION. FLOW VELOCITIES ARE TO BE LIMITED TO THOSE SHOWN IN TABLE 5-1 OF "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION", DEPT OF HOUSING 1998 (BLUE BOOK). FOOT AND VEHICULAR TRAFFIC WILL BE PROHIBITED IN THESE AREAS.
- STOCKPILES AFTER CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.1 (60% GROUND-COVER) WITHIN 10 WORKING DAYS FROM COMPLETION OF FORMATION.
- ALL LANDS, INCLUDING WATERWAYS AND STOCKPILES, DURING CONSTRUCTION ARE TO HAVE A MAXIMUM GROUND-COVER C-FACTOR OF 0.15 (50% GROUND COVER) WITHIN 20 WORKING DAYS FROM INACTIVITY EVEN THOUGH WORKS MAY CONTINUE LATER.
- FOR AREAS OF SHEET FLOW USE THE FOLLOWING GROUND COVER PLANT SPECIES FOR TEMPORARY COVER: JAPANESE MILLET 20 KG/HA AND OATS 20 KG/HA.
- PERMANENT REHABILITATION OF LANDS AFTER CONSTRUCTION WILL ACHIEVE A GROUND-COVER C-FACTOR OF LESS THAN 0.1 AND LESS THAN 0.05 WITHIN 60 DAYS. NEWLY PLANTED LANDS WILL BE WATERED REGULARLY UNTIL AN EFFECTIVE COVER IS ESTABLISHED AND PLANTS ARE GROWING VIGOROUSLY. FOLLOW-UP SEED AND FERTILISER WILL BE APPLIED AS NECESSARY.
- REVEGETATION SHOULD BE AIMED AT RE-ESTABLISHING NATURAL SPECIES. NATURAL SURFACE SOILS SHOULD BE REPLACED AND NON-PERSISTANT ANNUAL COVER CROPS SHOULD BE USED.

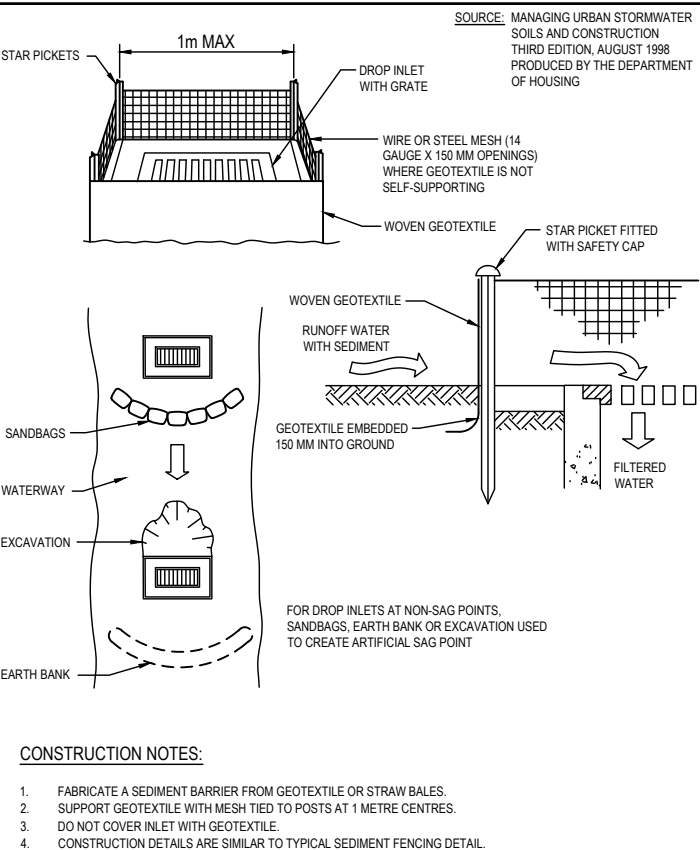
WASTE CONTROL INSTRUCTIONS

- ACCEPTABLE BINS WILL BE PROVIDED FOR ANY CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHING, LIGHTWEIGHT WASTE MATERIALS AND LITTER. CLEARANCE SERVICES WILL BE PROVIDED AT LEAST WEEKLY. DISPOSAL OF WASTE WILL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.
- ALL POSSIBLE POLLUTANT MATERIALS ARE TO BE STORED WELL CLEAR OF ANY POORLY DRAINED AREAS, FLOOD PRONE AREAS, STREAMBANKS, CHANNELS AND STORMWATER DRAINAGE AREAS. STORE SUCH MATERIALS IN A DESIGNATED AREA UNDER COVER WHERE POSSIBLE AND WITHIN CONTAINMENT BUNDS.
- ALL SITE STAFF AND SUB-CONTACTORS ARE TO BE INFORMED OF THEIR OBLIGATION TO USE WASTE CONTROL FACILITIES PROVIDED.
- ANY DE-WATERING ACTIVITIES ARE TO BE CLOSELY MONITORED TO ENSURE THAT WATER IS NOT POLLUTED BY SEDIMENT, TOXIC MATERIALS OR PETROLEUM PRODUCTS.
- PROVIDE DESIGNATED VEHICULAR WASHDOWN AND MAINTENANCE AREAS WHICH ARE TO HAVE CONTAINMENT BUNDS.



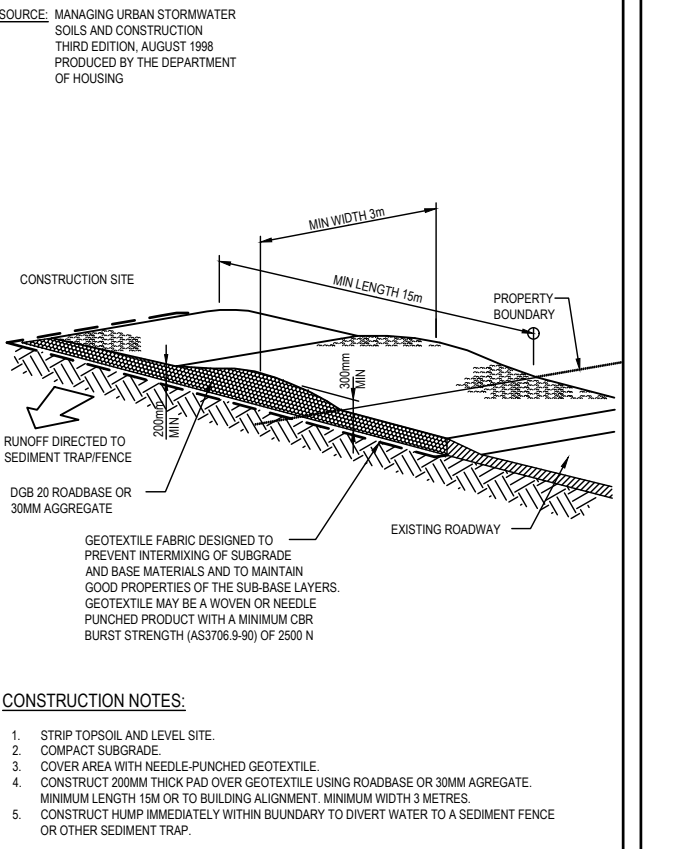
SEDIMENT FENCE

SD 6-8



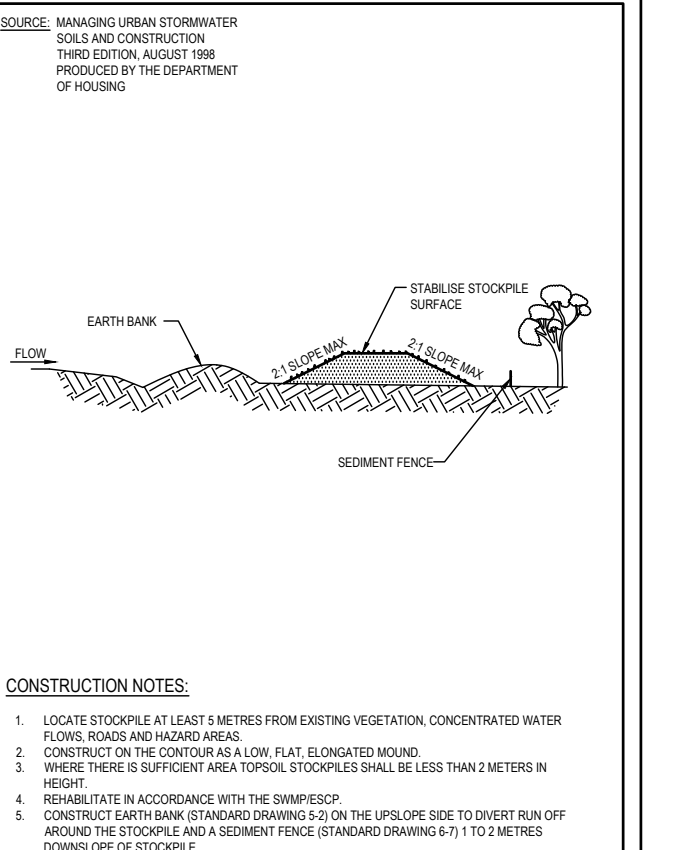
GEOTEXTILE INLET FILTER

SD 6-12



STABILISED SITE ACCESS

SD 6-14



STOCKPILES

SD 4-1

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B	RE-ISSUED FOR DEVELOPMENT APPROVAL	10.05.23	RH	BK	
A	ISSUED FOR DEVELOPMENT APPROVAL	26.04.23	RH	BK	
Issue	Description	Date	Drawn	Approved	

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Project
PROPOSED RESIDENTIAL DEVELOPMENT
No. 1168
BARRENJOEY ROAD
PALM BEACH

Drawing Title EROSION & SEDIMENT CONTROL NOTES & DETAILS					
Drawn	Date	Scale	A1	Q.A. Check	Date
ED	MARCH 2023	AS NOTED	-	-	-
Designed	Project No.	Dwg. No.		Issue	
BK	CC220269	C7		B	