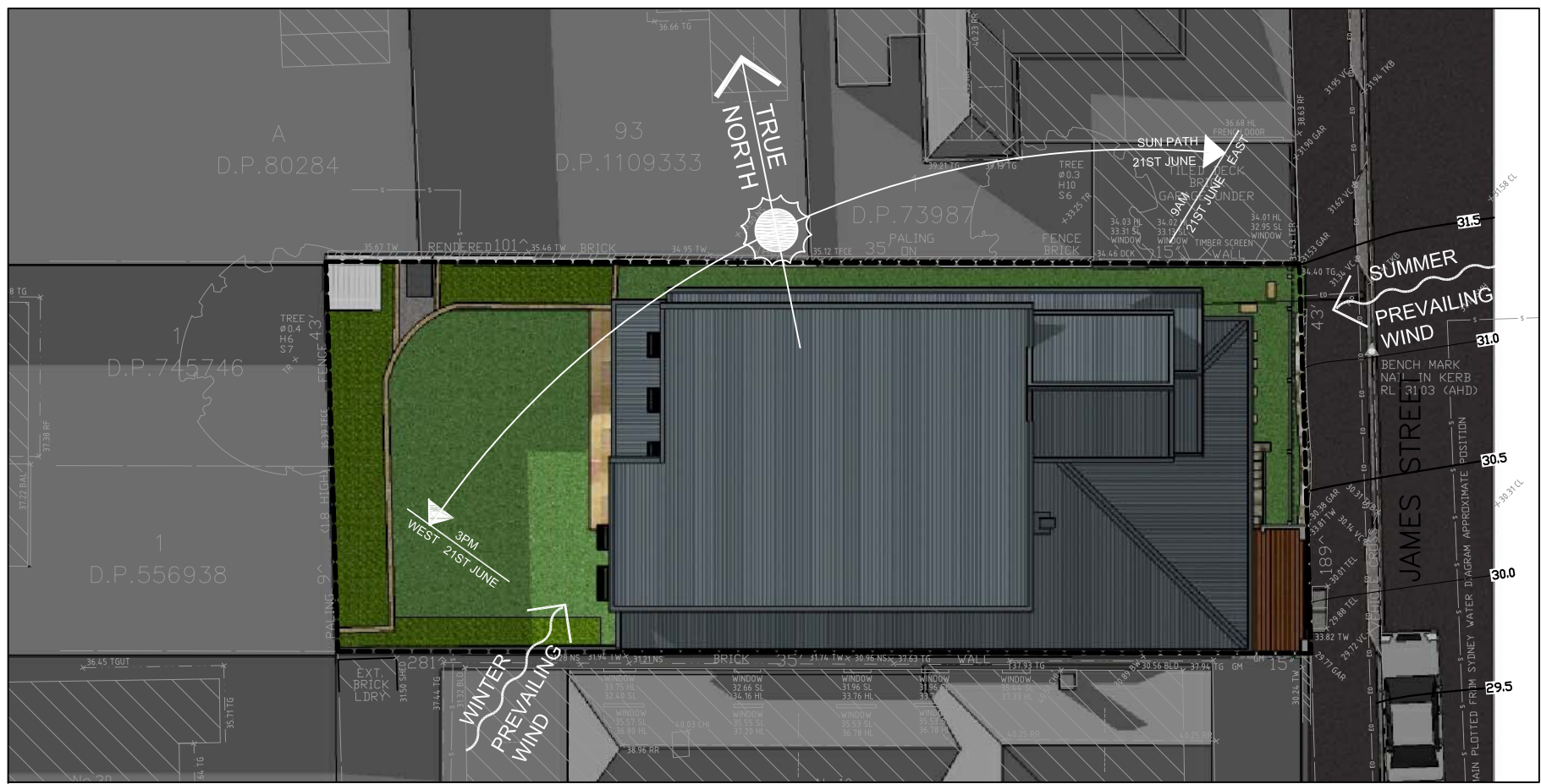
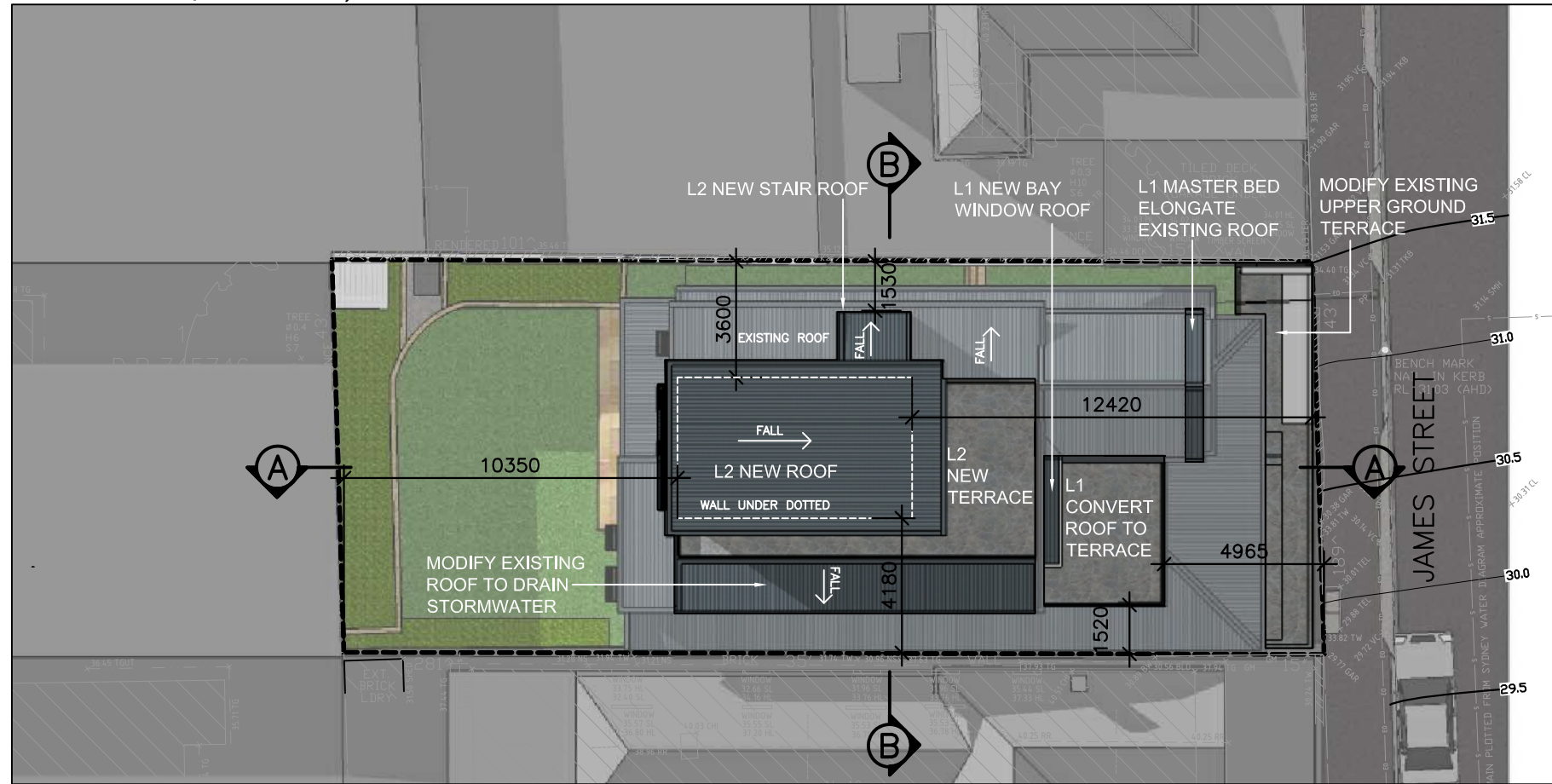




EXISTING SITE/ROOF PLAN, SITE ANALYSIS PLAN



PROPOSED SITE/ROOF PLAN



EXISTING PERSPECTIVE VIEW 1

NTS



PROPOSED PERSPECTIVE VIEW 1

NTS



EXISTING PERSPECTIVE VIEW 2

NTS

northern beaches council

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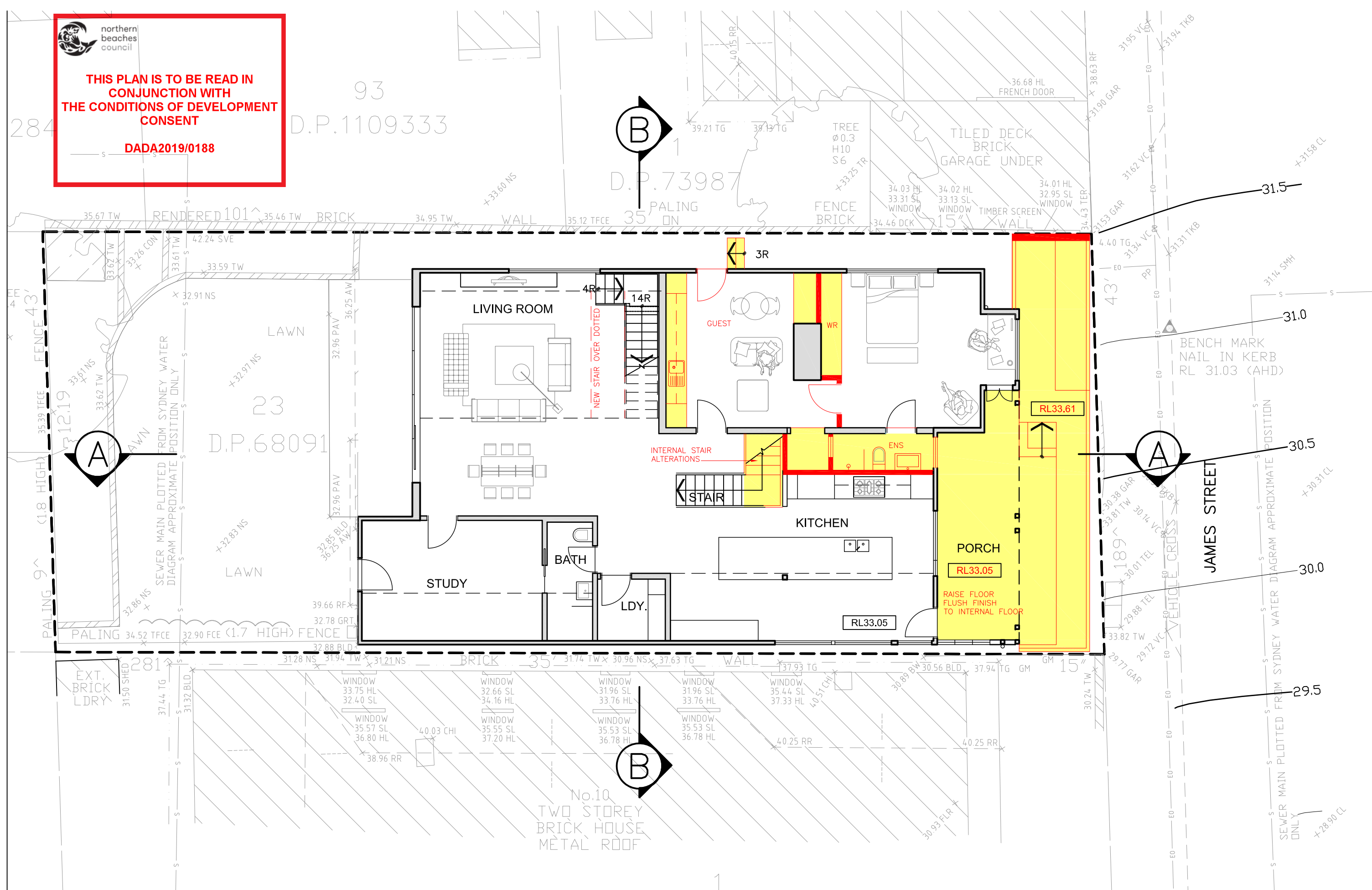
PROPOSED PERSPECTIVE VIEW 2

NTS

 www.hao.com.au M: 0403 263 365 admin@hao.com.au	PROJECT: ALTERATIONS & ADDITIONS		DRAWING TITLE: SITE/ROOF & SITE ANALYSIS PLAN		SCALE: 1:200		CAD FILE: DA01_Site.dwg	
	LOT 23, DP 68091 11 JAMES STREET MANLY NSW 2095		DRAWING STATUS: DEVELOPMENT APPLICATION		SIZE: A3		DESIGN: DL	
					DATE: 18 DEC 2018		CAD: DL	
					PROJECT No: 1803057		DRAWING No: DA01	
							REVISION: A	



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A	DEVELOPMENT APPLICATION	18DEC18
REVISION	AMENDMENT	DATE

PROJECT:

ALTERATIONS & ADDITIONS

LOT 23, DP 68091
11 JAMES STREET
MANLY NSW 2095



DRAWING TITLE:

GROUND FLOOR PLAN

DRAWING STATUS:

DEVELOPMENT APPLICATION

SCALE: 1:100

SIZE: A3

DATE: 18 DEC 2018

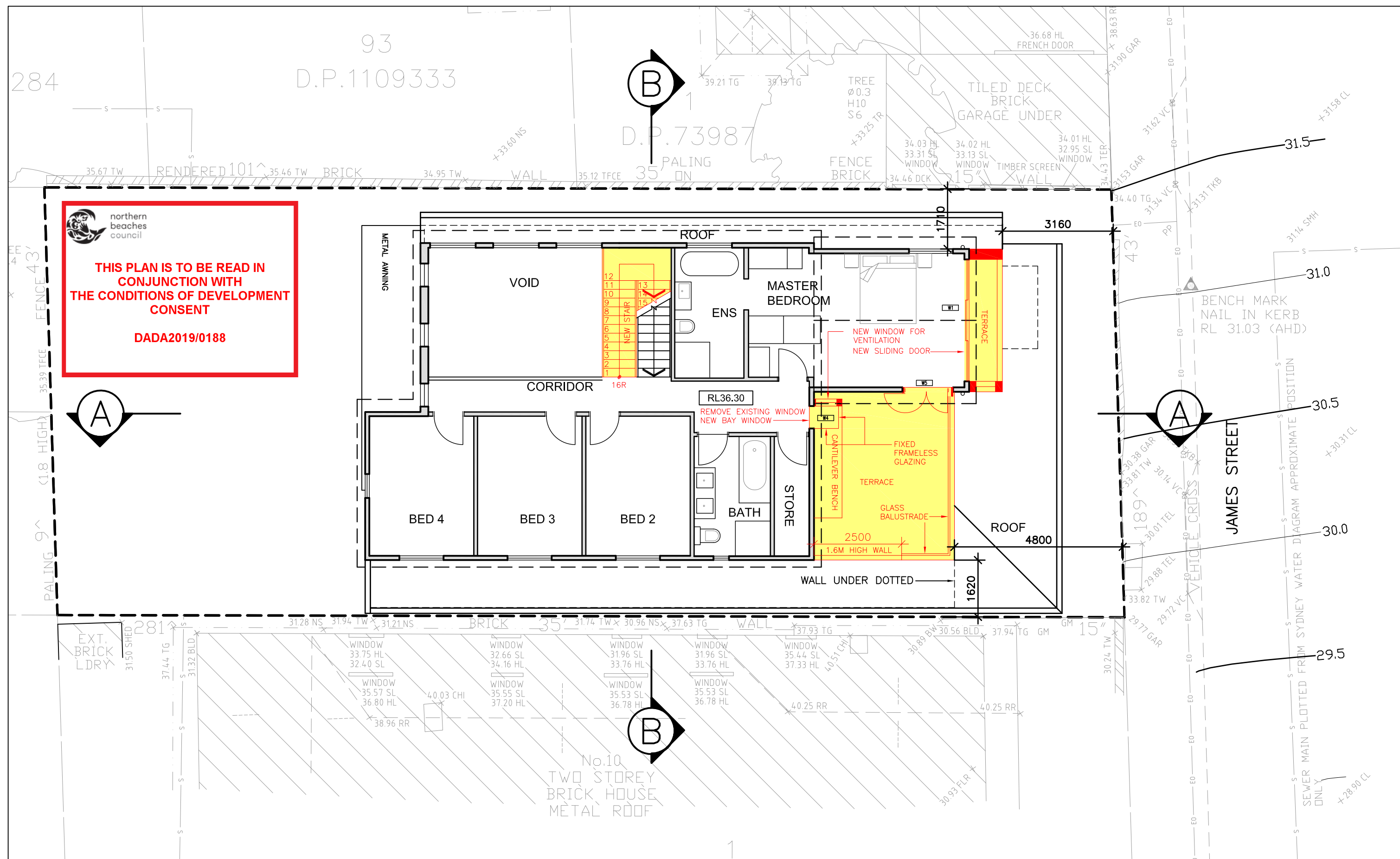
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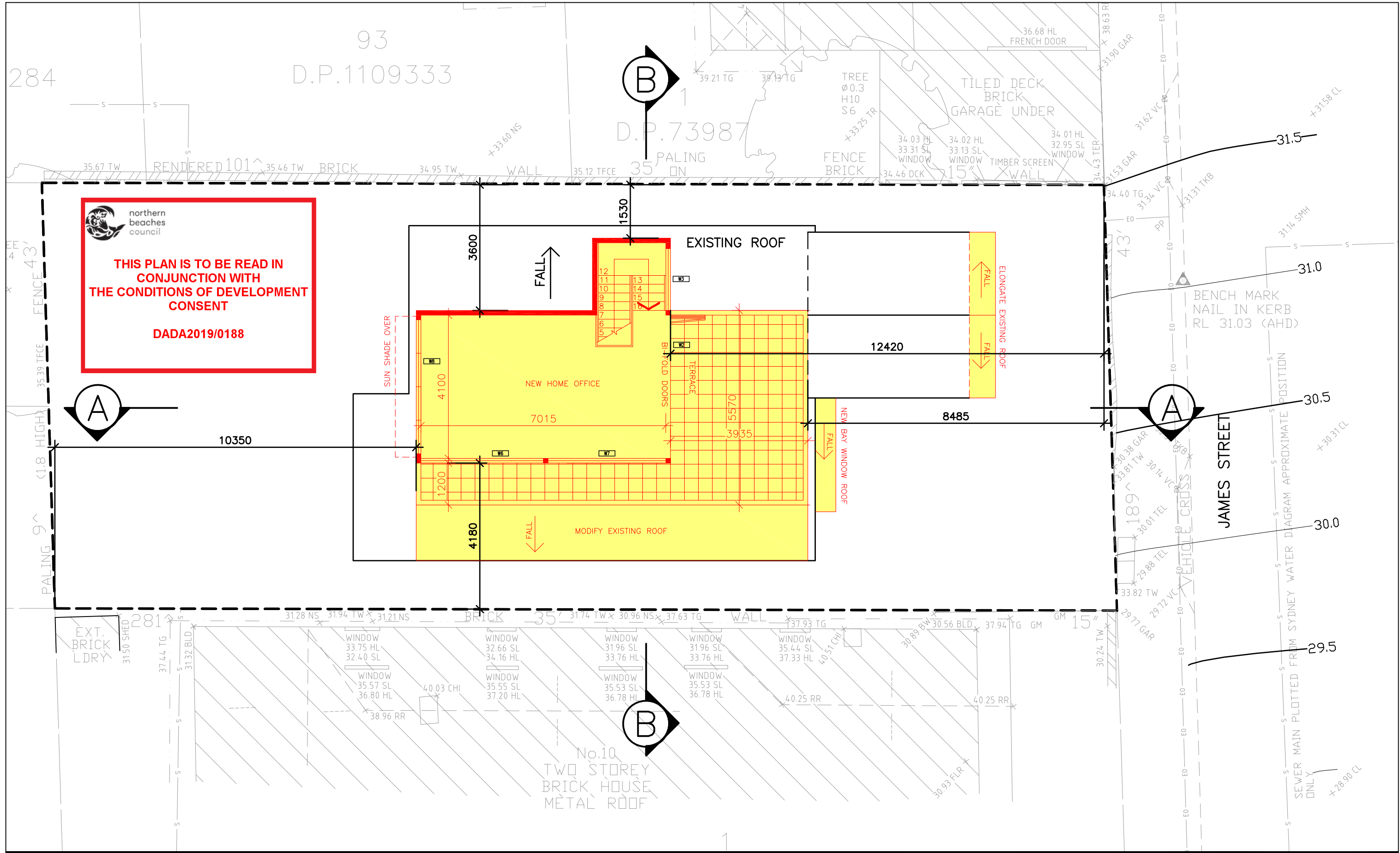
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DESIGN:	DL
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CAD:	DL
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DRAWING No: **DA03** REVISION: **A**





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REVISION	DATE
A	18DEC18
DEVELOPMENT APPLICATION	AMENDMENT

PROJECT:

ALTERATIONS & ADDITIONS

LOT 23, DP 68091

11 JAMES STREET
MANLY NSW 2095



DRAWING TITLE:

LEVEL 2 FLOOR PLAN

DRAWING STATUS:

DEVELOPMENT APPLICATION

SCALE:

1:100

SIZE:

A3

DATE:

18 DEC 2018

PROJECT No:

1803057

CAD FILE:

DA05_L2.dwg

DESIGN:

DL

CAD: DL

DRAWING No:

DA05

REVISION:

A



EXISTING EAST ELEVATION (JAMES STREET)

PROPOSED EAST ELEVATION (JAMES STREET)

BASIX SPECIFICATION

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: concrete (R0.6).	R0.70 (down) (or R1.30 including construction)	
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: concrete block/plasterboard	R1.18 (or R1.70 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	dark (solar absorptance > 0.70)
flat ceiling, flat roof: framed	ceiling: R2.08 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

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Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
			Height (m)	Distance (m)		
W1	E	9.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	E	8.85	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	E	2.4	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, U-value: 4.48, SHGC: 0.46)
W4	E	1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	S	2.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	S	15.4	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W7	S	1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	W	3.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)



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PROJECT:

ALTERATIONS & ADDITIONS

LOT 23, DP 68091

11 JAMES STREET
MANLY NSW 2095

DRAWING TITLE:

EXISTING/PROPOSED
EAST ELEVATIONS

DRAWING STATUS:

DEVELOPMENT
APPLICATION

SCALE:

1:100

CAD FILE:

DA06_Elevs.dwg

SIZE:

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DESIGN:

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CAD:

DL

DATE:

18 DEC 2018

PROJECT No:

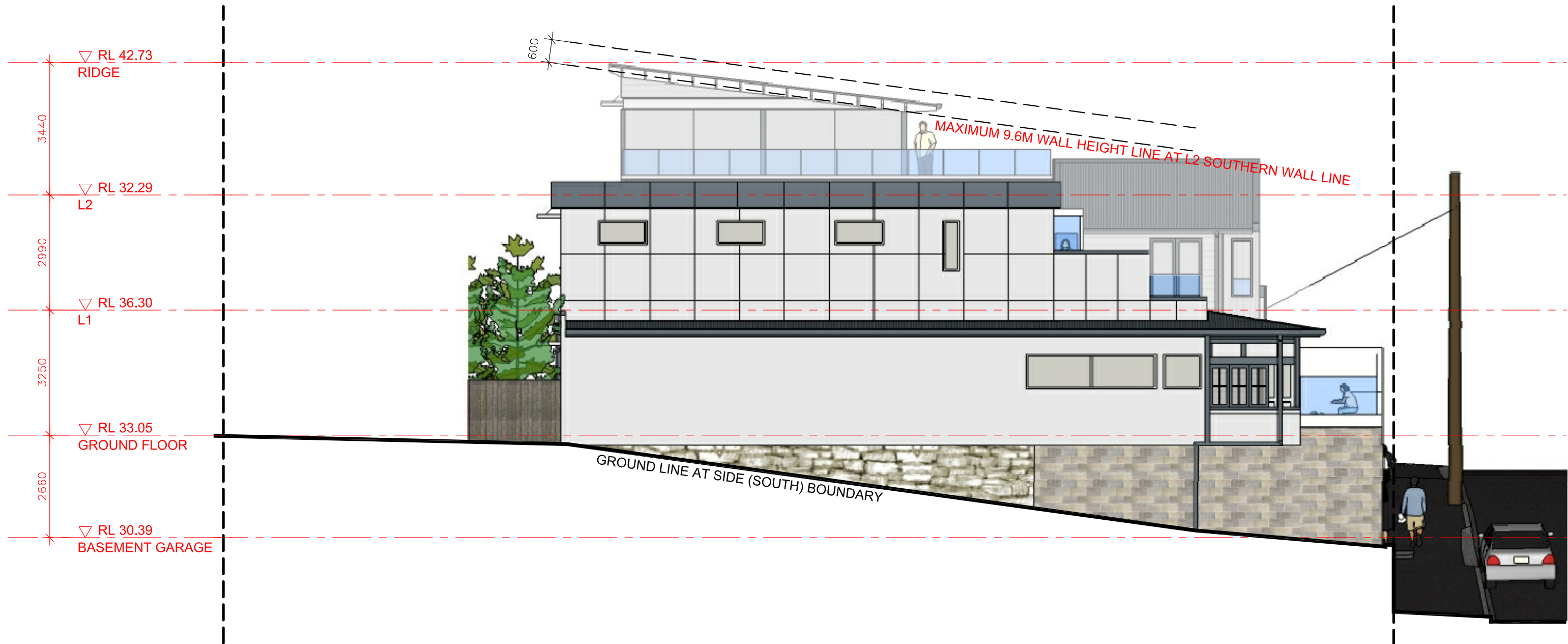
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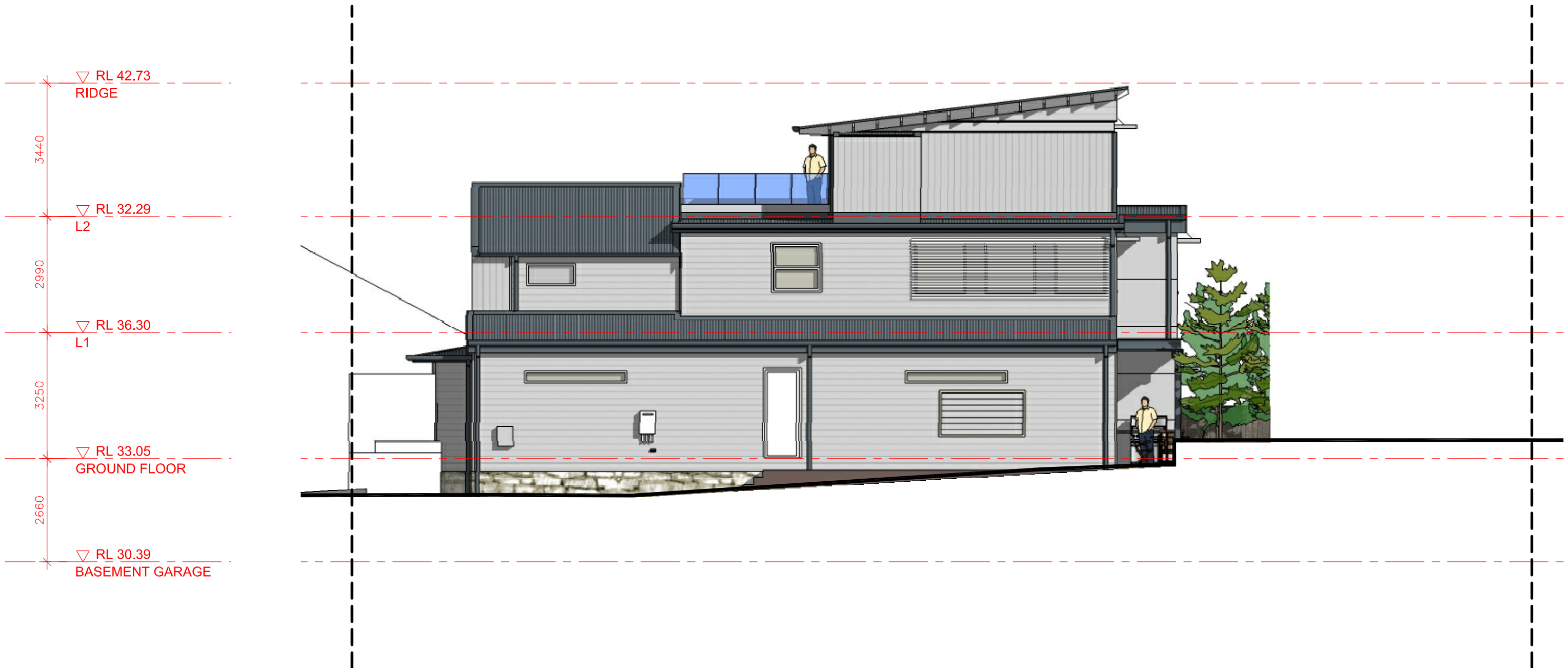
REVISION:

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CONSENT**

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PROJECT:

ALTERATIONS & ADDITIONS

LOT 23, DP 68091

**11 JAMES STREET
MANLY NSW 2095**

DRAWING TITLE:

**PROPOSED
NORTH ELEVATION**

DRAWING STATUS:

**DEVELOPMENT
APPLICATION**

SCALE:

1:100

CAD FILE:

DA06_Elevs.dwg

SIZE:

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DESIGN:

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CAD:

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DATE:

18 DEC 2018

PROJECT No:

1803057

DRAWING No:

DA08

REVISION:

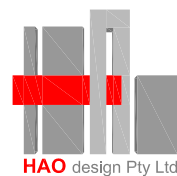
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A	DEVELOPMENT APPLICATION	18DEC18

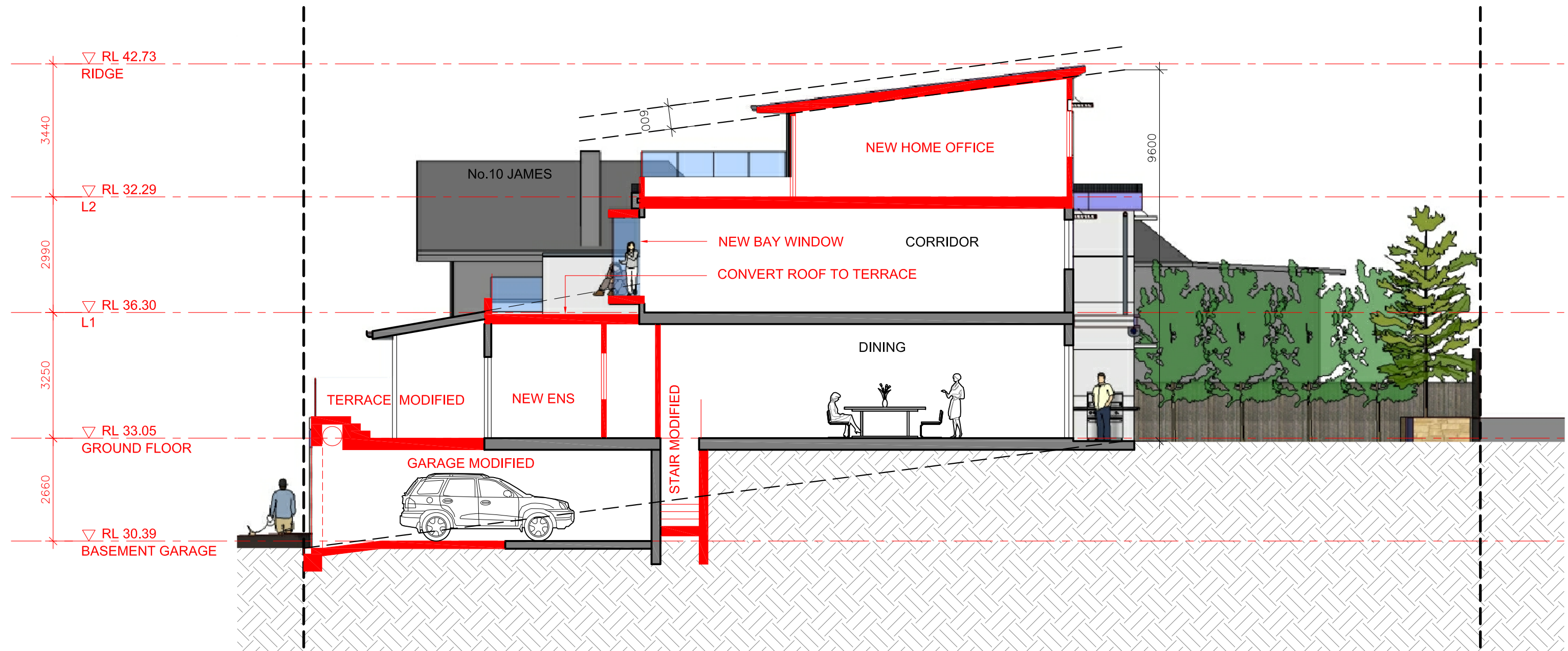
PROJECT: **ALTERATIONS & ADDITIONS**

LOT 23, DP 68091
11 JAMES STREET
MANLY NSW 2095

DRAWING TITLE: **PROPOSED
WEST ELEVATION**

DRAWING STATUS: **DEVELOPMENT
APPLICATION**

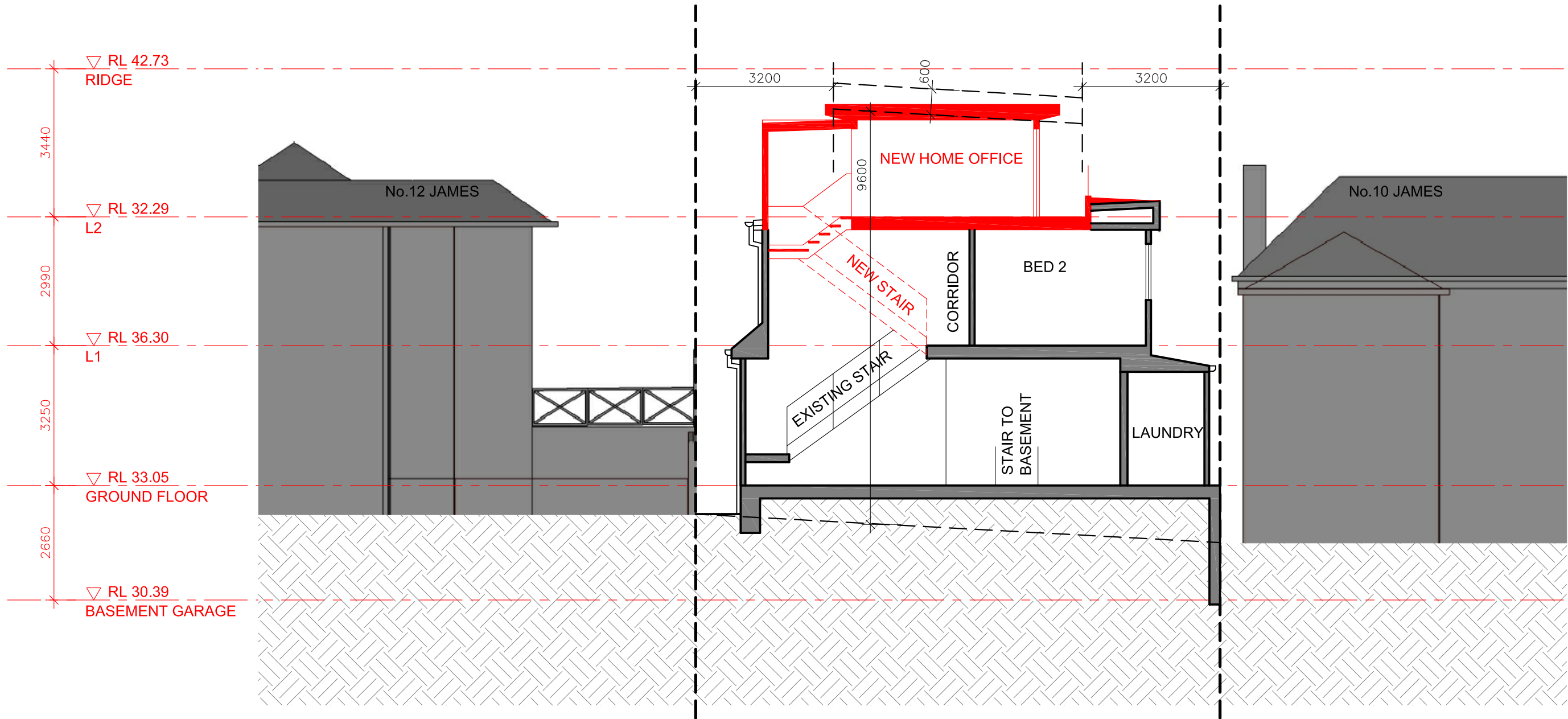
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DATE: 18 DEC 2018		
PROJECT No: 1803057	DRAWING No: DA09	REVISION: A





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PROJECT:

ALTERATIONS & ADDITIONS

LOT 23, DP 68091

**11 JAMES STREET
MANLY NSW 2095**

DRAWING TITLE:

**PROPOSED
SECTION B-B**

DRAWING STATUS:

**DEVELOPMENT
APPLICATION**

SCALE:

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SIZE:

A3

DATE:

18 DEC 2018

CAD FILE:

DA06_Elevs.dwg

DESIGN:

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CAD:

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PROJECT No:

1803057

DRAWING No:

DA11

REVISION:

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