

STATEMENT OF HERITAGE IMPACT

1/18 Quinton Rd, Manly, NSW



In relation to
Internal Refurbishment Works

Prepared by
Solo Property Group Pty Ltd

On behalf of
Cecile Garderes

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DOCUMENT VERSION CONTROL			
Job #	J23001	Purpose	Statement of Heritage Impact
Date	06/06/24	Author	O.Sanchez
Client	C.Garderes	QA	O.Adams

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INTRODUCTION

This Statement of Heritage Impact (“SOHI”) is to be accompanied with the Development Application (“DA”) for the internal refurbishment works (“The Works”) at unit 1/18 Quinton Road, Manly, NSW 2095.

The site is listed as Local Significance as an Item of Environmental Heritage in the Manly Local Environmental Plan (LEP) 2013 under Schedule 5 – Environmental Heritage – Part 1 – Heritage Items.

This report has been created for Manly Council to assess the impacts on heritage significance. The Manly LEP Part 5.10 (2.2.) contains the following description:

“(2) Requirement for consent Development consent is required for any of the following—

(b) altering a heritage item that is a building by making structural changes to its interior or by making changes to anything inside the item that is specified in Schedule 5 in relation to the item”

This report has been prepared in accordance with the Guidelines for preparing a statement of heritage impact by the NSW Department of Planning and Environment.

COVER PAGE

Name of the heritage item:

1/18 Quinton Road, Manly, NSW 2095

SP/LOT:

CP/-/SP12069

LEP heritage schedule item number and name:

LEP #I215

Address and location:

1/18 Quinton Road, Manly, NSW 2095

Statement of heritage impact for:

Internal alteration works to create an enlarged opening between the lounge and entry and removal of a wall between the kitchen and entry to suit new internal layout.

Prepared by:

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Solo Property Group Pty Ltd

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ABN: 82675014892

Prepared for:

Cecile Garderes of 1/18 Quinton Road, Manly, NSW 2095

Date:

6th June 2024

Issue:

1.0

SECTION 1 – THE HERITAGE ITEM

1.1 SITE DESCRIPTION

The street provides a wide range of architectural styles including stone cottages and semi-detached dwellings which contain much of their original detail.

Quinton Road appeared on the Brighton Estate Plan circa 1880 and was named after Henry Gilbert Smith's village in Northamptonshire, England. Pioneer families of Manly constructed homes using locally quarried stone which are still remaining to this day.

By 1913, Quinton Road's Streetscape was completed in the lower region of Quinton Road. During the Great War and up until Second World War, some of the dwellings on Quinton Road and the surrounding areas were used as boarding houses.

The site is known as Unit 1/18 Quinton Road. The following description initially describes the property known as 18 Quinton Road, and then describes the site known as 1/18 Quinton Road.

Heritage item

The property known as 18 Quinton Road is a residential Class 2 apartment building with a Federation architectural style. Features include double brick construction fair faced brickwork, use of ornamental timberwork on verandah and timber gables, tall chimneys with terracotta pots, the use of terracotta tile roofing, bay windows and wall hung shingles.

The building is set back from the street with a small garden and hedgerow on the front boundary. Timber fencing separates the property from the adjacent blocks.



18 Quinton Road – As viewed from street level

The rear of the building (known as 22 Quinton Road) appears to have been added at a later date and is clad in wall hung shingles in a similar finish to the front elevation elements around 2020. This addition does not seem to have been sympathetic to the original building.



Rear of 18 Quinton Road – Known as 22 Quinton Road



View of Junction between 18 and 22 Quinton Road

The front cladding may have been replaced at the same time as the rear extension judging by the age and colour of the cladding.

The windows consist of single glazed timber sash windows. Entrance doors are timber doors with stained glass glazed side panels.



View of Timber Windows and Doors to 1/18 Quinton Road

The site, known as Unit 1, 18 Quinton Road, Manly, consists of a ground floor apartment unit to the West side of the block. The property is accessible from street level via a set of private stairs from Quinton Road.

Internally walls consist of painted plaster partition walls and door frames with painted timber architraves and dado rails. Ceilings are painted plasterboard with painted cornices and ceiling roses to some ceilings. Floors consist of painted timber floorboards and newer vinyl and tiled flooring to the kitchen and bathroom areas respectively.



1/18 Quinton Rd – Internal view looking from corridor to lounge wall to be enlarged



1/18 Quinton Rd – Internal view looking from entry corridor to Kitchen wall to be demolished



1/18 Quinton Rd – Entry corridor - Example of ceiling details

The kitchen and bathroom areas finishes, and details, are modern and are not sympathetic to the building character.



1/18 Quinton – View of wall separating Kitchen and Entry hallway from Kitchen



1/18 Quinton - Bathroom

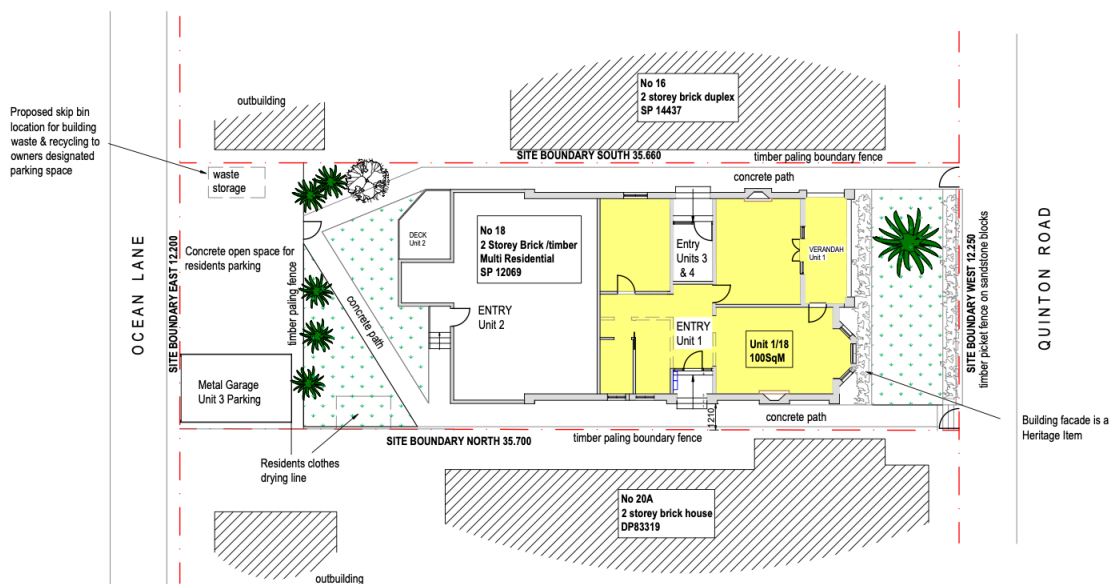
Heritage listings

The site is noted as Locally Significant under the Manly Local Environmental Plan 2013. No other listings have been found at the time of issue.

Table 1: Statutory Heritage Listings		
Local Environmental Plan	Manly Local Environmental Plan 2013	1215

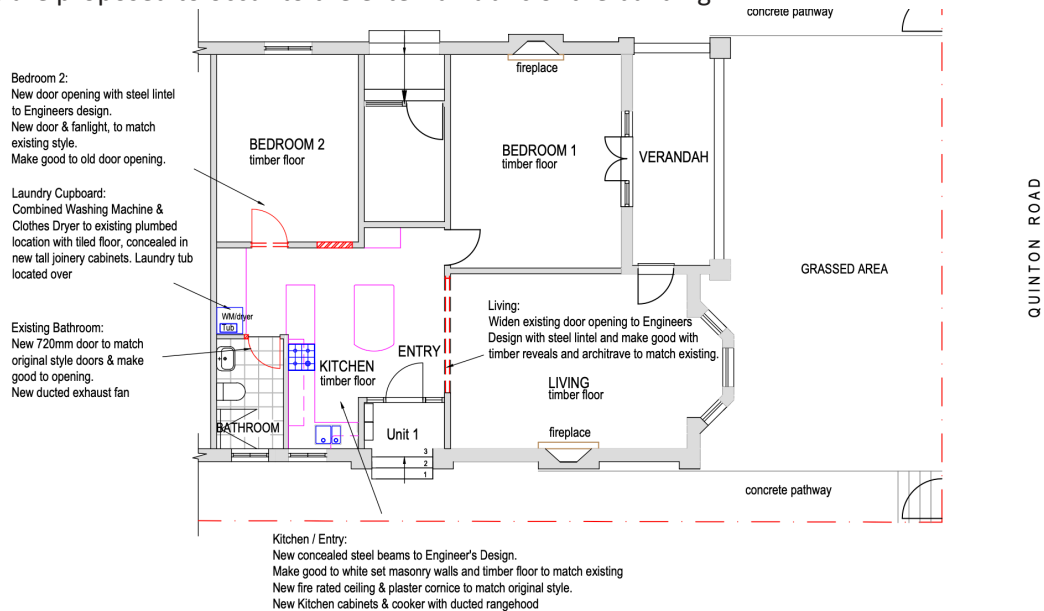
Site and its context

The site can be found to the West side of 18 Quinton Road, Manly. The front elevation abuts the common front lawn area adjacent to Quinton Road. The rear boundary consists of the separating wall to 22 Quinton Road.



The proposed works area

The proposed work area is internal and consists of the entry corridor, kitchen and lounge area. No works are proposed to occur to the external fabric of the building.



Lot 1 Sec SP 12069



Interior Alterations
Unit 1 / 18 Quinton Rd Manly NSW 2095
client:
Cecile Garderes & David McEwing

PROPOSED FLOOR PLAN - GF Unit 1

date	scale	drawn	dwg no.	rev
Feb 2024	1:100	KP	DA04	A

A 16/02/24 Issued for DA submission

Kelly Pearson Design
ABN 34 836 972 794
m:0410 681031
kellypearsondesign@bigpond.com

Unit 1/18 Quinton Road - Proposed Floor Plan showing proposed work area

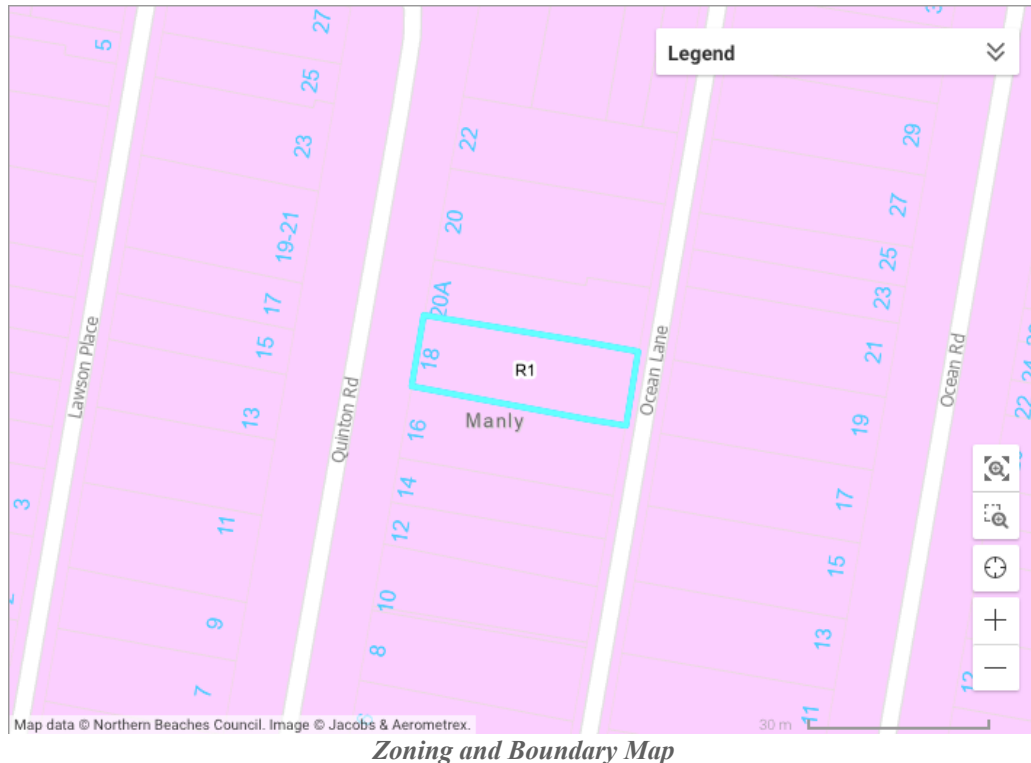
1.2 SITE SUMMARY HISTORY

The building known as 18 Quinton Road was built c.1921 as purpose built flats.

No information found on the Manly Council Planning Portal could be found to suggest any internal alterations have taken place to Unit 1/18 Quinton Road since its construction, however it is clear that, at some stage, an update of the internal kitchen and bathroom finishes has occurred.

SECTION 2 - SIGNIFICANCE ASSESSMENT

2.1 STATEMENT OF SIGNIFICANCE



Statement Of Significance

The group of houses at 1-23, 25 and 27 Quinton Road are a remarkably intact example of early Twentieth Century development, typical of the Manly area at that time. The street presents a cohesive representation of the changes occurring to the Manly community in the early 1900s, with regard to population increase and changes to typical dwelling types. The group's associations with various local identities over time further solidify this historical significance to Manly.

The street's picturesque location and high architectural quality contribute to the group's aesthetic significance, as do the extant details such as fences, rooflines, materials, landscaping and setbacks.

Historical Significance

The group of houses in lower Quinton Road are significant as an intact example of an early Twentieth Century residential street in the Manly area. Many original features remain extant,

including the street alignment and the majority of the original subdivision pattern, and remarkably the building stock have changed little since their construction.

The group is an excellent example of development types reflecting the changing demographics of the area during the first few decades of the 1900s. The change from predominantly villa style buildings to residential flat buildings and conversions, which occurred throughout Manly, is clearly presented and the streetscape provides a cohesive snapshot of the changes occurring in the area at that time.

Significance

The group of houses have local significance for their associations with various identities of local and broader importance, such as the philosopher Arthur Passmore, and a former New South Wales Government Minister for Education and Youth Affairs, who resided in the street at various times.

Aesthetic/Technical Significance

The group of houses on lower Quinton Road have local significance for intact representation of the architectural styles favoured at the time of their construction. Whilst somewhat eclectic in style and materials, the group of houses clearly illustrate an important period of development and the consequential change in the style of residential buildings, from single villas to residential flat buildings common throughout Manly at that time.

The streetscape has changed little since the early 1900s, and whilst some conversion to flats, and later renovations have occurred, with the exception number 20a, all of the original buildings remain extant. Given the prominence of the street's location on the rise of Western Hill, the intact rooflines and upper storeys of the streetscape remain visible from the Manly town centre area, and are a reminder of the area's early beginnings.

The dramatic presentation to the street made by the properties on the western side of the street, through the use of sandstone retaining walls and stairways further contribute to the group's unique and intact quality.

Rarity

The intact quality of the group of houses on lower Quinton Road means that it is now a rare example of a streetscape which was once common in Manly.

Representative

The group of houses on lower Quinton Road have representative significance as an intact example of the types of developments which were occurring throughout the Manly area in the early Twentieth Century.

Integrity/Intactness

Good. One sympathetic infill development

2.2 SIGNIFICANCE OF THE PROPOSED WORK AREA

The proposed work area do not impact on the significance of the listed item. The listed item's is focused on the 'streetscape' and 'developments which were occurring throughout the Manly area in the early Twentieth Century'. It does not focus on the internal conditions and layouts in its Statement of Significance related to the Item.

Since there will be no changes to the external property Quinton Road's streetscape will remain unchanged.

All materials proposed to be utilised will be 'like for like' where possible and sympathetic with the original building character where not.

Furthermore, the Aesthetic/Technical Significance section of the Heritage Item acknowledges the 'later renovations' that have since occurred, which are consistent with the proposed works to ensure the site provides continued amenity to its occupants.

SECTION 3 – PROPOSED WORKS

3.1 THE PROPOSAL

The existing layout of the apartment is not conducive to modern living with entrance/circulation corridors that take up a disproportionate amount of living space and impact on the overall utility of the apartment.

In addition to the above, the limited natural light available from the Northern façade due to its proximity to the adjacent boundary and limited window openings, makes the corridors and entrance areas very dark.

The proposed works consist of internal alterations as follows:

- Removal of 2no. original internal walls
- Increase of 1no. existing wall opening
- Relocation of a door opening to Bedroom 2
- Changes to the door opening size to the bathroom including provision of new door to match existing (or re-use of existing door if possible)
- New Fire Rated Ceiling to entry corridor and kitchen (if required by code)
- New kitchen layout.
- Painting and make good of any surfaces to match the original architectural style such as matching cornices, dado rails, doors and paint styles

The alterations would allow the owner and their son to utilise the wasted corridor/entry space and increase the living and kitchen areas. Furthermore, the removal of the internal walls will improve the natural light available throughout the property, improving the quality of life for its occupants and reducing the need for artificial lighting (and its associated energy use).

None of the heritage facade of the building would be altered / affected.

Table 2: Proposed Drawings & Specifications		
Plan Ref	Plan Title	Date
	Kelly Pearson Design	
DA01 – A	Site Plan	Feb 2024
DA02 – A	Demolition Plan	Feb 2024
DA03 – A	Existing Floor Plan	Feb 2024
DA04 – A	Proposed Floor Plan	Feb 2024
	Taylor Consulting – Civil & Structural Engineers	

Cover Letter	Wall Removal Certificate Letter	17/04/24
Cover Sheet	Construction Notes – Wall Removal	17/04/24
STRUCT-1	Structural Details – Alterations and Additions	17/04/24

Drawings noted above can be found in the Attachments.

3.2 BACKGROUND

Pre-lodgement consultation

A request for a heritage exemption was issued to Northern Beaches council on 10th March 2023 but it is our understanding that this exemption request was not approved.

A phone call on the 5th February 2024 between Oliver Sanchez, Solo Property, and Steven Arthur, Northern Beaches Planning Department, occurred to discuss the development. The heritage listing was discussed in this phone call.

Considerations of alternatives

The existing site suffers from a lack of natural light and an original scheme was reviewed to improve this via alterations to the façade to the front elevation to the Verandah area to open up a larger window and also to demolish the front entrance area, in addition to internal alterations and improvements. However, due to the heritage item listing, this was considered too impactful on the heritage significance of the site.

Therefore a ‘reduced’ scheme was developed that would limit the demolition to the internal wall between the entry, kitchen and lounge. This relatively minor internal alteration would achieve significant benefits for the property:

- 1) Increase natural light from the living area through to the kitchen and entry hallway.
- 2) Provide a more usable kitchen area for the occupants and their son.
- 3) Provide a kitchen more fitting with the property style and quality.

The now proposed scheme retains the majority of the internal elements of the property, its façade and key elements of its character.

SECTION 4 – HERITAGE IMPACT ASSESSMENT

In addition to the description, include diagrams, maps, plans, drawings and photographs to ensure a thorough assessment.

4. 1 MATTERS FOR CONSIDERATION

The following areas have been considered in relation to the proposed schemes impact to the heritage significance.

Fabric and spatial arrangements

The proposal provides minor changes to the internal spatial arrangements to improve the amenity to the occupants. This does not impact on the significance of the heritage item.

Setting, views and vistas

The proposed scheme does not impact on this specific heritage value as all changes are internal.

Landscape

The proposed scheme does not impact on this specific heritage value.

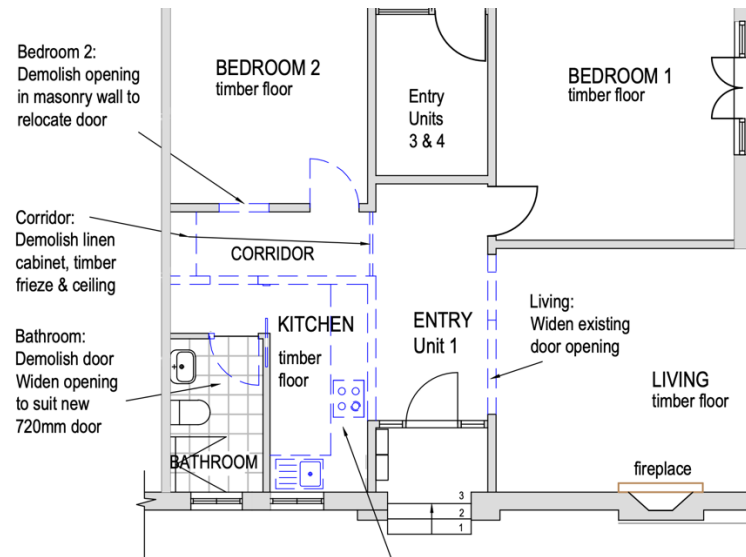
Use

The proposed scheme does not impact on this specific heritage value.

The scheme does however improve circulation within the property improving its ability to house users with differing accessibility requirements.

Demolition

Demolition of 2no. internal walls is proposed.



Call out of DA02-A- Demolition Plan – Blue highlight showing walls to be demolished

The listed item does not highlight internal walls to be considered as a significant item and therefore it is proposed that the demolition will not have a major detrimental effect on the heritage significance of the heritage item.

Furthermore, any make good of existing walls and ceilings is proposed to be sympathetic to the original buildings character.

The works will also remove the modern kitchen vinyl floor and seek to make good the existing original timber flooring below or replace to match the original floor finish.

Curtilage

The proposed scheme does not impact on this specific heritage value.

Moveable heritage

Describe any impacts to moveable heritage.

Aboriginal cultural heritage

The proposed scheme does not impact on this specific heritage value.

Historical archaeology

The proposed scheme does not impact on this specific heritage value.

Natural heritage

The proposed scheme does not impact on this specific heritage value.

Conservation areas

The proposed scheme does not impact on this specific heritage value.

Cumulative impacts

The works are standalone and do not form part of a previous or future planned set of works or applications. The proposed scheme does not impact on this specific heritage value.

The conservation management plan

The proposed scheme does not impact on this specific heritage value.

Other heritage items in the vicinity

The proposed scheme does not impact on this specific heritage value.

Commonwealth/National heritage significance

The proposed scheme does not impact on this specific heritage value.

World Heritage significance

The proposed scheme does not impact on this specific heritage value.

SECTION 5 – SUMMARY AND RECOMMENDATIONS

The proposed works do not impact on Quinton Road's streetscape and do not impact on the significance of the heritage item as consistent with the recommended management of the Heritage Item:

- The overall form of the buildings are retained and conserved.
- Surfaces intended for painting will continue to be painted in the appropriate and uniformed colour scheme.
- Significant intact fabric is to be retained and conserved including joinery and fittings.
- The existing form, external surfaces and materials of the building are to be maintained.
- Majority of internal features such as ceilings, cornices, joinery, flooring and fireplaces are retained and conserved.

The works proposed will greatly improve the utility of the property and provide a long-term sustainable use to its occupants. The proposed scheme will consist of minor internal changes that will provide a more modern level of amenity, while improving natural light and reducing energy that would have been required from artificial lighting to the hallway and kitchen areas.

DEFINITIONS & LEGISLATION

This section lists the relevant definitions and abbreviations used in the guidelines.

Information is sourced from the Heritage Act 1977, Environment Planning and Assessment Act 1979 and The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance.

Term	Meaning
Consent authority	The person or body with whose approval that act, matter or thing may be done or without whose approval that act, matter or thing may not be done.
Conservation	Conservation means all the processes of looking after a place so as to retain its cultural significance (as defined in The Burra Charter).
Development	The erection of a building, carrying out work, use of or subdivision of land.
Heritage significance	Term used in the assessment and understanding of heritage items that have significance in relation to their historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value.
Moveable heritage	A moveable object that is not a relic.
National construction code	A code that sets minimum requirements for design, construction and performance of buildings, as well as plumbing and drainage systems throughout Australia.
Relic	Any deposit, artefact, object or material evidence that is of state or local heritage significance.
Setting	The area around an item, which may include the visual catchment.
State Heritage Inventory	An online database containing heritage items and conservation areas on statutory lists in NSW. This includes the State Heritage Register and local government items.
State Heritage Register	The NSW State Heritage Register. A list of places and items of importance to the people of NSW. Only places of state heritage significance are listed on the State Heritage Register. The State Heritage Register protects these items and their significance.
State Heritage Register item	A term to describe a heritage item that is of state heritage significance and is listed on the State Heritage Register.

Legislation

- Heritage Act 1977 (NSW)
- Environment Planning and Assessment Act 1979 (NSW)
- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008
- Disability Discrimination Act 1992 (Cth)
- National Parks and Wildlife Act 1974 (NSW)

CONTACT DETAILS

Anyone wishing to contact Solo Property Group Pty Ltd to discuss this report and its contents or obtain details of the proposed works may contact:

Oliver Sanchez

Director

EMAIL: oliver@solopg.com.au

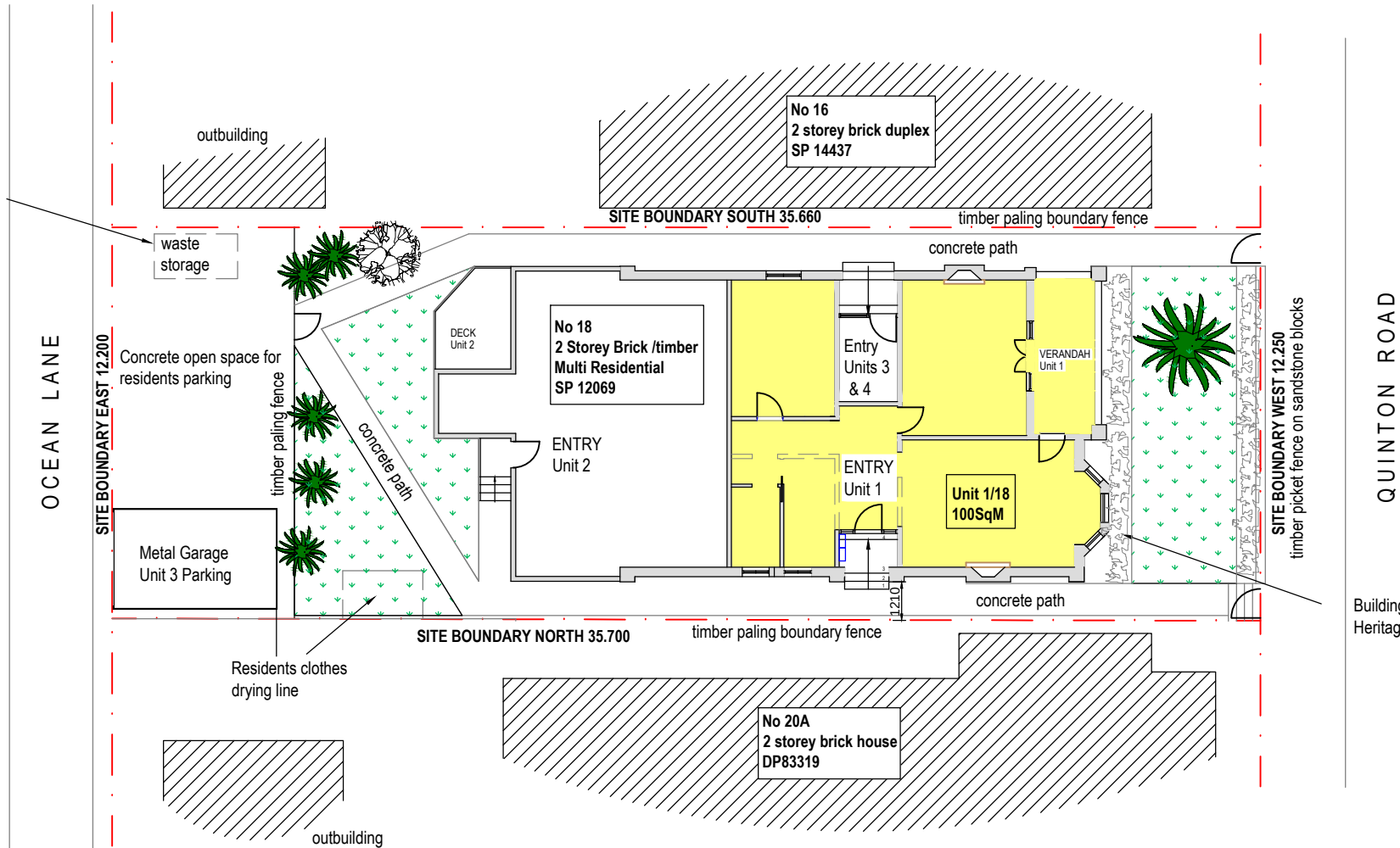
PHONE: +61 420 343 534

WEB: www.solopg.com.au

ATTACHMENTS

ATTACHMENT 1 – DRAWINGS & SPECIFICATIONS

Proposed skip bin location for building waste & recycling to owners designated parking space



Building facade is a Heritage Item

NOTE:
Site Boundaries are measured from timber boundary fences not by a registered surveyor

Lot 1 Sec SP 12069

Interior Alterations
Unit 1 / 18 Quinton Rd Manly NSW 2095
client:
Cecile Garderes & David McEwing

SITE PLAN

date	scale	drawn	dwg no.	rev
Feb 2024	1:200	KP	DA01	A

A 16/02/24 Issued for DA submission

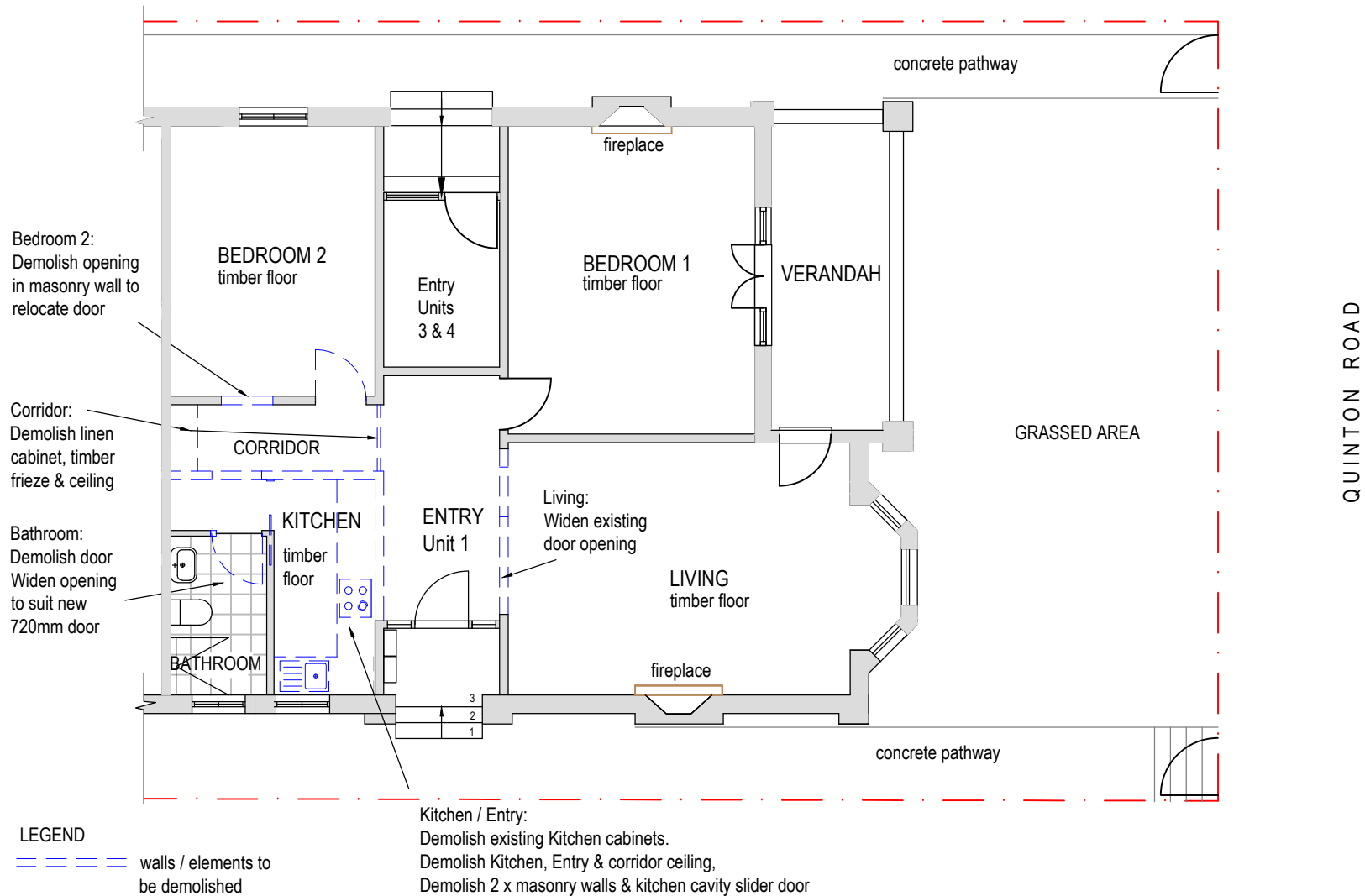
Kelly Pearson Design

ABN 34 836 972 794

m:0410 681031

kellypearsondesign@bigpond.com





Lot 1 Sec SP 12069

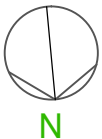
Interior Alterations
Unit 1 / 18 Quinton Rd Manly NSW 2095
client:
Cecile Garderes & David McEwing

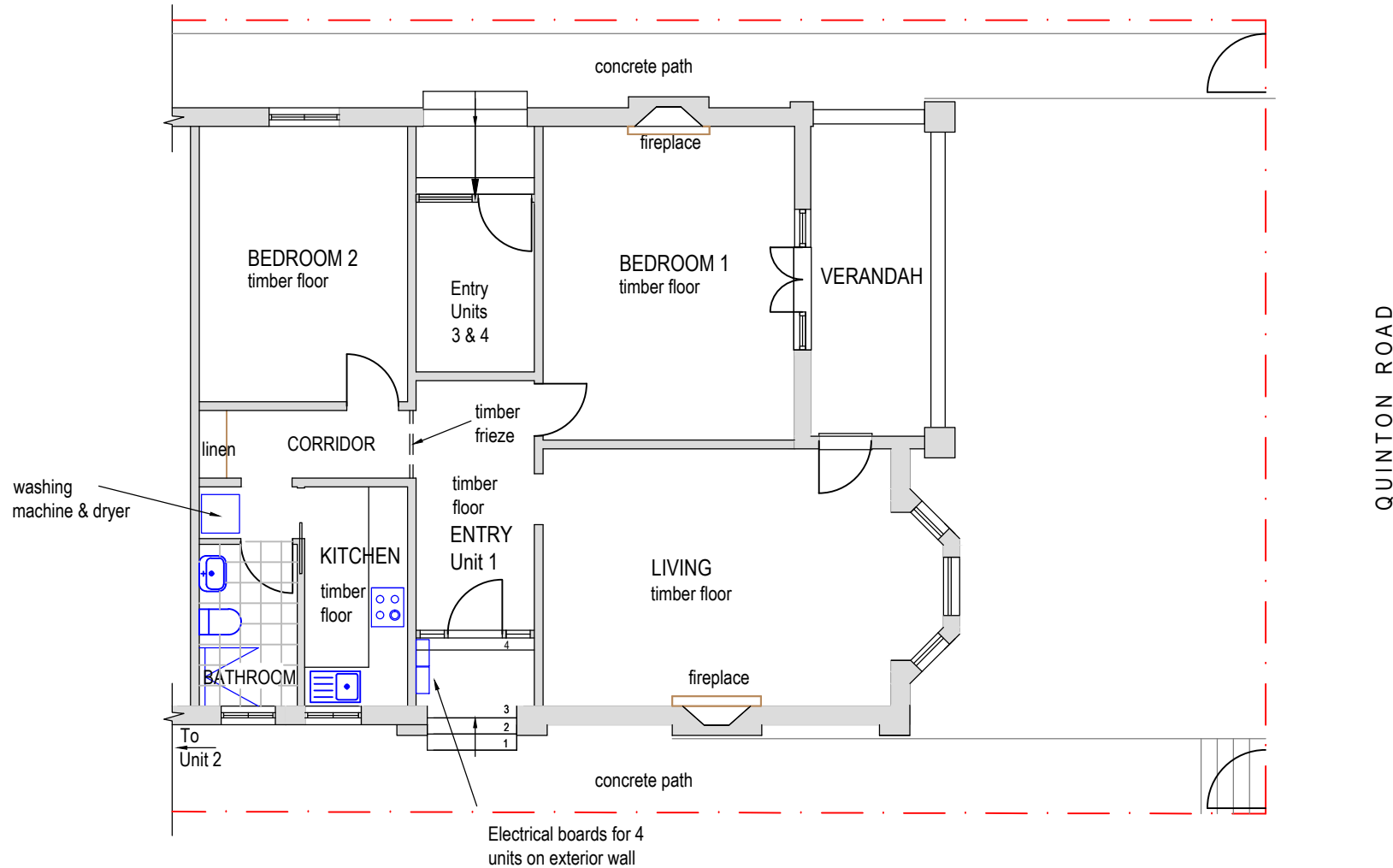
DEMOLITION PLAN - GF Unit 1

date scale drawn dwg no. rev
Feb 1:100 KP DA02 A
2024

A 16/02/24 Issued for DA submission

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Lot 1 Sec SP 12069

Interior Alterations
Unit 1 / 18 Quinton Rd Manly NSW 2095
client:
Cecile Garderes & David McEwing

EXISTING FLOOR PLAN - GF Unit 1

date	scale	drawn	dwg no.	rev
Feb 2024	1:100	KP	DA03	A

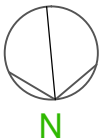
A 16/02/24 Issued for DA submission

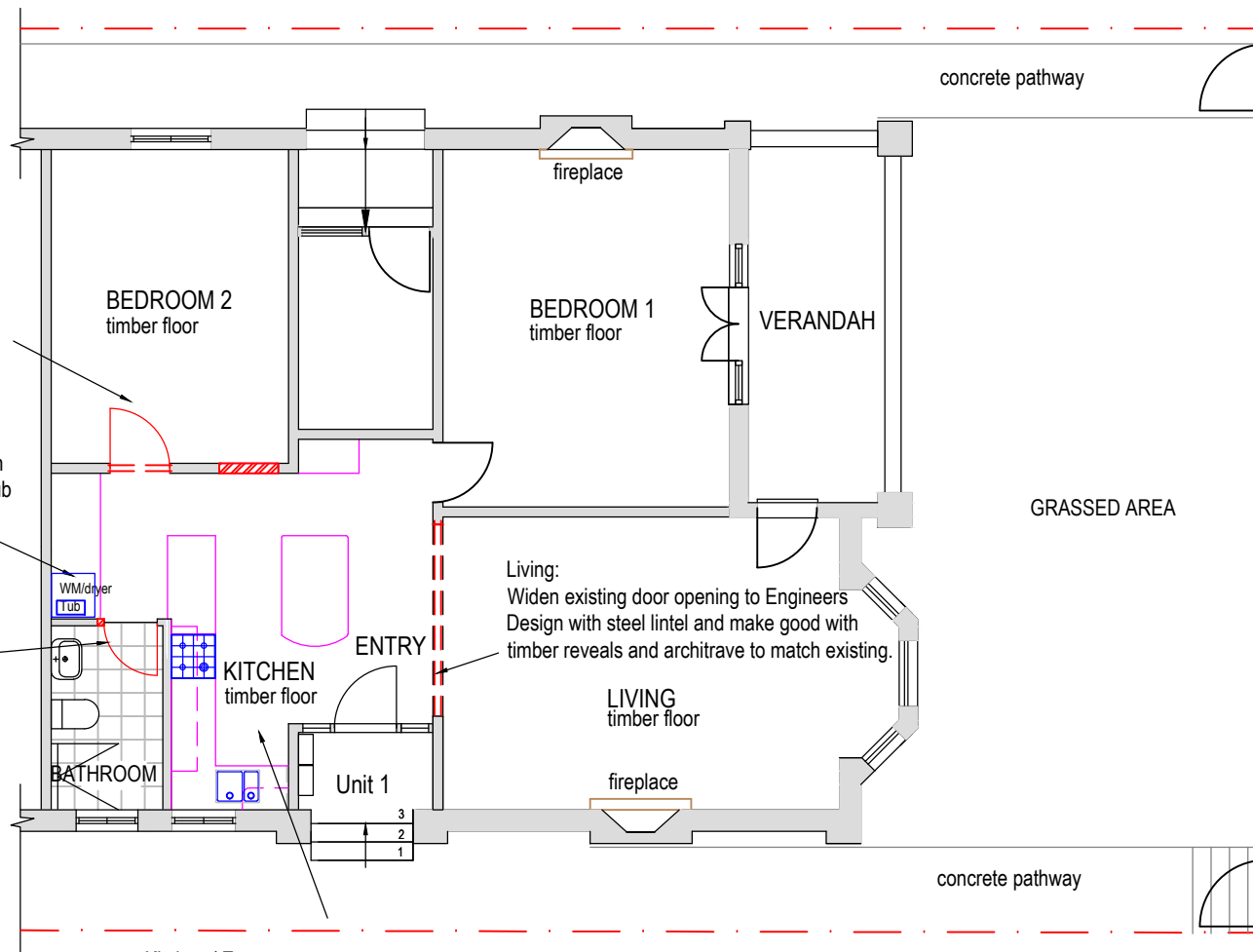
Kelly Pearson Design

ABN 34 836 972 794

m:0410 681031

kellypearsondesign@bigpond.com





Lot 1 Sec SP 12069

Interior Alterations
Unit 1 / 18 Quinton Rd Manly NSW 2095
client:
Cecile Garderes & David McEwing

PROPOSED FLOOR PLAN - GF Unit 1

date scale drawn dwg no. rev
Feb 1:100 KP DA04 A
2024

A 16/02/24 Issued for DA submission

Kelly Pearson Design

ABN 34 836 972 794

m:0410 681031

kellypearsondesign@bigpond.com



17 April 2024

Principal Certifying Authority
Emailed to: cecilegarderes@gmail.com

Certificate Title: **Wall Removal Certificate**

Address of the Project: **Unit 1, 18 Quinton Road, Manly**

Description of Project: **Alterations and Additions**

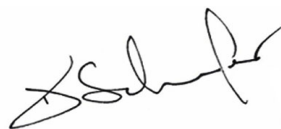
This is to certify the above unit was inspected on **17 August 2022** for the purpose of assessing the feasibility of removing the section of internal brick wall shown on the attached plan and designing the beam support over the wall to be removed.

The beams have been designed in accordance with relevant SAA codes and the Building Code of Australia and structural details are shown on the attached plan **STRUCT-1**.

It is considered that the removal of the walls and the installation of the beams will have no adverse effect on the structural integrity of the building providing the work is undertaken in accordance with the requirements of the attached plan **STRUCT-1**.

This certification shall not be construed as relieving any other party of their responsibilities or contractual obligation.

Yours faithfully
TAYLORCONSULTING.NET.AU



D.M.Schaefer - Director
B.E Civil (Hons) M.I.E. Aust. N.E.R.



TAYLOR

CIVIL & STRUCTURAL ENGINEERS

ALTERATIONS & ADDITIONS, UNIT 1, 18 QUINTON ROAD, MANLY

CONSTRUCTION NOTES

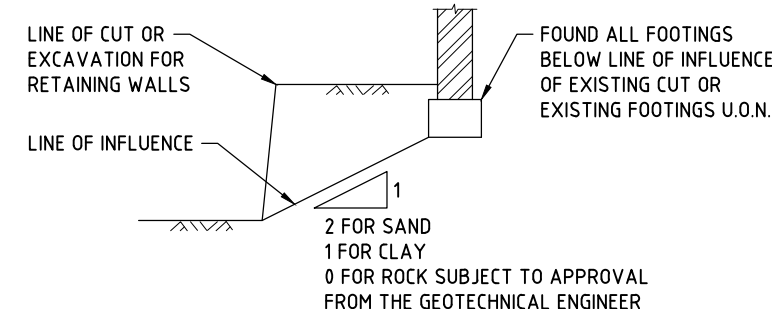
GENERAL

- READ THESE DRAWINGS IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER WORKING DRAWINGS, SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.
- PROVIDE ALL WORKMANSHIP AND MATERIALS IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITIONS OF THE NCC, THE AUSTRALIAN STANDARDS AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- THE BUILDER MUST COMPLY WITH REQUIREMENTS OF THE OCCUPATIONAL HEALTH & SAFETY ACT.
- REFER ANY CONFLICT BETWEEN THESE NOTES, THE SPECIFICATIONS, THE DRAWINGS OR ANY OTHER RELEVANT DOCUMENTS TO THE ENGINEER (TAYLOR CONSULTING ENGINEERS) FOR DECISION PRIOR TO PROCEEDING WITH THE WORK.
- DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS. FOR SETTING OUT DIMENSIONS AND LEVELS REFER TO ARCHITECTURAL DRAWINGS.
- THE BUILDER IS RESPONSIBLE FOR THE PROVISION OF ALL SHORING TO MAINTAIN THE STABILITY AND INTEGRITY OF EXCAVATIONS AND ADJACENT STRUCTURES, PROVIDE DETAILS, FOR REVIEW BY THE ENGINEER, OF ANY NECESSARY TEMPORARY WORKS, INCLUDING SHORING, PRIOR TO COMMENCING CONSTRUCTION
- DURING CONSTRUCTION IT IS THE BUILDER'S RESPONSIBILITY TO MAINTAIN THE STRUCTURE IN A STABLE CONDITION AND TO ENSURE NO PART IS OVERSTRESSED.
- THE DESIGN AND DRAWINGS ARE COPYRIGHT AND MAY NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TAYLOR CONSULTING ENGINEERS.
- FIRE-RESTRAINT LEVELS (FRL'S) REQUIRED FOR THE VARIOUS STRUCTURAL ELEMENTS MUST BE CONFIRMED BY THE NCC CONSULTANT OR ARCHITECT.

FOUNDATIONS

- THE MINIMUM SAFE BEARING CAPACITY OF FOUNDATION MATERIAL SHALL BE:

PAD FOOTINGS :	KPA, IN
STRIP FOOTINGS :	KPA, IN
PIERS	KPA, IN
- FOUNDATION MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE.
- THE BASE OF FOOTING EXCAVATIONS SHALL BE FINISHED CLEAN AND HORIZONTAL.
- ALL WALLS AND COLUMNS SHALL BE CONCENTRIC WITH THE SUPPORTING FOOTINGS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- FOUNDING LEVELS WHERE SHOWN ARE FOR TENDER PURPOSES ONLY.
- ANY PROPOSED FOOTING EXCAVATION NEAR BOUNDARIES, OTHER STRUCTURES OR SERVICES SHALL BE APPROVED BY THE ENGINEER.
- SUBGRADE SHALL BE APPROVED MATERIAL COMPACTED TO 98% STANDARD DRY DENSITY DETERMINED BY TESTING TO AS1289.5.1.1 U.O.N.
- LOCATE ALL NEW FOOTINGS RELATIVE TO LINE OF CUT/EXCAVATION INCLUDING EXCAVATIONS FOR RETAINING WALLS AS FOLLOWS:



LOADINGS

- IMPORTANCE LEVELS OF BUILDING: 2
- SUPERIMPOSED FLOOR LIVE LOADS ARE GENERALLY IN ACCORDANCE WITH AS/NZS1170.1 AND SPECIFICALLY:

15 KPA GENERALLY
2.0 KPA BALCONIES
2.0 KPA STAIRS
- WIND LOADS HAVE BEEN DETERMINED IN ACCORDANCE WITH AS4055

WIND REGION: A	TERRAIN CATEGORY: 2
TOPOGRAPHIC CLASS: T1	SHIELDING: PS
WIND CLASSIFICATION: N2	
- THE RELEVANT PROVISIONS OF AS1170.4 HAVE BEEN APPLIED FOR THE FOLLOWING EARTHQUAKE DESIGN:

PROBABILITY FACTOR KP: 1	HAZARD FACTOR Z: 0.08
SITE SUB-SOIL CLASS: CE	EARTHQUAKE DESIGN CATEGORY: N/A

EXISTING STRUCTURES (ALTERATIONS & ADDITIONS)

- AFTER EXPOSING THE STRUCTURE OF THE EXISTING BUILDING, THE BUILDER MUST ADVISE THE ENGINEER TO ALLOW FOR INSPECTION TO CONFIRM SUITABILITY OF DOCUMENTED STRENGTHENING REQUIREMENTS PRIOR TO COMMENCING STRUCTURAL ALTERATIONS AND ADDITIONS.

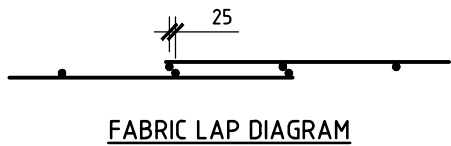
REINFORCED CONCRETE

- PROVIDE ALL WORKMANSHIP AND MATERIALS IN ACCORDANCE WITH AS3600, THE SAA STANDARDS CITED IN AS3600, THE DRAWINGS AND THE SPECIFICATIONS.
- PROVIDE CONCRETE COMPOSITION AND MINIMUM CLEAR CONCRETE COVER TO REINFORCEMENT AS FOLLOWS:

Element	Exposure Classification			f'c U.O.N.
	A1 Sheltered locations	B1 External locations over 10m from saltwater shoreline	B2 External locations within 10m of saltwater shoreline	
Piers	-	40	50	25
Strip and pad footings	-	50	50	25
Slab on ground (to int.)	20	40	45	32
Suspended slabs	20	40	45	40
Beams	20	40	45	40
Columns	20	40	50	40
Off form walls	20	40	45	40
- SUPPORT ALL REINFORCEMENT AT 1m MAXIMUM CENTRES BOTH WAYS ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS. USE ONLY PLASTIC CHAIR FOR EXTERNALLY EXPOSED SOFFITS.
- PROVIDE ALL CONCRETE WITH 80mm MAXIMUM SLUMP, 20mm AGGREGATE WITH NO ADMIXTURES, UNLESS APPROVED BY THE ENGINEER.
- SIZES OF CONCRETE ARE NET, EXCLUSIVE OF APPLIED FINISHES. BEAM DEPTHS ARE WRITTEN FIRST AND INCLUDE SLAB THICKNESS.
- PROPERLY FORM CONSTRUCTION JOINTS AND USE ONLY WHERE SHOWN OR APPROVED BY ENGINEER.
- MAKE NO HOLES OR CHASES IN CONCRETE MEMBERS WITHOUT THE APPROVAL OF THE ENGINEER.
- REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY AND IS NOT NECESSARILY SHOWN IN TRUE PROJECTION.
- WELD OR SPLICE REINFORCEMENT ONLY IN POSITIONS APPROVED BY THE ENGINEER.
- PROVIDE THE MINIMUM CLEAR SPACING BETWEEN CONDUITS, CABLES, PIPES AND BARS AS REQUIRED BY AS3600 BUT NOT LESS THAN THREE BAR DIAMETERS. DO NOT PLACE CONDUITS IN SLABS ABOVE TOP REINFORCEMENT OR BELOW BOTTOM REINFORCEMENT.
- S - DENOTES HOT ROLLED DEFORMED BARS GRADE 230S.
N - DENOTED HOT ROLLED DEFORMED BARS GRADE 500N.
R - DENOTES HOT ROLLED PLAIN ROUND BARS GRADE 230R.
SL, RL, L(SIZE)TM - DENOTES HARD DRAWN WIRE FABRIC GRADE 500.
- NOTIFY THE ENGINEER A MINIMUM OF 24 HOURS BEFORE REINFORCEMENT HAS BEEN COMPLETED. ALLOW 2 HOURS AFTER THE COMPLETION OF THE REINFORCEMENT FOR THE ENGINEER'S INSPECTION. DO NOT ORDER CONCRETE UNTIL REINFORCEMENT HAS BEEN APPROVED BY THE ENGINEER.
- CURE CONCRETE IN ACCORDANCE WITH AS3600. COMMENCE CURING WITHIN TWO HOURS OF FINISHING OPERATIONS AND CONTINUE FOR A MINIMUM OF SEVEN DAYS BY USING AN APPROVED PROPRIETARY COMPOUND OR BY KEEPING CONTINUOUSLY WET.
- TIE ALL UNSUPPORTED BARS IN TRANSVERSE DIRECTION TO N12-300, LAPPED 500 U.O.N.
- LAP FABRIC IN ACCORDANCE WITH DETAILS FIG.13.2.4 OF AS3600.
- PROVIDE HOOKS, LAPS AND BENDS IN ACCORDANCE WITH AS3600 U.O.N.

ELEMENT / BAR SIZE	MIN LAP LENGTH
N10	350mm
N12	450mm
N16	650mm
N20	900mm
N24	1150mm

- PROVIDE CHAMFERS, DRIP GROOVES ETC. IN ACCORDANCE WITH THE ARCHITECT'S DETAILS.
- DESIGN, CONSTRUCT AND STRIP FORMWORK IN ACCORDANCE WITH AS3610 & AS3600.
- PRE CAMBER FORMWORK UPWARDS BY 1/500 OF THE CLEAR SPAN U.O.N. WHERE SUPPORTED BEAMS AND SLABS SPAN GREATER THAN 5M.
- THESE SLABS HAVE NOT BEEN DESIGNED OR DETAILED FOR AN IN-SLAB HYDRAULIC HEATING SYSTEM OR FOR A POLISHED CONCRETE FINISH. CONTACT THE ENGINEER FOR REDESIGN AND INSTRUCTION OF EITHER IS TO BE FEATURED IN THESE SLABS.



FABRIC LAP DIAGRAM

SPECIFICATION & CONSTRUCTION NOTES FOR REINFORCED CONCRETE SLAB-ON-GROUND

GENERAL

- THE DRAWINGS AND SPECIFICATION ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATION AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE WORK.
- DIMENSIONS ARE NOT TO BE OBTAINED BY SCALING FROM THE STRUCTURAL DRAWINGS.
- SETTING OUT DIMENSIONS SHOWN ARE TO BE VERIFIED BY THE BUILDER.
- ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- ANY CONFLICT BETWEEN THESE NOTES AND SPECIFICATIONS OR DRAWINGS SHALL BE RESOLVED BY THE SUPERVISING ENGINEER.

GROUND PREPARATION & DRAINAGE

- THE SLAB AREA IS TO BE CLEARED OF ALL GRASS, VEGETATION, STUMPS AND ANY SOIL CONTAINING SIGNIFICANT VOLUME OF ORGANIC MATTER.
- THE SITE IS TO BE TRIMMED TO SUIT FINISHED SURFACE LEVELS. IN AREAS OF CUT AND FILL THE FILL IS TO BE A MAXIMUM DEPTH OF 500MM AND COMPACTED IN HORIZONTAL LAYERS OF 150MM MAXIMUM DEPTH TO 95% OF THE MODIFIED DRY DENSITY IN ACCORDANCE WITH AS 1289 "METHOD OF TESTING SOILS FOR ENGINEERING PURPOSES" AND AS 3798 "GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS".
- THE BATTER OF ANY FILL IS TO BE AT LEAST 1000MM CLEAR OF THE EDGE OF THE SLAB AND AT A MAXIMUM SLOPE OF 1.5 TO 1.
- ANY IMPORTED FILL IS TO BE AN APPROVED SELECT MATERIAL.
- THE FINISHED GROUND SURFACE ADJACENT TO THE SLAB IS TO BE AT LEAST 100mm BELOW THE SLAB LEVEL.
- IN CUT AND FILL AREAS ADEQUATE SURFACE DRAINAGE IS TO BE PROVIDED AT THE BASE OF EMBANKMENTS AND AT LEAST 1000MM FROM THE SLAB TO DIVERT SURFACE RUNOFF WATER AROUND THE SLAB.
- IN AREAS WHERE GROUND WATER IS ENCOUNTERED, SUB-SOIL DRAINS ARE TO BE PROVIDED TO INTERCEPT AND DIVERT THE WATER FROM THE SLAB.

FOUNDATIONS

- THIS SLAB IS DESIGNED FOR A UNIFORM AND STABLE FOUNDATION OF SAFE BEARING PRESSURE OF 150 KPA. FURTHER ADVICE IS TO BE OBTAINED FROM THE SUPERVISING ENGINEER IF ORGANIC MATTER, HIGHLY PLASTIC SOIL OR GROUND WATER IS ENCOUNTERED.
- A LEVEL BED OF CLEAN SAND, 50MM THICK IS TO BE SPREAD OVER THE FOUNDATION AND THOROUGHLY COMPACTED.
- IN AREAS OF TERMITE ACTIVITY OR AS REQUIRED BY LOCAL BUILDING AUTHORITIES PROTECTION IS TO BE PROVIDED TO THE BUILDING IN ACCORDANCE WITH AS 3660.1 "TERMITE MANAGEMENT PART 1: NEW BUILDING WORKS".
- PROTECTION SHOULD BE PROVIDED IN THE FORM OF A CONTINUOUS PHYSICAL BARRIER OF STAINLESS STEEL MESH OR GRADED STONES, OR A CHEMICAL SOIL BARRIER AS APPROVED BY LOCAL AUTHORITIES.

WATERPROOFING

- AN UNPUNCTURED POLYTHENE VAPOUR BARRIER, 0.2mm THICK IS TO BE PROVIDED UNDER THE TOTAL AREA OF THE FLOOR AND BEAMS INCLUDING INTERNAL BEAMS AND TERMINATED AT GROUND LEVEL.
- JOINTS IN MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AND SEALED WITH PRESSURE SENSITIVE TAPE. SERVICE PIPES THROUGH SLAB TO BE WRAPPED WITH POLYTHENE MEMBRANE THAT IS IN TURN LAPPED AND SEALED WITH MAIN LAYER.

REINFORCEMENT

- SLAB FABRIC TO BE LAPPED A MINIMUM OF 225MM AT THE ENDS AND SIDE AND SUPPORTED ON CHAIRS AT 1000mm CENTRES.
- EDGE BEAMS AND INTERNAL BEAM TRENCH MESH TO BE FULLY LAPPED AT CORNERS WITH A MINIMUM 350mm SPLICE LAP AND SUPPORTED ON CHAIRS AT APPROXIMATELY 1200mm CENTRES.
- ALL REINFORCEMENT CHAIRS TO SIT ON APPROVED BASE SUPPORTS TO PREVENT PUNCTURE OF POLYTHENE MEMBRANE.

CONCRETE

- ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH AS 3600 "CONCRETE STRUCTURES" AND THE CONCRETE SHALL BE THE APPROPRIATE GRADE AS NOTED ON THE STRUCTURAL DRAWINGS. SLUMP SHALL BE 80mm. SITE ADDITIVES ARE NOT PERMITTED.
- TO ENABLE AN INSPECTION TO BE CARRIED OUT ON THE WATERPROOFING MEMBRANE AND REINFORCEMENT THE SUPERVISING ENGINEER IS TO BE ADVISED 24 HOURS BEFORE POURING OF CONCRETE.
- CONCRETE IS TO BE COMPACTED WITH APPROVED VIBRATORS AND MOIST CURED FOR A MINIMUM OF SEVEN (7) DAYS AFTER POURING.

FINISH

- CONCRETE IS TO BE SCREEDDED LEVEL AND FINISHED TO A SMOOTH SURFACE WITH A WOODEN FLOAT, STEEL TROWEL OR MECHANICAL TROWELLING DEVICE DEPENDING ON TYPE OF SURFACE FINISH REQUIRED.

MASONRY

- ENSURE ALL WORKMANSHIP AND MATERIALS ARE IN ACCORDANCE WITH AS3700, THE STANDARDS CITED IN AS3700, THE DRAWINGS AND THE APPL STANDARD TECHNICAL SPECIFICATION STD-D905.
- WHERE MASONRY SUPPORTS CONCRETE SLABS OR BEAMS, LAY THE TOP COURSE WITH FROGS DOWN AND COVERED IN 2 LAYERS OF APPROVED SLIP JOINT MATERIAL.
- WALLS SHOWN SHADED ON PLAN ARE LOAD BEARING. SEPARATE NON-LOAD BEARING WALLS UNDER SLABS FROM THE SLAB BY 15mm OF APPROVED COMPRESSIBLE MATERIAL. WHERE MASONRY ABUTS SLAB DOWNTURNS, PROVIDE 15MM GAP BETWEEN BRICKWORK AND SIDE OF DOWNTURN.
- DO NOT ERECT MASONRY SUPPORTED BY CONCRETE SLABS OR BEAMS UNTIL ALL FORMWORK AND PROPS UNDER HAVE BEEN REMOVED.
- PROVIDE ALL BRICKS OF STRENGTH F'UC = 20 MPA U.O.N.
- PROVIDE ALL HOLLOW CONCRETE MASONRY OF STRENGTH F'UC = 15 MPA U.O.N.
- PROVIDE CLASSIFICATION M3 MASONRY MORTAR U.O.N. NOTE THAT WITHIN 100M FROM NON-SURF COAST, OR 1KM SURF COAST, PROVIDE CLASSIFICATION M4 MASONRY MORTAR.
- CUT NO CHASES INTO LOAD BEARING MASONRY WITHOUT THE APPROVAL OF THE ENGINEER.
- PROVIDE MOVEMENT CONTROL JOINTS VERTICALLY FOR FULL HEIGHT OF WALL AS FOLLOWS:
 - FOR GENERAL MASONRY = 8M MAXIMUM CENTRES & 4m MAXIMUM FROM CORNERS.
 - FOR ARTICULATED MASONRY = 6M MAXIMUM CENTRES & 4m MAXIMUM FROM CORNERS.
 - PROVIDE 15mm MINIMUM JOINTS WITH AN APPROVED COMPRESSIBLE FILLER, TIED TOGETHER EVERY 4TH COURSE WITH AN MET 3.3 MASONRY SLIDING TIE OR APPROVED EQUAL.
- CONSTRUCT HOLLOW WALLS TO FULL HEIGHT OR MAXIMUM 3m BEFORE FILLING CORES. PROVIDE CLEANOUT OPENINGS AT THE BASE OF ALL CORES TO BE FILLED.
- PROVIDE HOLLOW F'c 20 MPA CORE FILLING CONCRETE WITH 10mm AGGREGATE, 180 SLUMP U.O.N.
- CONSTRUCT HOLLOW MASONRY RETAINING WALLS USING "DOUBLE U BLOCKS."
- UNREINFORCED MASONRY WALLS HAVE NOT BEEN DESIGNED UNLESS NOTED.

TIMBER

- ENSURE ALL WORKMANSHIP AND MATERIALS ARE IN ACCORDANCE WITH AS1720 AND AS1684, THE SAA STANDARDS CITED IN AS1720, AS1684 AND THE SPECIFICATION.
- PROVIDE ALL TIMBER AS UNDRESSED MGP10 STRESS GRADE SEASONED PINE U.O.N. PROVIDE ALL EXTERNAL TIMBER AS UNDRESSED HARDWOOD OR APPROPRIATELY TREATED SEASONED PINE U.O.N.
- WHERE THE USE OF TREATED PINE FOR DURABILITY IS NOTED ON THE STRUCTURAL DRAWINGS, ENSURE IT COMPLIES WITH THE FOLLOWING TREATMENTS LEVELS:

- INTERIOR ABOVE GROUND = H2	} ALL IN ACCORDANCE WITH AS1684
- EXTERIOR ABOVE GROUND = H3	
- EXTERIOR IN GROUND = H4 & H5	
- INSTALL PROPRIETARY TIMBER CONNECTORS IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- RETIGHTEN BOLTED CONNECTIONS IN UNSEASONED TIMBER PRIOR TO THE FIXING OF CLADDING.
- TIMBER ELEMENTS OR TIMBER FRAMING HAVE NOT BEEN DESIGNED U.O.N.
- PROVIDE ALL NEW CONSTRUCTION WITH PROTECTION FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH AS3660.1-1995, PROVIDE THE PROTECTION SYSTEM OR SYSTEMS AS SPECIFIED BY THE ARCHITECT.
- SUBMIT THREE COPIES OF ALL TRUSS WORKSHOP DRAWINGS TO THE ENGINEER FOR CHECKING PRIOR TO FABRICATION. ALL TRUSSES TO BE PRE-CAMBERED UPWARD 1/240 SPAN U.O.N.
- FOR BUSHFIRE PRONE AREAS, USE TIMBER SPECIES CLASSIFIED AS "FIRE-RETARDANT-TREATED TIMBERS" IN ACCORDANCE WITH AS3959 1999, IE. UNTREATED BLACKBUTT, KWILA (MERBAU), RED IRON BARK, RIVER RED GUM, SILVER TOP ASH, SPOTTED GUM OR TURPENTINE.

ALL TIMBER CONNECTIONS, TIE DOWNS BRACING AND TIMBER SIZES NOT NOMINATED ARE TO BE IN STRICT ACCORDANCE WITH AS1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION CODE. ALL TIE DOWNS TO BE DESIGNED FOR ULTIMATE LIMIT STATE GUST WIND SPEED OF 4.0 m/s (CATEGORY N2 AS DETERMINED FROM AS4055 - WIND LOADS FOR HOUSING).

STEELWORK

- ENSURE MATERIALS, FABRICATION AND ERECTION ARE IN ACCORDANCE WITH AS4100, THE SAA STANDARDS CITED IN AS4100 AND THE SPECIFICATION.
- SUBMIT THREE COPIES OF ALL WORKSHOP DRAWINGS TO THE ARCHITECT AND THE ENGINEER TO OBTAIN THEIR WRITTEN APPROVAL PRIOR TO FABRICATION.
- PROVIDE ALL WELDS AS 6mm CONTINUOUS FILLET FROM E41XX ELECTRODES, ALL BOLTS AS M20 4.6/S AND ALL CLEATS AND GUSSETS AS 10MM PLATE U.O.N.
- FOR BOLTS, THE FOLLOWING NOTATION IS USED:
 - 4-M16 4.6/S DENOTES 4 x M16 COMMERCIAL GRADE BOLTS SNUG TIGHT.
 - 6-M20 8.8/TF DENOTES 6 x M20 HIGH STRENGTH STRUCTURAL BOLTS FULLY TENSIONED IN A NO SLIP JOINT.
 - 8-M24 8.8/TB DENOTES 8 x M24 HIGH STRENGTH STRUCTURAL BOLTS FULLY TENSIONED IN A BEARING JOINT.
- LEAVE MATING SURFACES OF TF CONNECTIONS UNPAINTED AND FREE OF MILL SCALE AND RUST.
- TIGHTEN BOLTS IN TF AND TB CONNECTIONS USING THE PART TURN METHOD OR LOAD INDICATING WASHERS. DO NOT USE CALIBRATED TORQUE WRENCHES. USE A HARDENED WASHER UNDER THE BOLT HEAD OR NUT, WHICHEVER IS ROTATED. THE RE-USE OF FULLY TENSIONED BOLTS IS PROHIBITED.
- PROVIDE ALL CLEATS AND DRILL ALL HOLES NECESSARY FOR FIXING STEEL TO STEEL OR TIMBER.
- FABRICATE STEEL BEAMS AND TRUSSES SPANNING GREATER THAN 5m WITH AN UPWARD PRE CAMBER OF 1/500 SPAN U.O.N.
- PREPARE STRUCTURAL STEELWORK TO CLASS 2 AND PAINT WITH ZINC PHOSPHATE PRIMER TO A THICKNESS OF 70 MICROMETRES U.O.N.
- HOT DIP GALVANISE ALL EXPOSED EXTERNAL STEELWORK AND ALL STEELWORK BUILT INTO AN EXTERNAL MASONRY SKIN, IN ACCORDANCE WITH GRADE HDG600 TO AS/NZS2312. WITHIN 100m FROM THE NON-SURF COAST OR 1KM FROM THE SURF COAST, HOT DIP GALVANISE ABOVE IN ACCORDANCE WITH GRADE HDG900 TO AS/NZS2312.
- PROVIDE FIRE PROTECTION TO ALL STEELWORK AS REQUIRED.
- ENSURE ALL COLD FORMED SECTIONS CONFORM TO AS1538 AND ARE ROLL-FORMED FROM STEEL STRIP, MINIMUM YIELD STRESS 450 MPA, 300G/M MINIMUM ZINC COATING MASS U.O.N.

ALL CHEMICAL ANCHORS FOR THREADED FIXINGS OR REINFORCEMENT, SHALL BE HILTI HIT-RE 500 ADHESIVE ANCHOR SYSTEM OR APPROVED EQUIVALENT INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

ALL THREADED CHEMICAL ANCHORS SHALL BE HOT DIP GALVANISED UNLESS NOTED OTHERWISE.
M12 MIN. 100 EMBEDMENT, MIN. 60 EDGE DISTANCE, MIN. 70 SPACING
M16 MIN. 125 EMBEDMENT, MIN. 70 EDGE DISTANCE, MIN. 100 SPACING

SPECIFICATION FOR PAINT SYSTEMS

(ALTERNATIVE TO HOT-DIP GALVANISING)

PROVIDE ALL EXTERNAL STEELWORK WITH THE FOLLOWING CORROSION PROTECTION SYSTEM AS MANUFACTURED BY INTERNATIONAL PROTECTIVE COATINGS:

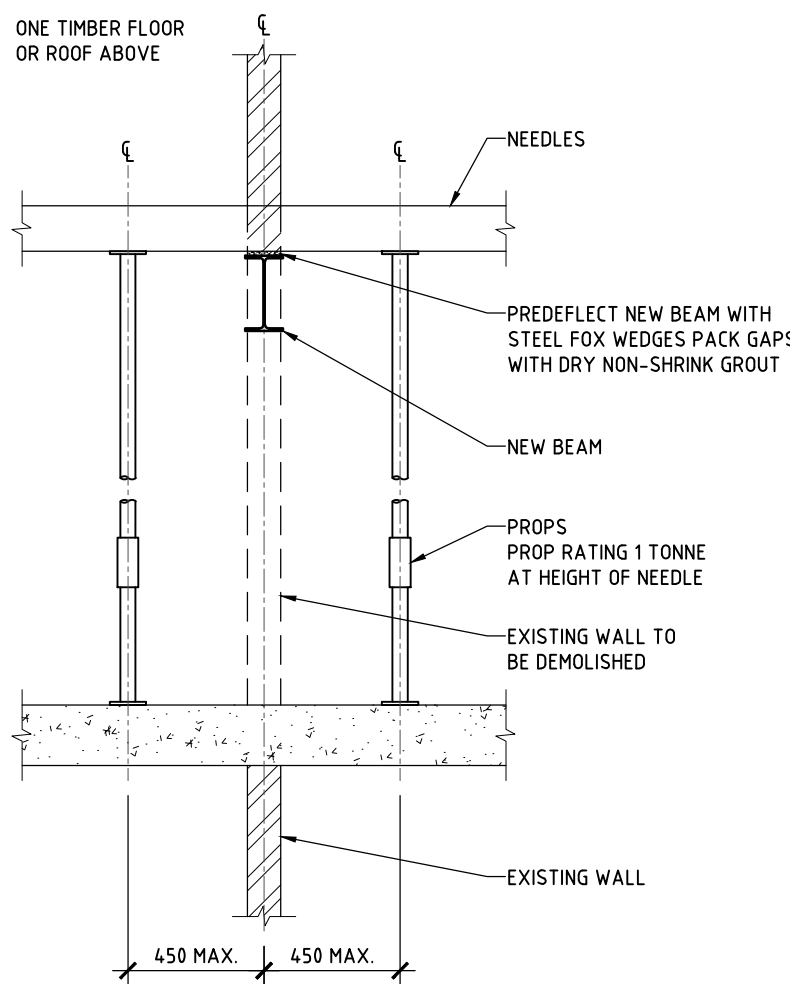
PREPARATION: ABRASIVE BLAST CLEAN TO CLASS 2 ½
PRIMER: INTERZINC 52 AT 75 MICRONS DRY FILM THICKNESS (DFT.)
INTERMEDIATE COAT: INTERCURE 420 AT 125 MICRONS (DFT.)
FINAL COAT: INTERFINE 629 AT 75 MICRONS (DFT.)
OR APPROVED EQUIVALENT SYSTEM.
PROVIDE WRITTEN CERTIFICATION ISSUED BY THE STEELWORK FABRICATOR CONFIRMING THE THICKNESS OF THE APPLIED PAINT SYSTEM WAS MEASURED ON SITE AND COMPLIES WITH THE ABOVE SPECIFICATION.

NEEDLING

SUGGESTED WALL NEEDLING PROCEDURE IN CONJUNCTION WITH ENGINEER'S DRAWINGS, PROCEED WITH THE FOLLOWING:

- NEEDLE THROUGH WALL DIRECTLY ABOVE POSITION OF NEW STEEL BEAMS AT 900 MAX. CENTRES WITH 125 PFC OR 100 x 6 SHS OR EQUAL NEEDLES SPANNING 900 MAX ONTO PROP AT EACH END.
- PROPS SHALL BE SUPPORTED DIRECTLY ON THE EXISTING CONCRETE FLOOR SLAB. SCREW UP PROPS TO SUPPORT FULL LOAD OF BRICKWORK ABOVE NEEDLES.
- BREAK OUT OPENING.
- INSERT BEAM WITH SEATING ON GROUT BED AS PER DETAILS. ALLOW 24 HOURS FOR GROUT TO CURE. PREDEFLECT BEAM BY DRIVING 120 STEEL FOX WEDGES BETWEEN UNDERSIDE OF BRICKWORK & TOP OF BEAM TO TRANSFER LOAD TO NEW BEAM.
- RAM PACK BETWEEN NEW STEEL BEAM & UNDERSIDE OF EXISTING BRICKWORK WITH DRY NON-SHRINK GROUT.
- A MINIMUM OF 48 HOURS AFTER GROUTING, REMOVE PROPS & NEEDLES AND MAKE GOOD.

NOTE: THE ABOVE SUGGESTED PROCEDURE IN NO WAY RELIEVES THE BUILDER OF THE USUAL CONSTRUCTION RESPONSIBILITIES.



DRAWING SCHEDULE

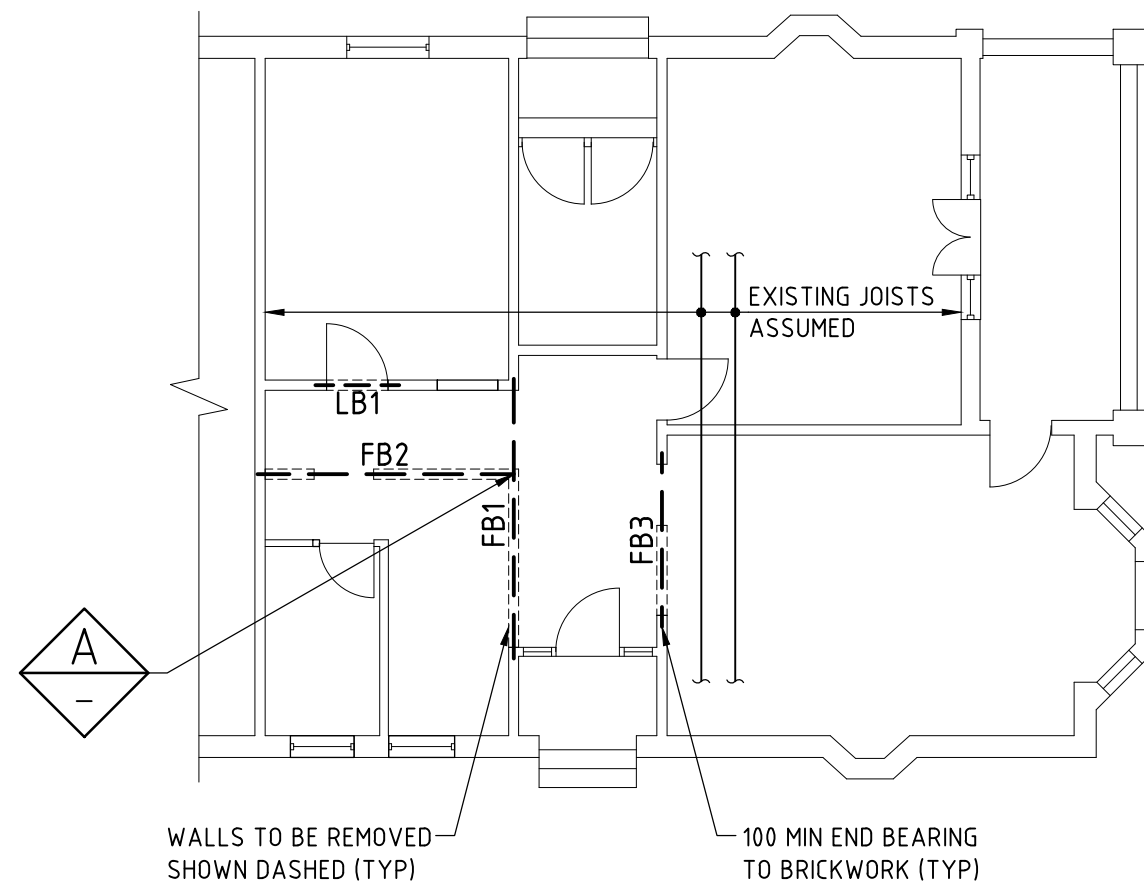
SHEET NUMBER
STRUCT-1

TITLE
FRAMING DETAILS

ABBREVIATIONS

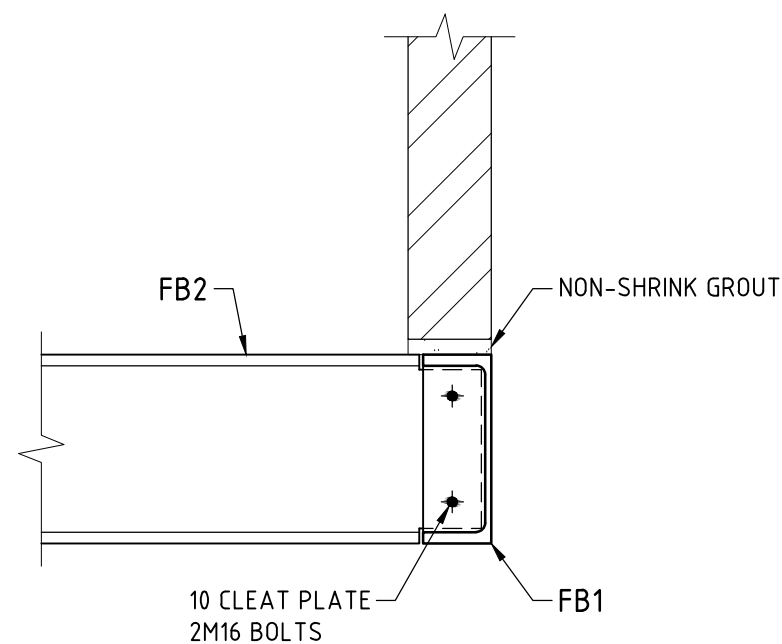
U.O.N.	UNLESS OTHERWISE NOTED
L 1st	LAY FIRST
L 2nd	LAY SECOND
L 3rd	LAY THIRD Etc.
LL	LAY LAST
CP	CENTRALLY PLACED
TYP.	TYPICAL

TITLE STRUCTURAL DETAILS – ALTERATIONS & ADDITIONS UNIT 1, 18 QUINTON ROAD, MANLY		 TAYLOR CONSULTING CIVIL & STRUCTURAL ENGINEERS
DRAWN MDB	DATE 17 APRIL 2024	
ENGINEER BTT	CHECKED BE Civil (Hons) MIE Aust.	



GROUND FLOOR PLAN

SCALE 1:100



DETAIL

SCALE 1:10

MEMBER SCHEDULE

FLOOR BEAMS

FB1, FB2.....250 PFC.

FB3.....180 PFC.

LINTEL BEAMS

LB1.....100 GALINTEL FLAT BAR.

NOTES:

1. DESIGN WIND CLASSIFICATION = N2
2. ALL EXPOSED STEEL MEMBERS, FITTINGS AND FASTENERS TO BE HOT-DIP GALVANISED.
3. ALL STEEL BEAMS IN CONTACT WITH EXTERNAL BRICKWORK TO BE SEPARATED FROM BRICKWORK WITH ALCORE OR BEAMS TO BE HOT-DIP GALVANISED. SIMILARLY TIMBER BEAMS IN CONTACT WITH EXTERNAL BRICKWORK TO BE SEPARATED WITH ALCORE OR BEAMS TO BE PRESERVATIVE TREATED.
4. ALL EXPOSED TIMBER MEMBERS TO BE PRESERVATIVE TREATED TO H3 LEVEL OR HARDWOOD, DURABILITY GRADE 2 OR BETTER.
5. PROVIDE 100 END BEARING TO ALL BEAMS SUPPORTED ON BRICKWORK UNLESS OTHERWISE NOTED.
6. PROVIDE 3/90 x 45 F7 POST UNDER ALL BEAMS U.O.N.
7. PROVIDE WALL BRACING, ROOF BRACING AND TIE-DOWN IN ACCORDANCE WITH AS1684.2-2010 RESIDENTIAL TIMBER FRAME CONSTRUCTION.

TITLE

STRUCTURAL DETAILS – ALTERATIONS & ADDITIONS UNIT 1, 18 QUINTON ROAD, MANLY

DRAWN

MDB

DATE

17 APRIL 2024

CHECKED

[Signature]

SCALE @ A3

1:100
1:10

ENGINEER

BTT

BE Civil (Hons) MIE Aust.

TAYLOR
CONSULTING
CIVIL & STRUCTURAL ENGINEERS

DRAWING NO
STRUCT-1

ATTACHMENT 2 – HERITAGE ITEM REPORT

Item Details

Name

Group of Houses

SHR/LEP/S170

LEP #I215

Address

1-23, 25 and 27 Quinton Road and 1, 3, 5 and 7 Augusta Road MANLY
NSW 2095

Local Govt Area

Northern Beaches

Local Aboriginal Land Council

Unknown

Item Type

Built

Group/Collection

Urban Area

Category

Streetscape

All Addresses

Addresses

Records Retrieved: 1

Street No	Street Name	Suburb/Town/Postcode	Local Govt. Area	LALC	Parish	County	Electorate	Address Type
	1-23, 25 and 27 Quinton Road and 1, 3, 5 and 7 Augusta Road	MANLY/NSW/2095	Northern Beaches	Unknown			Unknown	Primary Address

Significance

Statement Of Significance

The group of houses at 1-23, 25 and 27 Quinton Road are a remarkably intact example of early Twentieth Century development, typical of the Manly area at that time. The street presents a cohesive representation of the changes occurring to the Manly community in the early 1900s, with regard to population increase and changes to typical dwelling types. The group’s associations with various local identities over time further solidify this historical significance to Manly.

The street’s picturesque location and high architectural quality contribute to the group’s aesthetic significance, as do the extant details such as fences, rooflines, materials, landscaping and setbacks.

The information in this inventory entry may not be complete.
For further information, please contact Manly Council’s Heritage Advisor.

Criteria a)

Historical Significance

The group of houses in lower Quinton Road are significant as an intact example of an early Twentieth Century residential street in the Manly area. Many original features remain extant, including the street alignment and the majority of the original subdivision pattern, and remarkably the building stock have changed little since their construction.

The group is an excellent example of development types reflecting the changing demographics of the area during the first few decades of the 1900s. The change from predominantly villa style buildings to residential flat buildings and conversions, which occurred throughout Manly, is clearly presented and the streetscape provides a cohesive snapshot of the changes occurring in the area at that time.

Criteria b)

Historical Association

Significance

The group of houses have local significance for their associations with various identities of local and broader importance, such as the philosopher Arthur Passmore, and a former New South Wales Government Minister for Education and Youth Affairs, who resided in the street at various times.

Criteria c)

Aesthetic/Technical Significance

The group of houses on lower Quinton Road have local significance for intact representation of the architectural styles favoured at the time of their construction. Whilst somewhat eclectic in style and materials, the group of houses clearly illustrate an important period of development and the consequential change in the style of residential buildings, from single villas to residential flat buildings common throughout Manly at that time.

The streetscape has changed little since the early 1900s, and whilst some conversion to flats, and later renovations have occurred, with the exception number 20a, all of the original buildings remain extant. Given the prominence of the street’s location on the rise of Western Hill, the intact rooflines and upper storeys of the streetscape remain visible from the Manly town centre area, and are a reminder of the area’s early beginnings.

The dramatic presentation to the street made by the properties on the western side of the street, through the use of sandstone retaining walls and stairways further contribute to the group’s unique and intact quality.

Criteria f)

Rarity

The intact quality of the group of houses on lower Quinton Road means that it is now a rare example of a streetscape which was once common in Manly.

Criteria g)

Representative

The group of houses on lower Quinton Road have representative significance as an intact example of the types of developments which were occurring throughout the Manly area in the early Twentieth Century.

Integrity/Intactness

Good. One sympathetic infill development

Owners

Records Retrieved: 0		
Organisation	Stakeholder Category	Date Ownership Updated
No Results Found		

Description

Designer **Builder/Maker**

Physical DescriptionUpdated

The group of houses on lower Quinton Road and 1, 3, 5 and 7 Augusta Road is a substantially intact example of villa residences, as well as post World War 1 residential flat buildings, typical of early Twentieth Century development in the Manly district.

The architectural style exhibited is predominantly Federation, including both Queen Anne and Arts and Crafts style elements, reflecting the first period of development in the street. Features include asymmetrical designs, face brickwork, use of ornamental timberwork on verandah and “flying” gables, tall chimneys with terracotta pots, the use of slate or Marseille terracotta tile roofing, bay windows and wall hung shingles.

Some of the buildings at the southern end of the street illustrate the later Interwar phase of development, with the residential flat buildings presenting more austere, Art Deco type of design details, such as darker brick, vertical detailing and symmetrical design.

Due to the topography of the street, the houses on the western side of the road exhibit some interesting features, such as the substantial sandstone retaining walls, as well as symmetrical access stairways and picket fences at numbers 15-17, 19-21 and 23-25.

It is noted that number 20a, whilst being a recent addition to the street, is a good example of infill development and does not detract from the significance of the street.

Numbers 1, 3, 5 and 7 Augusta Road are quite separate from the lower Quinton Road part of the group. They are oriented north-south, fronting Augusta Road, and present a style and character typical of the time they were constructed. Number 5 has been substantially modified in recent years, and any heritage significance associated with the building has been greatly compromised.

Essentially, the streetscape remains little changed, with original setbacks, rooflines, architectural detailing and landscaping aspects such as fences still intact.

Physical ConditionUpdated

Modifications And Dates

Further Comments

Current Use

Generally residential

Former Use

Listings

Listings

Heritage Listing	Listing Title	Listing Number	Records Retrieved: 1		
			Gazette Date	Gazette Number	Gazette Page
Local Environmental Plan	Manly Local Environmental Plan 2013	I215	4/5/2013 12:00:00 AM		

Procedures/Exemptions

Section of Act	Description	Title	Comments	Action Date	Outcome
No Results Found					

History

Historical Notes or Provenance

Updated

The land on which lower Quinton Road (between Raglan Street and Augusta Road) lies was originally granted to John Thompson in 1842, and purchased by Henry Gilbert Smith in 1853. After a number of revised plans for the subdivision of the area, plans for the “Brighton Estate” subdivision were prepared c1880, which was the first mention of “Quinton Road”, along with Ocean, Birkley, Parkview and Augusta Road. It is thought that Quinton Road was named after the village of Quinton in Northamptonshire, England, which was the home of H.G. Smith’s father and where he was raised.

The earliest development in the vicinity of lower Quinton Road was the Manly Cottage Hospital on the western corner of Raglan Street and Quinton Road. The foundation stone for the building was laid in 1896, after much fundraising by the local community, and opened in December of that year. The hospital is depicted in the 1889 Metropolitan Water and Sewage Board map of the area, including the Isolation ward, which was located in the vicinity of where numbers 5 or 7 Quinton Road are today.

Whilst the plan for “Brighton Estate” was registered in 1889, it wasn’t until 1905 that the Sands Directory showed a residence in what was to become lower Quinton Road. This first residence was “Cairneyhill”, built by Arthur and Mary MacCubbin, which still stands, albeit in a modified form, at 23 Quinton Road. This building was the residence of the MacCubbin family on and off over the early Twentieth Century, and was even used as a private hospital between approximately 1914/15, through to 1918, coinciding with the end of World War 1.

The MacCubbins remained the only residents of Quinton Road until 1906, when another three residents were listed. These included C.O. Neilsson, who built what is now 20 Quinton Road, known as “Waratah”, “Inglebrae” and finally “Bona Vista”. The two semi detached residences at 12 and 14, known as “Elderslie” and “Burra Bra” also appear on the Sands Directory in that year. It was around this time that numbers 6 (“Nirvana”) and 8 (“Quadrang”) were also built, which are noted as being the only timber weatherboard buildings on lower Quinton Road.

1909 saw the introduction of house numbering in Manly generally, and it had started to be used in Quinton Road, albeit slightly different to the numbering that exists today. By that time a few more residences had been constructed in the street, including what is now known as 9 Quinton Road, previously called “Te Hama” (now known as “Roscommon”), as well as 25 and 27 Quinton Road, a pair of semi-detached residences at the corner of Quinton and Augusta Roads, originally known as “Arthurville” and “Maryville”. “Arthurville” and “Maryville” were built as investment properties by Arthur and Mary MacCubbin, on land which was subdivided from the original “Cairneyhill” allotment. Built on the eastern side of the road at that time was number 22, known as “Inverness”, a single storey residence, now stuccoed.

Sometime during 1911, Arthur Atkinson, the owner of “Te Hama”, built number 11 Quinton Road, which was known as “Whareona”. This residence was partially demolished c. 1916, and the residential flat building currently occupying the site was built, utilising some of the original stone work from “Whareona”. This remained in the ownership of the Atkinsons until the 1940s, even after they sold “Te Hama” and moved to Lindfield. Another addition to the western side of lower Quinton Road, c. 1911, was number 13, known as “Tregaron” (and at one stage “Urala”), one of the most elegant buildings in the street.

An early occupant (and possible builder) of “Elderslie” (12 Quinton Road), William Hill, became the first resident of number 10 Quinton Road, “Dodawah”, a two storey Federation style residence built in 1912. This building was apparently utilised as a nursing home during the 1920s-30s, and in the years following World War 2, it operated as a boarding house. During the 1990s, it was also the residence of a former Minister for Education and Youth Affairs for the New South Wales state government.

By 1913, numbers 15-17 and 19-21 Quinton Road, known as “Tanto” and “Narara”, and “Meglo” and “Yowrie” respectively, had been built by the same builder. They were designed with each terrace having two flats, one upstairs and one downstairs, and they essentially remain in the same configuration today. These are possibly the earliest examples of purpose built flat type developments on lower Quinton Road.

By 1920s, however, it became more common for the larger houses on lower Quinton Road, and indeed throughout the Manly area, to be converted into flats and boarding houses, with many of the occupants being widows and unmarried women. The change in residential pattern may be the result of post war population growth, and as well as a possible association with the advent of the motor bus service to Manly, which started around that time.

In 1920, Cairneyhill was converted to a boarding house, with various residents moving in and out over the next few decades, and was partially demolished and reconfigured in 1924, and were then called the “Cairney Hill Flats”. The McCubbins remained as occupants well into the 1930s, as did some other local identities, such as Arthur Passmore, who was the father of renowned philosopher, John Arthur

Passmore. In 1926, following World War 2, “Tregaron” also was being operated as a boarding house.

This pattern of increasing density is also reflected in the construction of purpose built flat buildings, such as “Westbury Flats”, built at number 18 in c.1921, as well as the redevelopment of the Cottage Hospital site, at the Raglan Street end of lower Quinton Road, when the hospital closed in 1931. Also build c.1920s were “Ailsa Craig” (2 Quinton Road) and “Quinton Court” (4 Quinton Road).

Indeed, the redevelopment of the cottage hospital site represents the final phase of construction of lower Quinton Road. Following the sale of the 6 lots in 1935, the hospital buildings were demolished, and the residential flat buildings “Belvedere” (corner Raglan Street and Quinton Road) (included in Item I219 – Group Houses – Raglan Street), “Awatea” (1 Quinton Road) were constructed between 1936 and 1937, and “Dalsie Brae” (5 Quinton Road), and “The Braes” (7 Quinton Road) had also been completed prior to the 1940 Council survey for the re-numbering of the street. Number 3 Quinton Road, was built in the 1960s on the former tennis court of “Awatea”.

Numbers 1-7 Augusta Road are also included in this listing, and were all built by 1912. Numbers 1 and 3, “Westrella” and “Williwa” (or possibly “Ocean View”), semi-detached residences were built prior to 1908 (possibly c.1905), when it was advertised for sale by Mr Neilson, the builder of 20 Quinton Road. Little is known about number 5 (“Fernlea” or perhaps “Baildon”) and number 7 (“Maffra”), though they are thought to have been constructed prior to 1912.

Historic Themes

Records Retrieved: 4

National Theme	State Theme	Local Theme
4. Settlement	Towns, suburbs and villages	Unknown
4. Settlement	Accommodation	Unknown
4. Settlement	Welfare	Unknown
4. Settlement	Agriculture	Unknown

Recommended Management

Management Summary

The overall form of the buildings are to be retained and conserved. Surfaces intended for painting should continue to be painted in the appropriate and uniformed colour scheme. All significant intact fabric should be retained and conserved including joinery and fittings. Any further development should preserve the existing form, external surfaces and materials of the building. A Heritage Assessment and Heritage Impact Statement, or a Conservation Management Plan, should be prepared for the buildings prior to any major works being undertaken. There shall be no alterations to the façade of the buildings other than to reinstate original features. The principal room layout and planning configuration as well as significant internal original features including ceilings, cornices, joinery, flooring and fireplaces should be retained and conserved. Any additions and alterations should be confined to the rear in areas of less significance, should not be visibly prominent and shall be in accordance with the relevant planning controls.

Management

Records Retrieved: 0

Management Category	Management Name	Date Updated
No Results Found		

Report/Study

Heritage Studies

Records Retrieved: 1

Report/Study Name	Report/Study Code	Report/Study Type	Report/Study Year	Organisation	Author
Manly Heritage Study			1986		Blackmore, Ashton, and Co.

Reference & Internet Links

References

Records Retrieved: 11

Type	Author	Year	Title	Link
Written	Terry Metherell	2009	10 Quinton Road, Manly (c.1910?)	
Written	Terry Metherell	2009	8 Quinton Road, Manly (c.1911?)	
Written	Terry Metherell	2009	Quinton Road, Manly c1885-2008	
Written	Manly Library Local Studies		Quinton Road, No. 13, Uralla (Information Sheet)	
Written	Manly Library Local Studies		Quinton Road, No. 11 (Information Sheet)	
Written	Manly Library Local Studies		Quinton Road, No. 6 (Information Sheet)	
Written	Manly Library Local Studies		Quinton Road, No. 25-27 (Information Sheet)	
Written	Manly Library Local Studies		Quinton Road, No. 23, "Cairney Hill Flats" (Information Sheet)	
Written	Manly Library Local Studies		No. 22 (Information Sheet)	
Written	Manly Library Local Studies		Quinton Road, No. 20 (Information Sheet)	
Written	Manly Library Local Studies		Quinton Road, No. 19-21 (Information Sheet)	

Data Source

The information for this entry comes from the following source:

Data Source	Record Owner	Heritage Item ID
Local Government	Northern Beaches Council	2020514

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ATTACHMENT 3 – REQUEST FOR HERITAGE EXEMPTION LETTER

Kelly Pearson Design

ABN 34 836 972 794

March 10, 2023

Attn: Heritage Officer Northern Beaches Council

**RE: Unit 1 / 18 Quinton Rd Manly, proposed Internal Alterations:
Consideration for Exempt Development, Clause 5.10 Manly Local Environment Plan**

Dear Sir / Madam

Please find attached architectural drawings (Kelly Pearson Design)

- EX01 Existing Layout Plan
- A01 Proposed Layout Plan

& Engineering Documents (Taylor Consulting)

- Cover sheet notes for Wall removal
- Structural Design Details
- Engineering Certificate for Body Corporate

My clients Cecile Garderes & David Mc Ewing owners and occupiers of ground floor unit 1/18 Quinton Rd, Manly, would like their proposed internal alterations considered for Exempt Development with reference to Part 5.10 Heritage Conservation section 3 a). i & ii of the Manly Local Environment Plan.

18 Quinton Rd Manly is a Class 2, 4 unit, 2 storey Manor House type building (2 up, 2 down) and is listed on the Local Environmental Plan. The existing building has previous unsympathetic alterations and additions to this and the other units. The street facing heritage facade is intact and preserved

The proposed internal alterations to remove 2 original internal walls, increase an existing wall opening and relocate a door opening are of minor nature and will not adversely affect the building. The alteration would allow my clients and their son to utilise wasted corridor and Entry space to increase their Kitchen and Living Area.

My clients are respectful of the architectural fabric of the building and the proposed alterations would be made good to match the original architectural style.
None of the heritage facade of the building would be altered / affected.

The Body Corporate Manager of 18 Quinton Rd has advised no fire safety measures are currently implemented, proposed or required for the building

Yours Sincerely



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