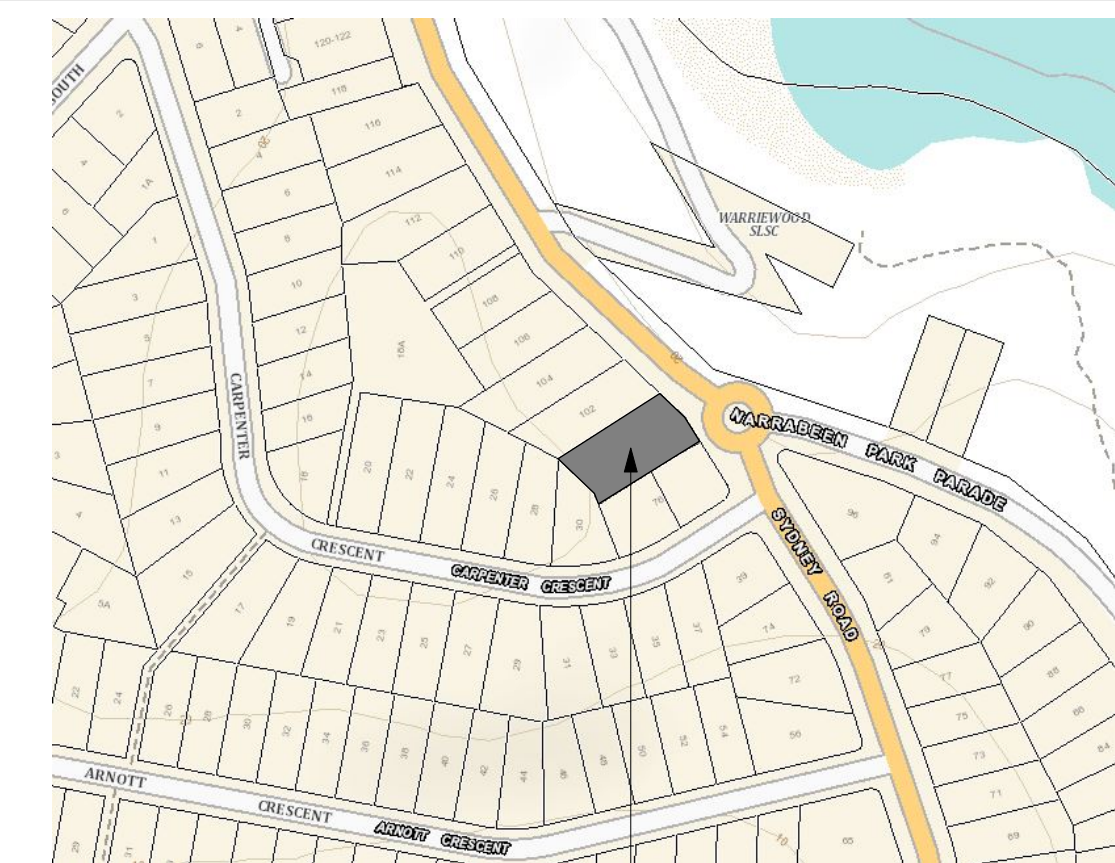
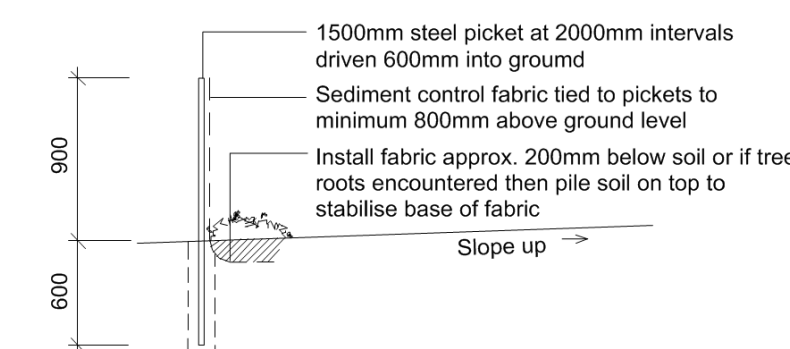
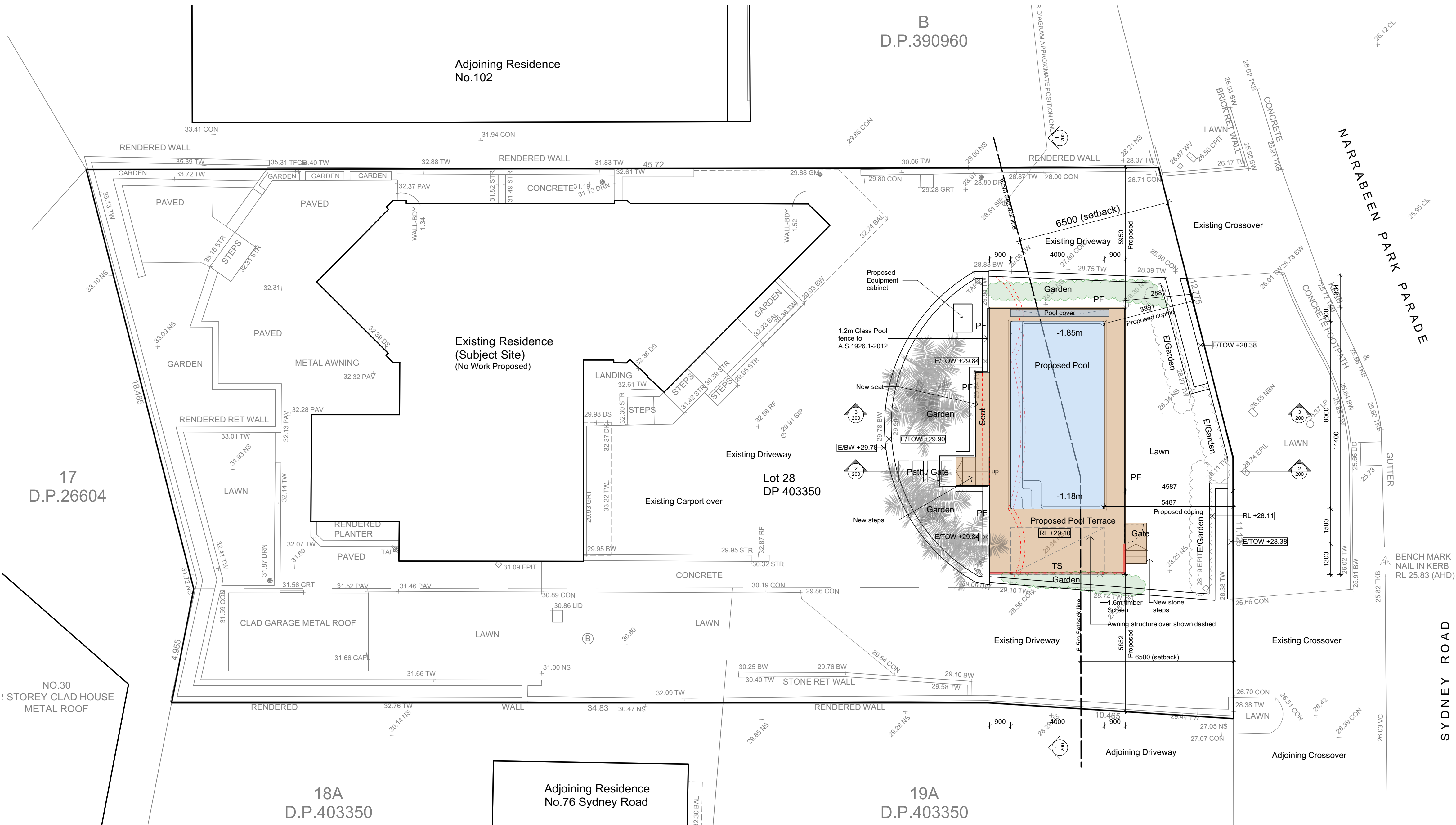


PROPOSED
DEVELOPMENT

Revisi
B



1 Proposed Pool Plan
1:100

NOTES

All work to conform to current Building Code of Australia and NSW supplement and all current relevant AS codes.
All dimensions are in millimetres and figured dimensions take precedence over scaling.
Builder to verify all dimensions on site and seek instructions prior to proceeding if any discrepancies are found.
Footings and slabs to comply with current AS 2870 and in accordance with accompanying structural engineering drawings.
Light and ventilation to comply with part F4 of the Building Code of Australia.

All wall framing to comply with current AS 1684 light timber framing code and relevant supplements.
All downpipes and stormwater collection points to be connected to existing stormwater lines.
Provide insulation to all ceiling spaces and wall cavities in external walls to BASIX requirements.
Smoke alarms to be installed in accordance with Australian building code and local fire regulations.
All drawings to be read in conjunction with structural engineer's details.

Legend

BWK	Brickwork	Exist. Level
CP	Concrete Paver	New Site Level
CR	Cement Render	
CS	Concrete slab	Finished Floor Level
CT	Ceramic Tile	
E/	Existing	
FFL	Finished Floor Level	
MR	Metal Roof Sheetting	
P	Paint Finish	
PCR	Polycarbonate Roof Sheetting	
PF	Pool Fence	
SP	Stone Paving	
SSL	Structural Slab Level	
ST	Stone	
STP	Stone Paving	
T	Timber	
TP	Timber Post	
TS	Timber Screen	
W	Window	

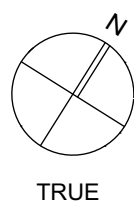
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---	Existing Wall To Remain
---	Proposed New or Altered Works

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Scale 1:100	REV	DATE	DESCRIPTION
1 2 3 4 5 6 7	A	16.9.21	DA Issue
Scale 1:200			
2 4 6 8 10 12 14			
Scale 1:500			
10 20 30			

PROPOSED POOL

FOR
Mr J. Hare
AT
100 NARRABEEN PARK PARADE, WARRIEWOOD, NSW 2102
LOT 28, DP 403350



KvB Drafting Services

ken.brandwijk@gmail.com
M: 0425 284 927

Drawing Title
Proposed Pool Plan

Scale at A1

1:100

Project No.
2109

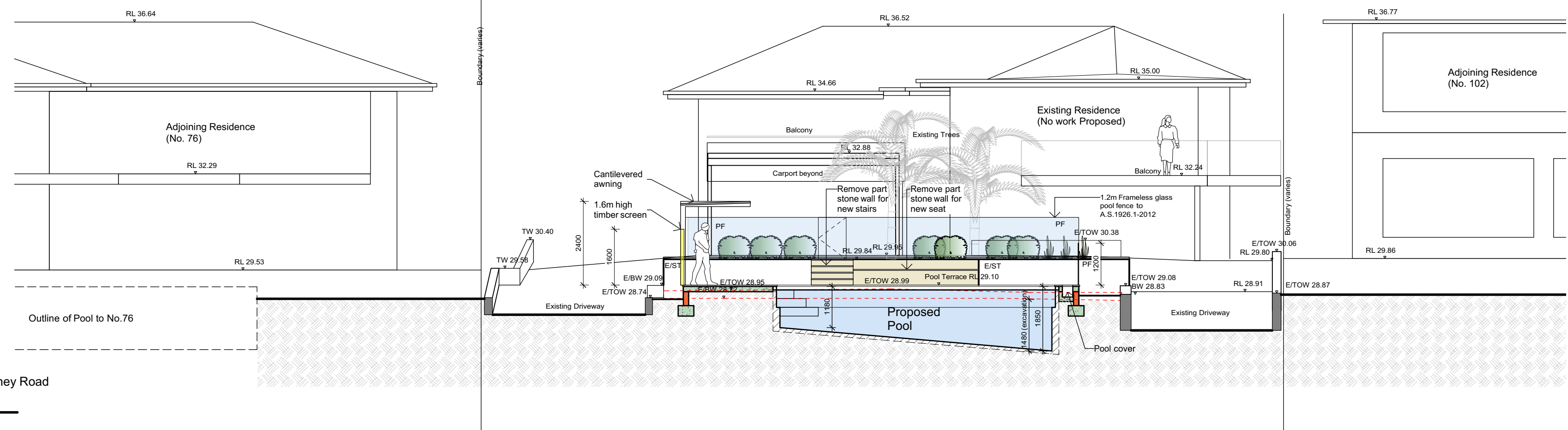
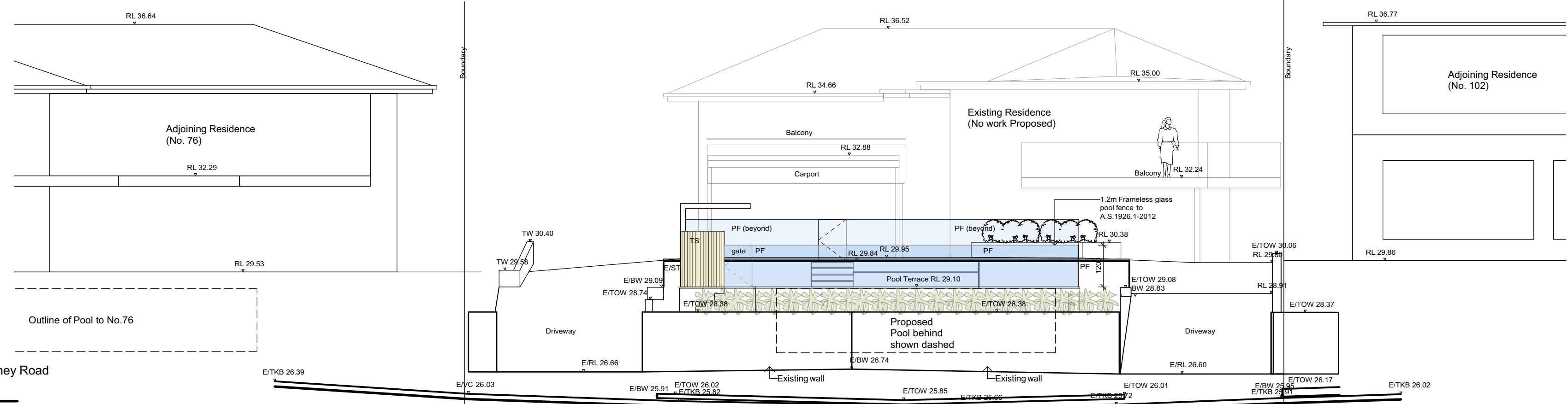
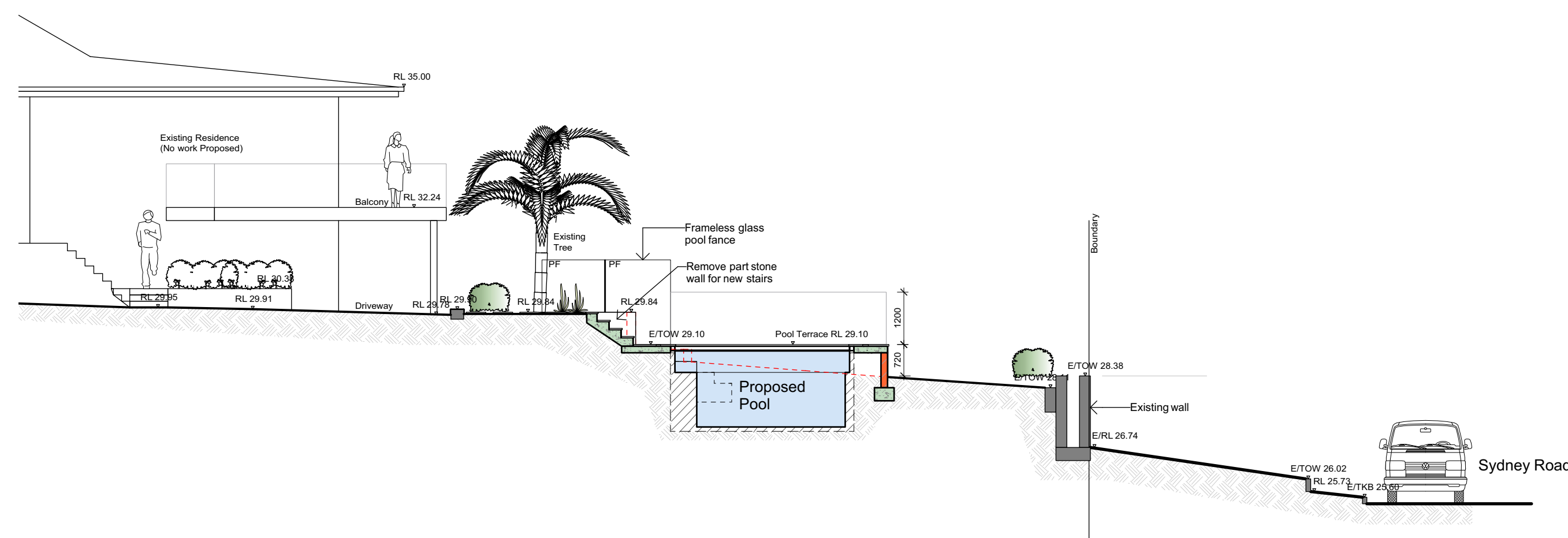
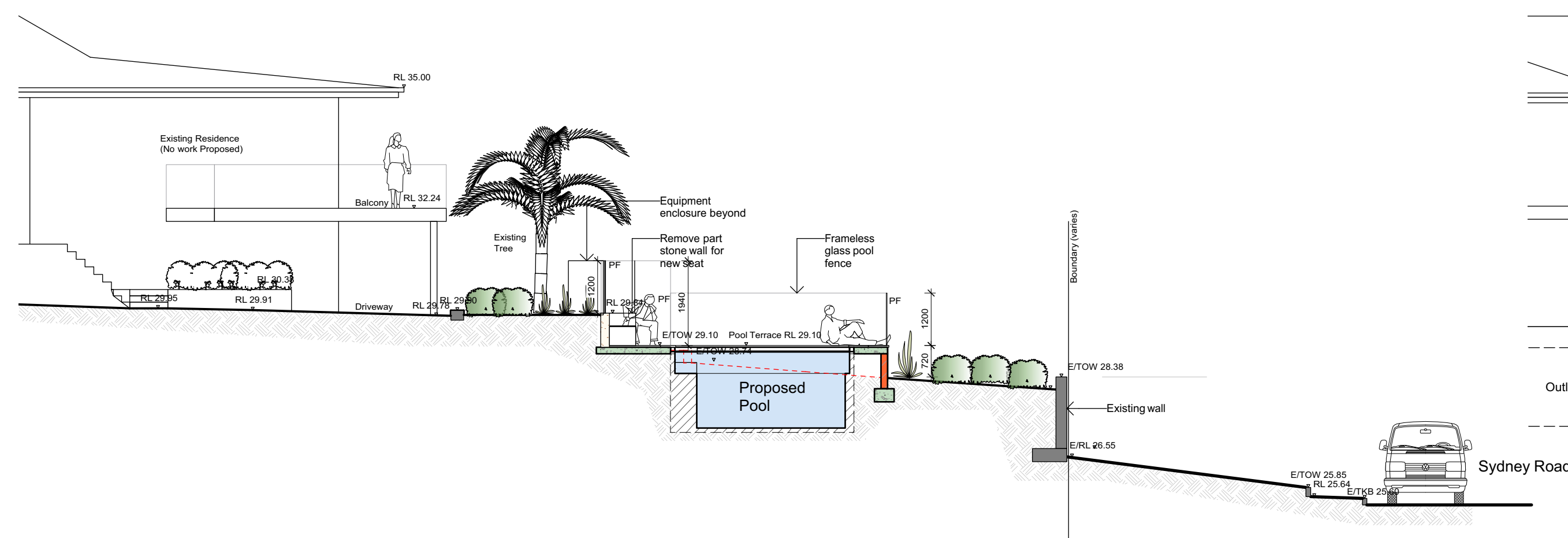
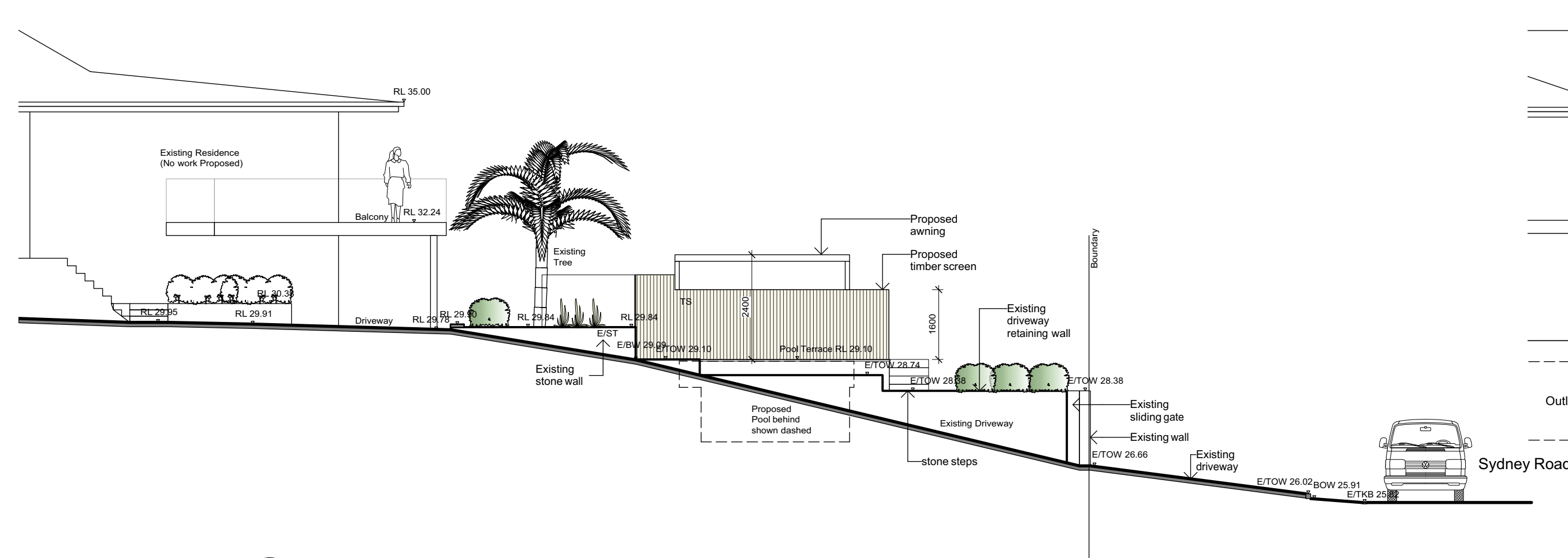
Drawing No.
DA100

Date
26/7/2021

Plot Date
16/9/2021

Drawn
KvB

Revision
A



NOTES

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Legend

BWVK	Brickwork		Exist. Level
CR	Concrete Paver	RL +37.40	New Site Level
CR	Cement Render		
CS	Concrete Slab	FFL +37.40	Finished Floor Level
CT	Ceramic Tile		
E/	Existing		Structure or Wall To Be Demolished
FFL	Finished Floor Level		
MR	Metal Roof Sheetting		Existing Wall To Remain
P	Paint Finish		
PCR	Polycarbonate Roof Sheetting		Proposed New or Altered Works
PF	Pool Fence		
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STP	Stone Paving		
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TP	Timber Post		
TS	Timber Screen		
W	Window		

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	Scale 1:400							B	23.9.21	DA Re-Issue

PROPOSED POOL

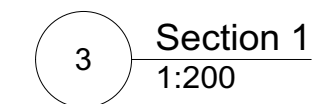
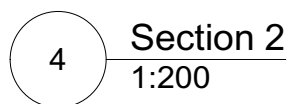
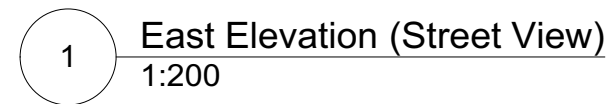
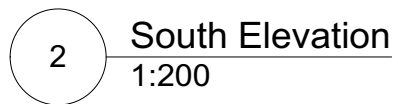
FOR
Mr J. Hare
AT
100 NARRABEEN PARK PARADE, WARRIEWOOD, NSW 2102
LOT 28, DP 403350

KvB Drafting Services

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M: 0425 284 927

Drawing Title	Elevations and Sections
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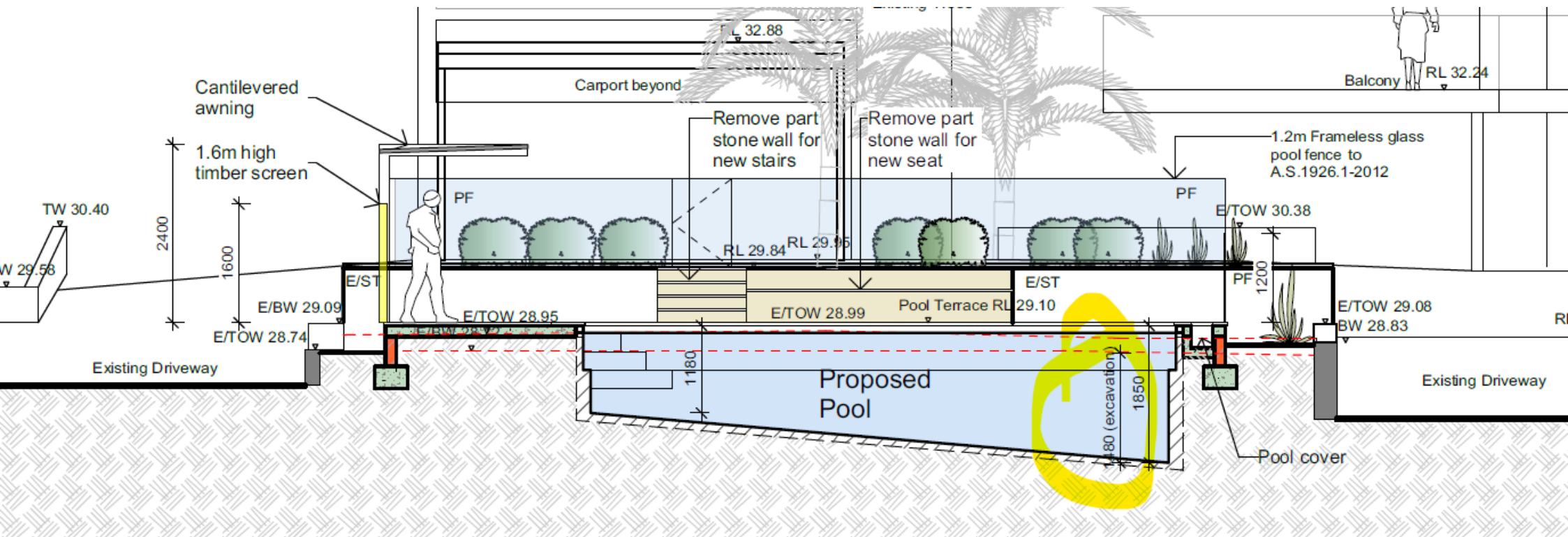
Scale at A1 1:100	Date 26/7/2021
Project No. 2109	Plot Date 23/9/2021
Drawing No. DA200	Drawn KvB
	Revision B



by

Alterations & Additions to Existing Residence

100 Narrabeen Park Parade, Warriewood, NSW 2102 (Lot 28 D.P. 403350)



3 Section 1
1:100