

## **NOTES**

All work to conform to current Building Code of Australia and NSW supplement and all current relevant AS codes. All dimensions are in milimetres and figured dimensions take precedence over scaling.

Builder to verify all dimensions on site and seek instructions prior to proceeding if any discrepancies are found. Footings and slabs to comply with current AS 2870 and in accordance with accompanying structural engineering drawings. Light and ventilation to comply with part F4

of the Building Code of Australia.

All wall framing to comply with current AS 1684 light timber framing code and relevant All downpipes and stormwater collection

points to be connected to existing Provide insulation to all ceiling spaces and wall cavities in external walls to BASIX requirements. Smoke alarms to be installed in accordance with Australian building code and local fire

All drawings to be read in conjunction with structural engineer's details.

Exist. Level RL +37.40 -New Site Level Finished Floor Level FFL +37.40 -Structure or Wall To Be Demolished Existing Wall To Remain Proposed New Masonry Walls 110mm Proposed New or Altered Works Sediment Control Fence

## Legend

FFL Finished Floor Level

MR Metal Roof Sheeting P Paint Finish PCR Polycarbonate Roof Sheeting

PF Pool Fence

SP Stone Paving SSL Structural Slab Level

ST Stone STP Stone Paving

TP Timber Post TS Timber Screen

Sediment control fence

1500mm steel picket at 2000mm intervals

Sediment control fabric tied to pickets to

roots encountered then pile soil on top to

Install fabric approx. 200mm below soil or if tree

minimum 800mm above ground level

driven 600mm into groumd

stabilise base of fabric

03 Sediment & Erosion Control

**Pool Notes:** 1. Pool Volume - 38,277 Ltrs

2. Internal dimensions - 8.0 x 4.0m
3. Proposed excavation 1.48m
4. Equipment to be located in acoustic cabinet in existing garden adjacent

SITE ANALYSIS	S CALCS.
SITE AREA	=1037m2
PERMISSIBLE LANDSCAPE OPENSPACE AREA	=260.1m2 (50%)
EXISTING LANDSCAPE OPENSPACE AREA	=350.4m2 (33.8%)
POST CONSTRUCTION LANDSCAPE OPENSPACE AREA	=281.7m2 (27.2%)



02 Site Analysis / Site / Roof Plan

Street View from Sydney Road looking West



Street View from Narrabeen Park Parade looking South



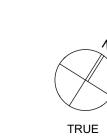
View from Southern Driveway looking North

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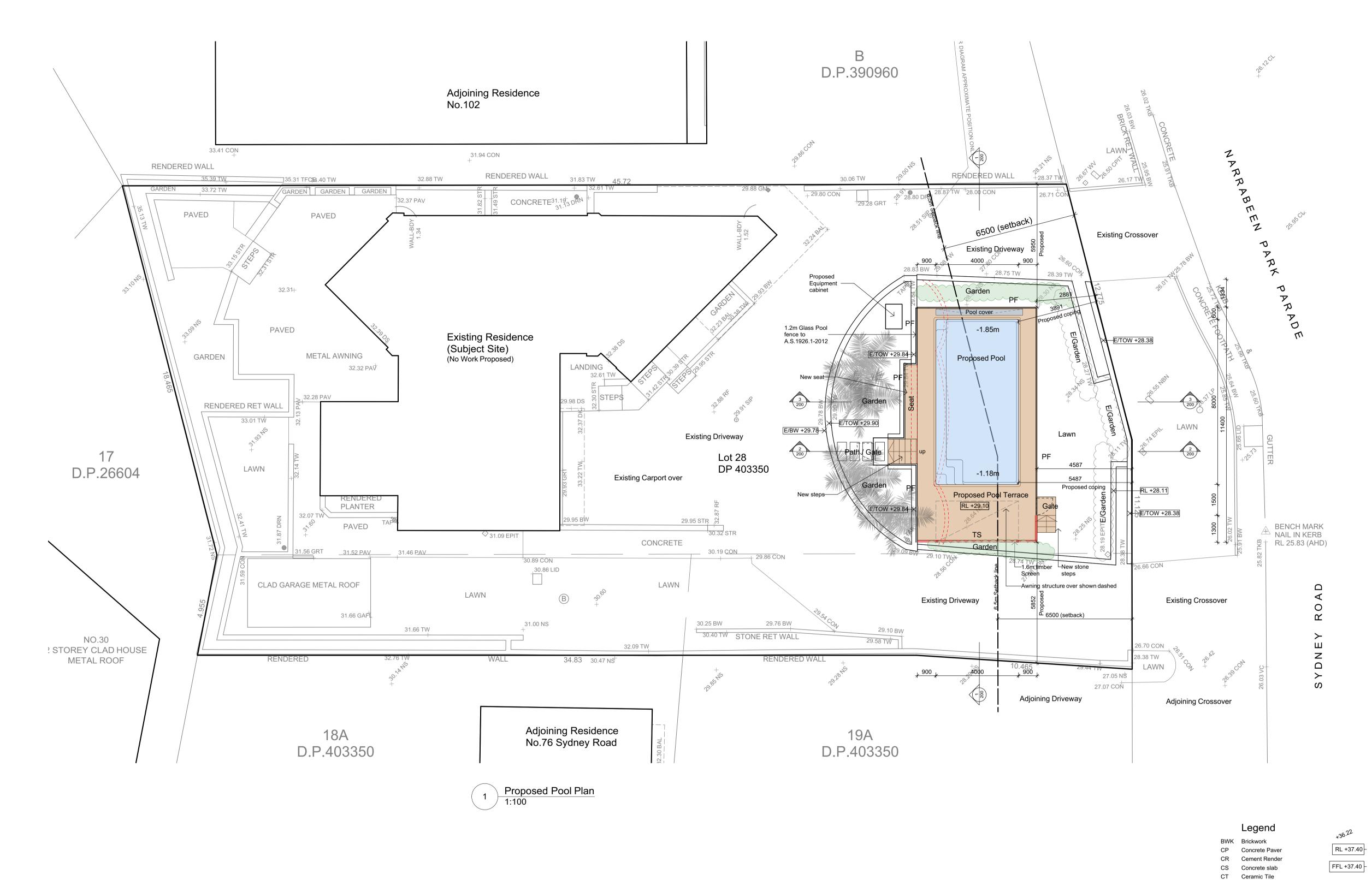
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PROPOSED POOL Mr J. Hare

100 NARRABEEN PARK PARADE, WARRIEWOOD, NSW 2102 LOT 28, DP 403350



KvB Drafting Services	Scale at A1 1:100	Date 26/7/2021
ken.brandwijk@gmail.com	Project No.	Plot Date 23/9/2021
M: 0425 284 927	2109	Drawn KvB
Cover Sheet, Proposed Site / Roof Plan	Drawing No. DA000	Revision B



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Light and ventilation to comply with part F4 of the Building Code of Australia.

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All downpipes and stormwater collection

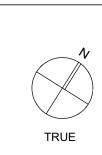
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points to be connected to existing Provide insulation to all ceiling spaces and wall cavities in external walls to BASIX requirements. All drawings to be read in conjunction with structural

20

PROPOSED POOL Mr J. Hare 100 NARRABEEN PARK PARADE, WARRIEWOOD, NSW 2102

LOT 28, DP 403350



KvB Drafting Services	Scale at A1 1:100	Date <b>26/7</b>	//2021
en.brandwijk@gmail.com	Project No.	Plot Da 16/9	ate 0/2021
1: 0425 284 927	2109	Drawn KvB	
Proposed Pool Plan	Drawing No. DA100		Revision <b>A</b>

Existing

FFL Finished Floor Level

MR Metal Roof Sheeting

Paint Finish

Pool Fence

Stone Paving

SSL Structural Slab Level

Stone

STP Stone Paving

TP Timber Post

TS Timber Screen

T Timber

W Window

ST

PCR Polycarbonate Roof Sheeting

Exist. Level

New Site Level

Structure or Wall

Finished Floor Level

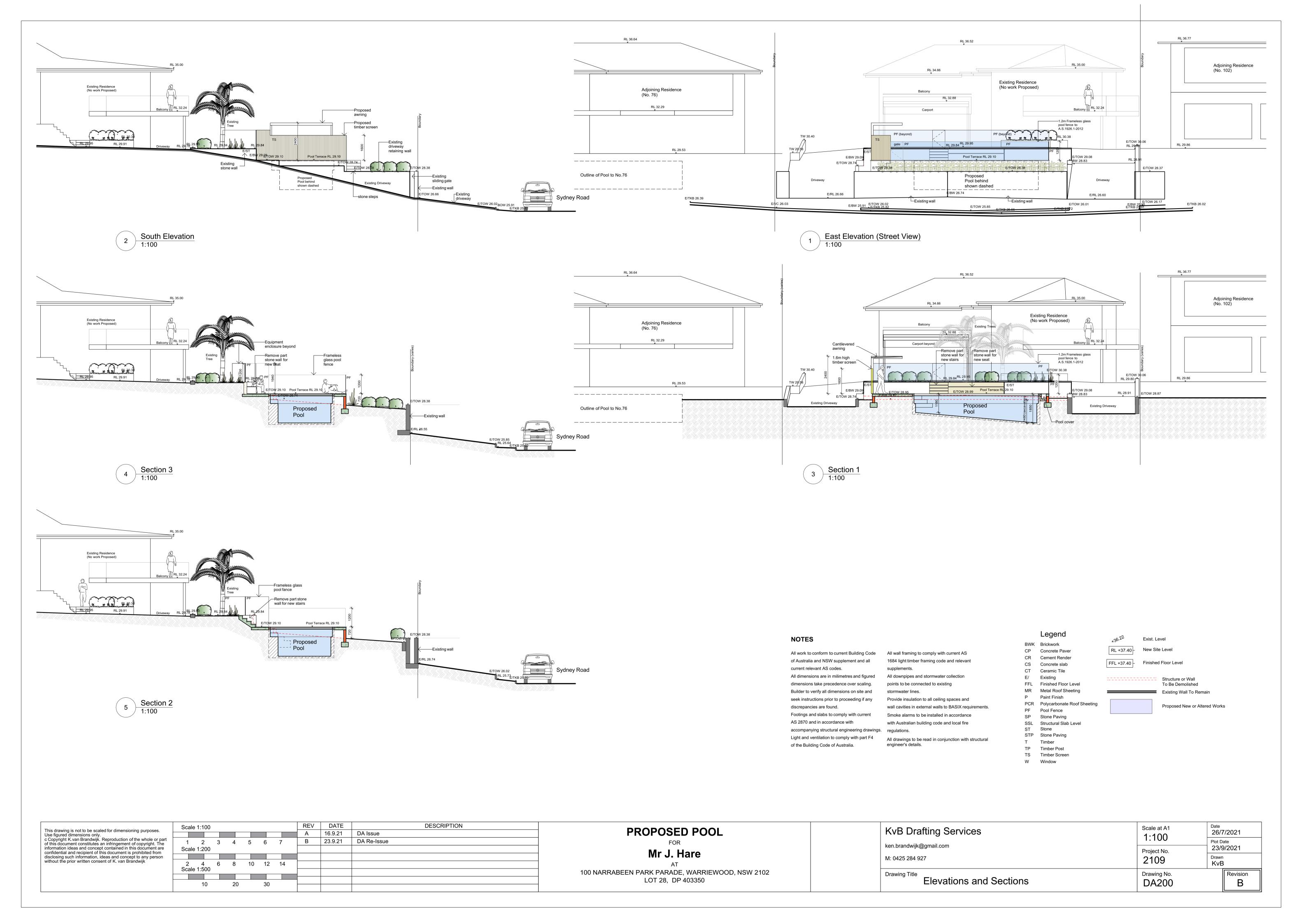
To Be Demolished

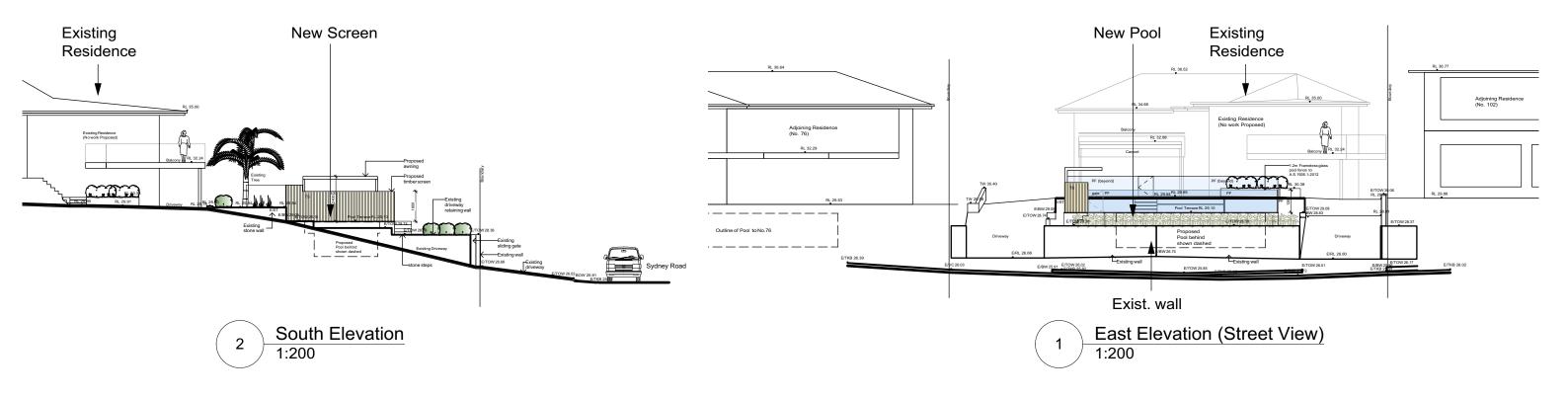
Existing Wall To Remain

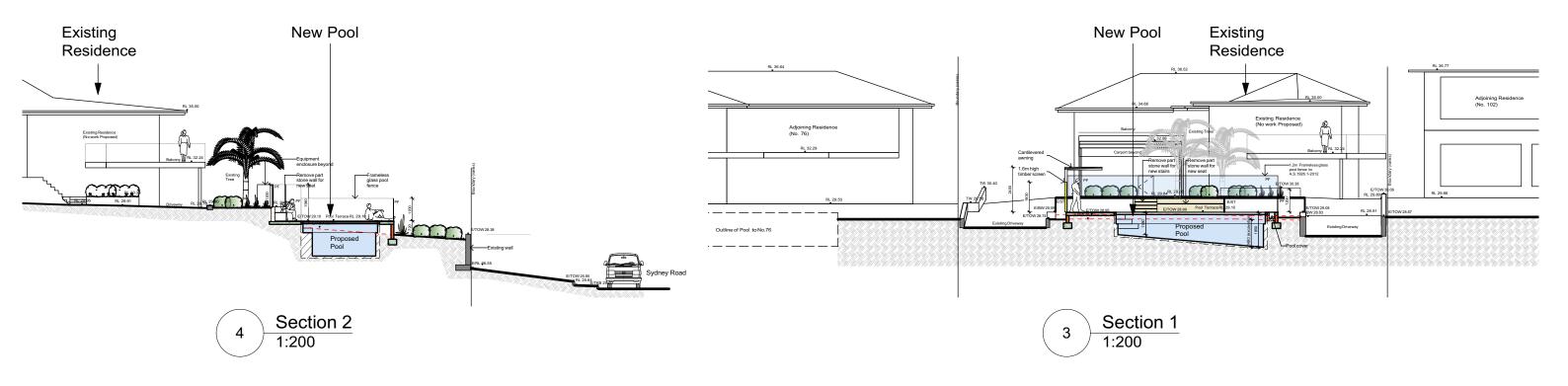
Proposed New or Altered Works

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Alterations & Additions to Existing Residence	dwg	Notification El		
100 Narrabeen Park Parade, Warriewood, NSW 2102 (Lot 28 D.P. 403350)	printed drawn scale @ A4	September 2021 KvB NTS scale @ A3 1:200	drawing # <b>N2</b>	revision B

revision notes DA Re-Issue DA Issue

