

COMPLYING DEVELOPMENT CERTIFICATE

Signature:



Complying Development Certificate Number: XC2012-/04925 **Approval Date:** 19/12/2012
Issued in accordance with the provisions of the Environmental & Assessment Act Regulation 2000
Date Application Received: 21/11/2012 **Date of Lapse of Certificate:** 19/12/2017
Council: Pittwater Council
Name of Certifying Authority: Fitzgerald Building Certifiers Pty. Ltd.
Corporate Accreditation No: ABC2
Accreditation Body: BUILDING PROFESSIONALS BOARD

Applicant: Sharen Foster
Address: PO Box 341 Narrabeen NSW 2101
Contact Number: 0412 067 131

Owner: Sharen Foster
Address: 673 Elizabeth St Waterloo NSW 2017
Contact Number: 9578 3000

Site Address: Lot 17 Sec C DP 11785, 70 Ingleside Rd Ingleside NSW 2101

Description of Development: Construction of a first floor addition - secondary dwelling not included in approval

Building Code of Australia Classification: 1a

Zoning: 1 (a) **Value of Work:** \$82000.00

Builder Details
Name: Sharen Foster
Licence / Permit Number: 398950P
Address: PO Box 341 Narrabeen NSW 2101
Contact Number: 0412 067 131

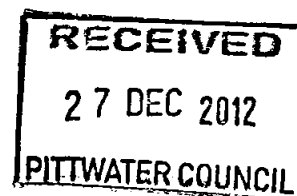
Approved Plans and Documents

Plans Prepared By	Drawing Nos.	Dated
Actron Design Pty Ltd BASIX	Dwg No. 1294, Sheets 1 to 9 A150184	30/10/2012 30/10/2012

Engineer Details	Drawing Nos.	Dated
Capital Engineering Consultants	Proj No. ST12303, Dwg No. S0-S2, Sheets 1 to 3, Rev. A	27/11/2012

This Certificate is approved subject to the prescribed conditions listed under Division 3
 of the State Environmental Planning Policy (Exempt and Complying Development Codes) 2008
 under the : Environmental Planning & Assessment Act 1979 as attached

\$36 REC:334745 27/12/12.



SECTION 1: APPLICATION FORM
APPLICATION FOR CONSTRUCTION/COMPLYING DEVELOPMENT CERTIFICATE
Principle Certifying Authority Agreement
Issued under the Environmental Planning & Assessment Act 1979

Privacy policy - The information you provide in this application will enable your application to be assessed by the certifying authority under the Environmental Planning and Assessment Act 1979. If the information is not provided, your application may not be accepted. The application can potentially be viewed by members of the public. Please contact Fitzgerald Building Certifiers if the information you have provided in your application is incorrect or requires modification.

- ☐ Construction Certificate
☒ Complying Development Certificate
☒ Application for Occupation Certificate
☒ Engagement As PCA

Dev. Application No:
Approval Date:

CLDC2012/04925.

APPLICANT (This Must Be The Owner/Authorised Agent)

Name/s:

Postal Address:

Ph:

Email:

Sharon Foster
P.O. Box 341, Narrabeen NSW 2101
0412 067131
sharonfoster@gmail.com

LAND TO BE DEVELOPED

Address:

Lot:

DP:

70 Ingham Road, Ingham
17
11785.

DETAILS OF DEVELOPMENT

Description of work:

Estimated cost of works:

2nd Storey Addition
\$145,000.

DETAILS OF BUILDER

Name:

Licence / Permit No:

Address:

Phone No:

Owner Builder

SECTION 2: PCA SERVICE AGREEMENT

Engagement

The engagement or the appointment of the PCA will not commence until the proposed PCA has accepted and notified their acceptance of the appointment to the Appointer and the Local Council. The proposed PCA or Fitzgerald Building Certifiers will not accept any responsibility for any damages, losses or delays suffered by the Appointer as a result of omissions or errors contained within this form or failure of the Appointer to comply with all items contained in this form.

Scope

The scope of works covered under this appointment is restricted to those building works as described in the "Details of Development" section of the form. Fitzgerald Certifiers does not undertake quality control inspections. Critical stage inspections do not provide the level of supervision required to ensure that minimum standards and tolerances are achieved, this function is the responsibility of the principle contractor or owner builder.

Terms and Conditions

1. All information provided by the Appointer on this form will be taken to be accurate and correct. The PCA does not accept any responsibility for any intentional or unintentional error or omission made by the Appointer on this form.
2. Where building works have commenced prior to the acceptance of appointment of PCA without the knowledge of the intended PCA the appointment shall be invalid and acceptance of the appointment will be withdrawn.
3. The Appointer is obliged to keep the PCA informed of any changes to the details of Principal Contractor (Builder) and any relevant insurances required by the builder. Failure to meet this obligation will result in the Appointer indemnifying the PCA against any losses or suffering as a result of non compliance with the legislative requirements.
4. The Appointer is responsible for ensuring that a copy of Home Warranty Insurance or Owner Builder Permit is submitted to the PCA prior to the commencement of building works. The acceptance of the appointment will not occur until this requirement has been met.
5. It is the responsibility of the Appointer to ensure that critical stage inspections are booked in with our office, or make arrangements for your builder to do this on your behalf no later than 3pm on the prior business day via fax, post or email.
6. The PCA will not accept responsibility for any damages or costs associated for the inability to issue an Occupation Certificate due to, but not limited to, the following:- non-compliance with a development consent condition, unsatisfactory final inspection, non compliance with Basix commitments, missed critical stage inspections, non compliance with approved building plans or failure to pay the required inspection or Occupation Certificate fees.
7. The PCA does not undertake detailed quality control inspections and the role of the PCA is primarily to ensure that the development proceeds in accordance with the consent, Construction Certificate and that the development, is fit for occupation in accordance with its classification under the Building Code of Australia. Critical Stage Inspections do not provide the level of supervision to ensure that the minimum standards and tolerances specified by the "Guide to Standards and Tolerances" ISBN 0 7347 6010 8 are achieved. The quality of any development is a function of the quality of the principal contractor's or owner builder's supervision of individual contractors and trades on a daily basis during the development. The PCA does not undertake this role. Further, The PCA does not adjudicate, on building contract disputes between the principal contractor, contractors or owner.

Fees

Failure to pay the prescribed Appointment of PCA fee will generally result in a refusal to accept the appointment of PCA. Should an appointment be accepted and payment not honored, the Appointer will be ultimately liable for unpaid fees, regardless of whether the fee was paid directly to the Builder, and any associated debt recovery costs plus interest incurred from the time of the appointment.

It is noted that the PCA and/or Fitzgerald Building Certifiers may suspend its services provided to the appointer or the builder, where fees have not been paid, within the provisions of the Building and Construction Industry Security of Payment Act 1999.

Section 3: Declaration By The Appointer/s

I/We the aforementioned persons as described as the Appointer/s in the PARTICULARS section hereby declared the following that:

1. I/We "have the benefit of the Development Consent or Complying Development Certificate" within the meaning and under EP&A Act 1979 for the proposed works as indicated on this form.
2. I/We, to the best of my/our knowledge, have completed all details in the PARTICULARS section in a correct and accurate manner and hereby indemnify the appointed PCA and Fitzgerald Building Certifiers against any damage, losses or suffering as a result of incorrect information provided under that section.
3. I/We hereby consent to the Builder as shown within the "Particulars" section of this form to apply and obtain on my/our behalf a Construction Certificate, Complying Development Certificate, Occupation Certificate/s or any other "Part 4A Certificate" within the meaning of the EP&A Act 1979.
4. I/We have read, understood and hereby accept the terms and conditions outlined within the PCA Service Agreement on this form.
5. I/We understand that the Appointment of the PCA is not taken to have been accepted until a copy of the acceptance has been signed by the proposed PCA and released to the Appointer and Council, effective from the date of the acceptance.
6. I/We understand that the Commencement of Building Work cannot be any earlier than 2 business days after the appointment of PCA has been accepted and therefore declare that no building works will commence until after such date.
7. I/We authorise the right of entry for any certifying authority arranged by Fitzgerald Accredited Certifiers to carry out inspection required by the PCA under this agreement.
8. I/We authorise the transfer of PCA to another employee of Fitzgerald Building Certifiers if the original PCA ceases employment with Fitzgerald Building Certifiers for any reason or becomes unable to fulfill their duties as the PCA at no cost to Fitzgerald Building Certifiers.
9. I/We understand the appointment of PCA will not be accepted by Fitzgerald Building Certifiers until documentation of required insurances or owner builder permit is submitted to Fitzgerald Building Certifiers, in accordance with the Home Building Act 1989.
10. I/We understand that it is my/our responsibility to ensure that sufficient notice is given to Fitzgerald Building Certifiers, in writing, to carry out critical stage inspections or make arrangements with your builder to carry out this function on your behalf as a condition of your Building Contract.
11. I/We declare that I/we will notify the PCA at the earliest possible instance of any changes of the appointment of the builder and ensure any mandatory insurances required by the incoming builder in accordance with Home Building Act 1989 are in place.



14 December 2012

SHAREN FOSTER
70INGLESIDE ROAD
INGLESIDE NSW 2101

Long Service Corporation
Level 1
19-21 Watt Street
Gosford NSW 2250
Locked Bag 3000
Central Coast MC NSW 2252
Tel: 13 14 41
Fax: (02) 9287 5685
Email: info@longservice.nsw.gov.au
www.longservice.nsw.gov.au
ABN 93 646 090 808

As per your request for a copy of your receipt no. 00129130 dated 14 December 2012, the following information is provided:

Received from: (Name of person or organisation paying for levy)	the amount of
SHAREN FOSTER	\$287.00

Payment details:

being payment for Long Service Levy as detailed below

Levy Payment Form number	5037570
Council/Department/Authority	PITTWATER COUNCIL
C.D.C. Number	XC2012-/04925
Work address	70 INGLESIDE ROAD INGLESIDE NSW 2101
Estimated value of work	\$82,000.00
Levy payable (No exemption)	\$287.00
Total levy paid	\$287.00

Signed: *lyne Belme*

Date 14.12.12.



**Fair
Trading**

Tel 13 32 20
TTY 02 9338 4943
ABN 81 913 830 179
www.fairtrading.nsw.gov.au

Sharen Foster
PO Box 341
NARRABEEN NSW 2101

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit : 398950P
Receipt: 1-1761618577

Issued : 06/12/2012
Amount: \$159.00

BUILDING SITE

70 Ingleside Rd, INGLESIDE, NSW 2101 AUSTRALIA

AUTHORISED BUILDING WORK

Rumpus Room, Deck, Cobana

Authority No : DC-CDC2012/04925
Council Area : PITTWATER (S) COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$20,000. A certificate of insurance must be attached to any contract of sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met on presentation. *GST amount included in total fee: \$0.00

Rod Stowe
Commissioner for Fair Trading

Issuing officer

***** END OF PERMIT *****

BASIX® Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A150184

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General

Date of issue: Tuesday, 30, October 2012

To be valid, this certificate must be lodged within 3 months of the date of issue.



Department of Planning

Project address	
Project name	FOSTER
Street address	70 INGLESIDE ROAD INGLESIDE 2104
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 11785
Lot number	17
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: ACTRON DESIGN
ABN (if applicable): 21003030340

Construction		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.				
Construction	Additional Insulation required (R-value)	Other specifications		
floor above existing dwelling or building.	nil			
external wall: brick veneer	R1.16 (or R1.70 including construction)			
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)		

Glazing requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors							
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							
The following requirements must also be satisfied in relation to each window and glazed door:							
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.							
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							
Windows and glazed doors glazing requirements							
Window / door no.	Orientation	Area of glass inc. frame (m2)	Height (m)	Distance (m)	Shading device	Frame and glass type	
W1	N	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W2	N	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W3	N	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W4	N	1.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
W5	S	3.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)	
					✓	✓	✓
					✓	✓	✓
					✓	✓	✓
					✓	✓	✓
					✓	✓	✓
					✓	✓	✓

Glazing requirements										Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device		Frame and glass type					
			Height (m)	Distance (m)								
W6	S	3.6	0	0	eave/verandah/pergola/balcony >=450 mm		standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)					
W7	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm		standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)					
W8	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm		standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)					
DR 9	E	7.35	0	0	eave/verandah/pergola/balcony >=450 mm		standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)					

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.



Building Code & Bushfire Hazard Solutions

(Pty. Limited) ABN 19 057 337 774
PO Box 124, Berowra NSW 2081
Telephone: (02) 9457 6530 Facsimile: (02) 9457 6532
www.bushfirehazardsolutions.com.au



Certified Business
Bushfire Planning & Design
BPD-BA-02354

17th December 2012
Our Ref 130535

COMPLYING DEVELOPMENT BAL ASSESSMENT

Thank you for engaging us to provide these services for you. The following BAL Assessment addresses the State Environmental Planning Policy (Exempt and Comply Development Codes) 2008 Sub-division 9 Section 3A.37 Part 2 a) - f) and also details compliance with Planning for Bush Fire Protection 2006 (including Addendum Appendix 3).

Property description	70 Ingleside Road, Ingleside NSW	Lot 17 DP 11785
Assessed by	Stuart McMonnies	BPAD PA 09400
Proposed Development	Alterations and additions to existing dwelling	
Plans provided for review	Site Plan by – Actron Design Pty Ltd, dwg no 1294, dated 30/10/12	
BAL ASSESSMENT	BAL 12.5	
a. The development conforms to the specifications and requirements of the following that are relevant to the development:		
i. <i>Planning for Bush Fire Protection</i> (ISBN 0 9751033 2 6) published by the NSW Rural Fire Service in December 2006,		
ii. <i>Addendum: Appendix 3</i> (ISBN 0 9751033 2 6, published by the NSW Rural Fire Service in 2010) to <i>Planning for Bush Fire Protection</i> (ISBN 0 9751033 2 6),		
iii. If another document is prescribed by the regulations for the purposes of section 79BA of the <i>Environmental Planning and Assessment Act 1979</i> – that document.		
		YES

b. The part of the lot on which the development is to be carried out and any associated access way is not in Bush Fire Attack Level-40 (BAL-40) or the Flame Zone (BAL-FZ),	YES
c. The lot has direct access to a public road or a road vested in or maintained by the council,	YES
d. The development is located within 200m of that road,	YES
e. There is sufficient access designed in accordance with the acceptable solutions identified in clause 4.1.3 (2) of <i>Planning for Bush Fire Protection</i> (ISBN 0 9751033 2 6) published by the NSW Rural Fire Service in December 2006,	YES
(f) A 20,000L water supply with 65mm metal Storz outlet with a gate or ball valve is provided for fire fighting purposes on the lot (the gate or ball valve, pipes and tank penetrations are to be designed to allow for a full 50mm inner diameter water flow through the Storz fitting and must be of a metal construction)	Can comply see Note 01

Additional notes or comments:

Note 01:

To comply with condition f) above it is recommend that

A 20,000 litre Static Water Supply (Tank) be provided within the allotment.

- ❖ A suitable connection for firefighting purposes is made available and located within the IPA and away from the structure. A 65mm Storz outlet with a gate or Ball valve is provided.
- ❖ Gate or Ball valve and pipes are 50 mm in diameter and are metal.
- ❖ Underground tanks have dry hydrant and a 65mm metal Storz outlet fitting. A hardened ground surface for truck access is supplied within 4 metres of the outlet.
- ❖ Above ground tanks are manufactured of concrete or metal and raised tanks have their stands protected. Plastic tanks are not used. Tanks on the hazard side of a building are provided with adequate shielding for the protection of fire fighters.
- ❖ All above ground water pipes external to the building are metal including and up to any taps. Pumps are shielded.

Or

That a 65mm storz outlet be provided from the either the existing swimming pool or water tank.

Note 02:

It is understood that the Proposed Granny Flat indicated on the site plan does not form part of this application.

Recommendations:

1. That all grounds within the subject property not built upon continue to be maintained in accordance with an Asset Protection Zone (Inner Protection Area) as detailed within Appendix 2 of Planning for Bush Fire Protection 2006 and the NSW Rural Fire Service document Standards for Asset Protection Zones.
2. That any new landscaping within the subject property is to comply with Appendix 5 'Landscaping and Property Maintenance' under Planning for Bush Fire Protection 2006.
3. That the proposed new works be constructed to that of section 3 and BAL 12.5 under section 5 of AS3959 – 2009.
4. That all new works be constructed to that of the 'Additional Construction Requirements' detailed in A3.7 of the Addendum to Appendix 3 of Planning for Bush Fire Protection 2006 and NSW Rural Fire Service Fast Facts, Development Control Notes and Practice Notes.
5. That a 20,000L water supply with 65mm metal Storz outlet with a gate or ball valve is provided for fire fighting purposes on the lot (the gate or ball valve, pipes and tank penetrations are to be designed to allow for a full 50mm inner diameter water flow through the Storz fitting and must be of a metal construction). This can be achieved by installation of a SWS as detailed within this certificate.

Or

That a 65mm storz outlet be provided from the either the existing swimming pool or water tank.

Prepared by
Building Code & Bushfire Hazard Solutions



Stuart McMonnies

G. D. Design in Bushfire Prone Areas.
Certificate IV Fire Technology
Fire Protection Association of Australia BPAD – A Certified Practitioner
Certification number – BPD – PA-09400

Reviewed by
Building Code & Bushfire Hazard Solutions P/L



Wayne Tucker

G. D. Design in Bushfire Prone Areas.
Certificate IV Fire Technology
Ass Dip Applied Science
Manager - Bushfire Section
Fire Protection Association of Australia BPAD – A Certified Practitioner
Certification number – BPD – PA-09399

AREA ANALYSIS

SITE AREA 2672.00M2

EXISTING:

GROUND FLOOR 127.00M2
GARAGE 98.00M2
BEDROOM LEVEL 98.00M2

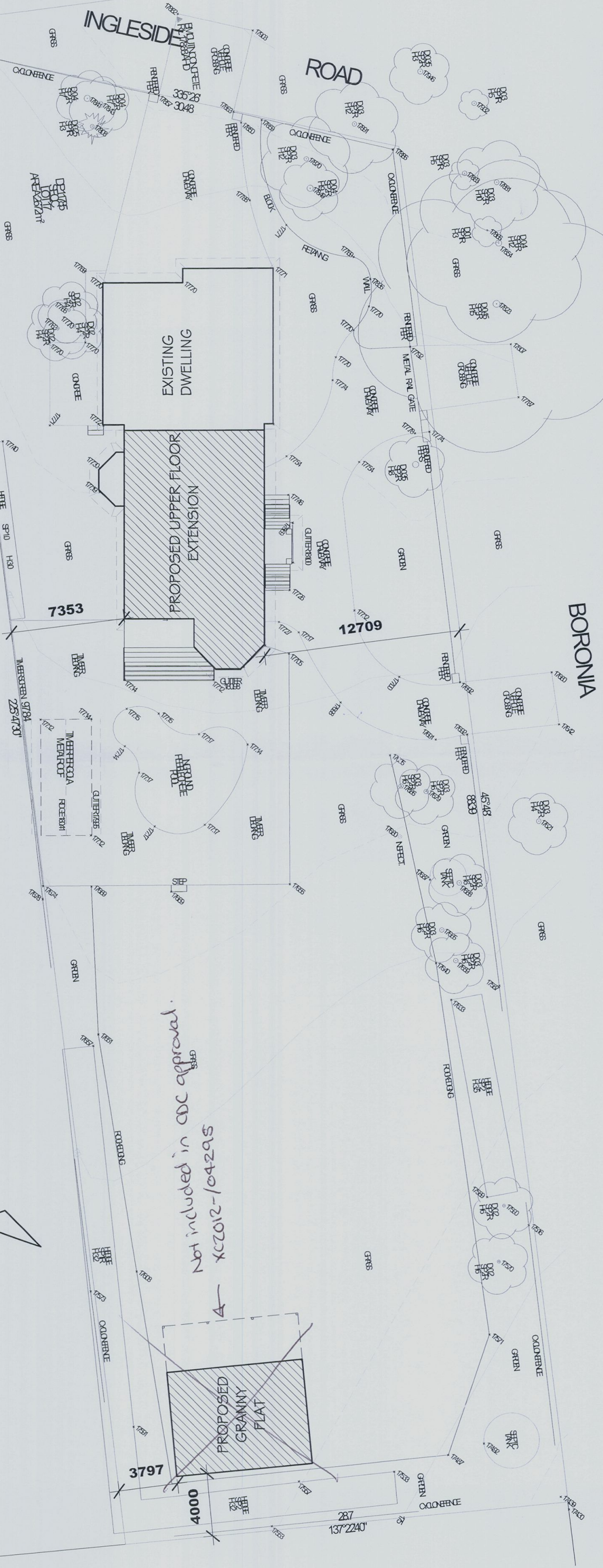
TOTAL EXISTING 323.00M2

PROPOSED:

RUMPUS LEVEL 104.00M2
GRANNY FLAT 60.00M2

TOTAL PROPOSED 164.00M2

TOTAL AREA 427.00M2
(EXCLUDING GRANNY FLAT)



Not included in CDC approval.
A- KC2012-104295

SITE PLAN 1:250

This plan/document forms part of the
Approved Complying Development Certificate

12012/04295

*ALL DIMENSIONS, LEVELS AND
DRAWINGS SHALL BE CHECKED
AND VERIFIED ON SITE BEFORE
FABRICATION AND START OF WORK*

CLIENT : D.FOSTER

ADDRESS: 70 INGLESIDE RD - INGLESIDE

JOB: PROPOSED EXTENSION

TITLE: WORKING DRAWINGS

DATE: 30/10/12

BY: TKPK

SCALE: 1 : 250

DWG NO. 1294

SHEET: 1

REV.

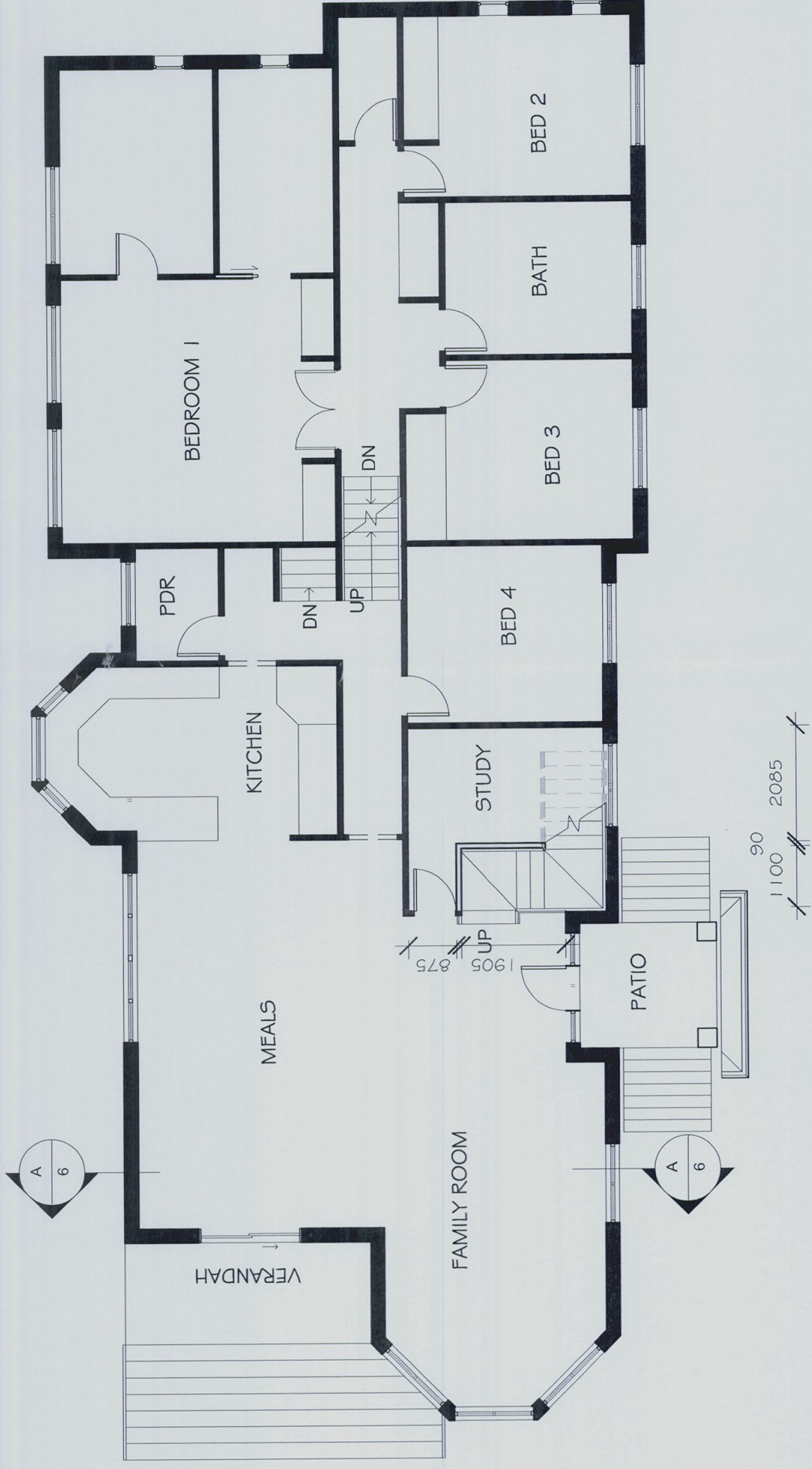
AMENDMENTS
As issued by Registered Planning Certifiers P/L

ACTRON DESIGN

PTY LTD.

PROSPECT 9636 4900
EPPING 9894 1587 CHATSWOOD 9410 3383

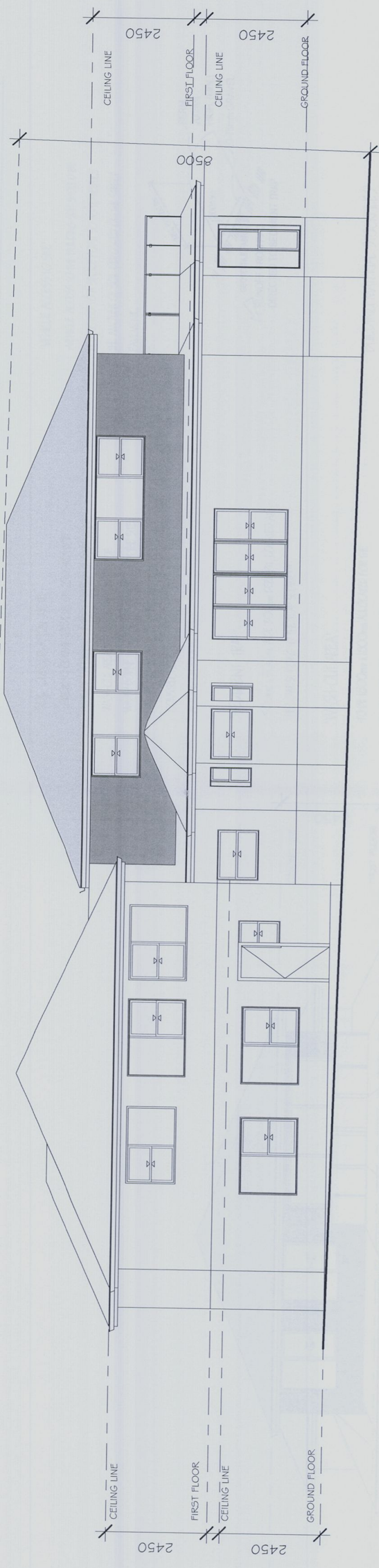




GROUND FLOOR PLAN

This plan/document forms part of the
Approved Complying Development Certificate

2012/04295		No.	Date	Description	By
		As is AMENITY BUILDING CERTIFIERS P/L			
ALL DIMENSIONS, LEVELS AND DRAWINGS SHALL BE CHECKED AND VERIFIED ON SITE BEFORE FABRICATION AND START OF WORK	CLIENT : D.FOSTER	JOB: PROPOSED EXTENSION	TITLE: WORKING DRAWINGS	DATE: 30/10/12	SHEET: 2
	ADDRESS: 70 INGLESIDE RD - INGLESIDE		DWG NO. 1294	SCALE: 1 : 100	REV. TK/PK
		ACTRON DESIGN PTY LTD. PROSPECT 9636 4900 EPPING 9894 1587 CHATSWOOD 9410 3363			

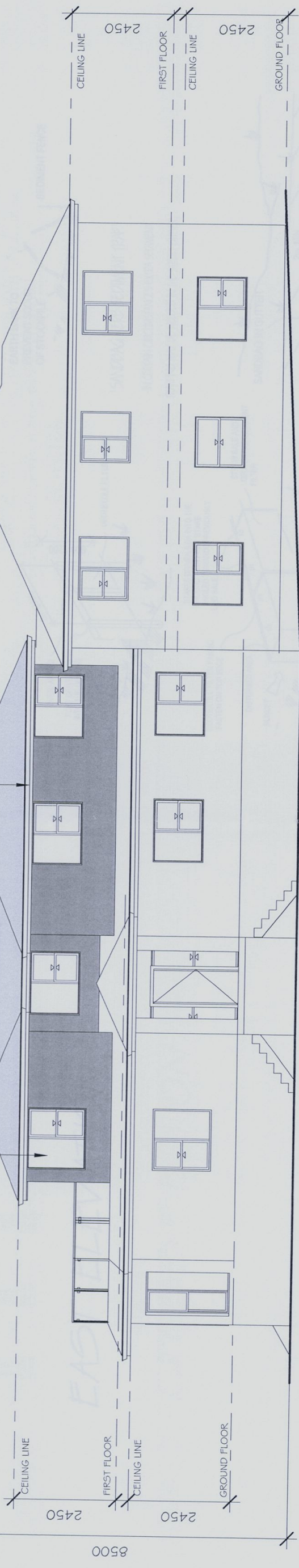


SOUTH ELEVATION

ROOF TO MATCH EXISTING
-PITCH 22.5 DEGREES,
-NOTE - HEIGHT OF RIDGE TO BE 8.5M MAX
FROM GROUND LEVEL

WINDOWS TO MATCH EXISTING HOUSE

GUTTER AND FASCIA TO MATCH EXISTING HOUSE



NORTH ELEVATION

This plan/document forms part of the
Approved Complying Development Certificate

12012/04295

No.	Date	Description	By
AMENDMENTS			
As Issued by Fitzgerald Building Co			
ACTRON DESIGN			
PTY LTD.			
PROSPECT, 9636 4000			
EPPING, 9864 1587 CHATSWOOD, 9410 3383			
CLIENT : D.FOSTER		JOB: PROPOSED EXTENSION	SHEET: 4
ADDRESS: 70 INGLESIDE RD - INGLESIDE		TITLE: WORKING DRAWINGS	DATE: 30/10/12
		DWG NO. 1294	BY: TK/PK
		SCALE: 1 : 100	REV.

SEDIMENT CONTROL NOTES

SOIL CONSERVATION NOTE:

- PRIOR TO COMMENCEMENT OF CONSTRUCTION PROVIDE 'SEDIMENT FENCE', 'SEDIMENT TRAP' AND WASH-OUT AREA TO ENSURE THE CAPTURE OF WATER BORNE MATERIAL GENERATED FROM THE SITE.
- MAINTAIN THE ABOVE DURING THE COURSE OF CONSTRUCTION, AND CLEAR THE 'SEDIMENT TRAP' AFTER EACH STORM.

'SEDIMENT TRAP'

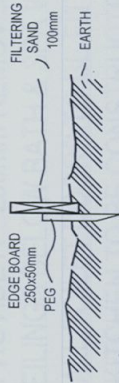
- 500mm x 500mm WIDE 300mm DEEP PIT, LOCATED AT THE LOWEST POINT TO THE TRAP SEDIMENT.

'WASH-OUT AREA'

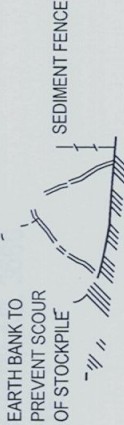
- TO BE 1800mm x 1800mm ALLOCATED FOR THE WASHING OF TOOL & EQUIPMENT.

'SEDIMENT FENCE'

- PROVIDE 'SEDIMENT FENCE' ON DOWN SLOPE BOUNDARY AS SHOWN ON PLAN. FABRIC TO BE BURIED BELOW GROUND AT LOWER EDGE.

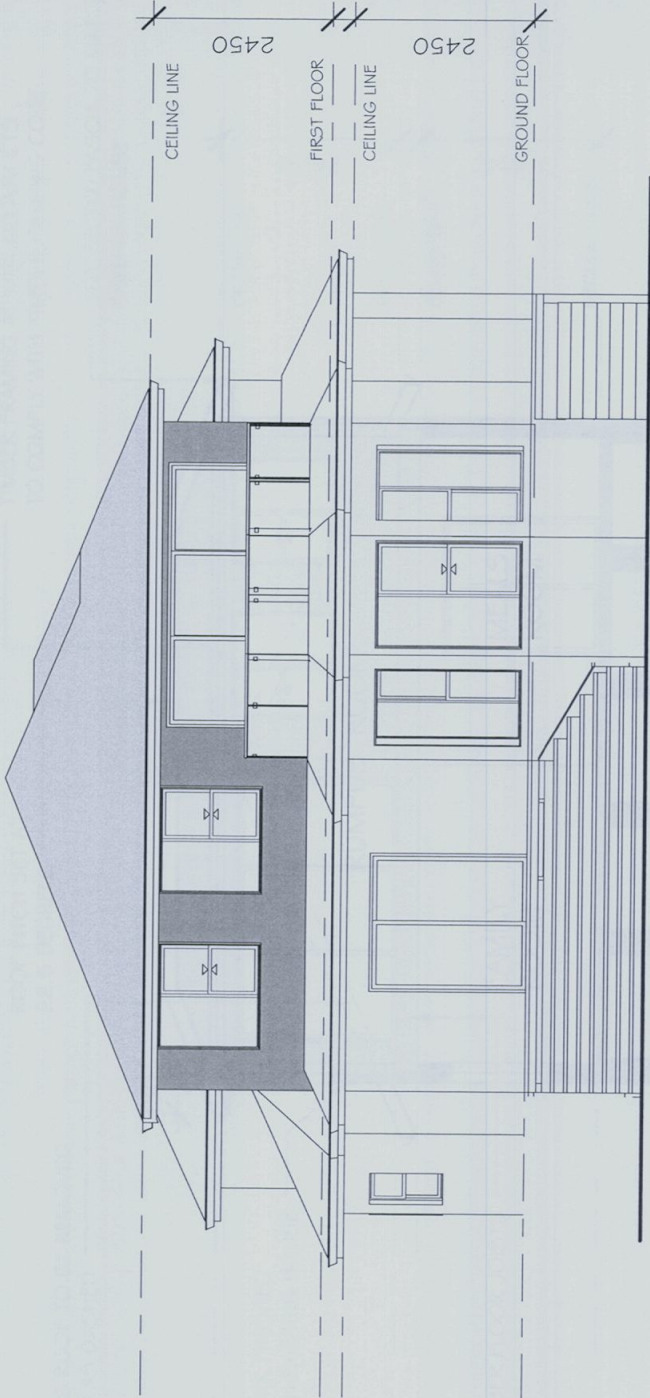
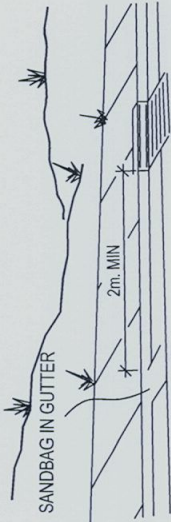


WATERPROOF COVERING



'SANDBAG KERB SEDIMENT TRAP'

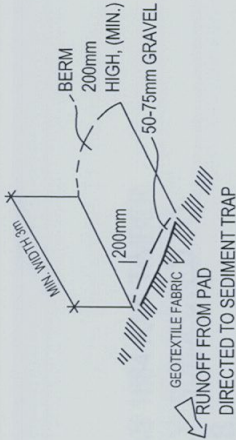
- IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.



EAST ELEVATION

'VEHICLE ACCESS TO SITE'

- VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



'BUILDING MATERIAL STOCKPILES'

- ALL STOCKPILES OF BUILDING MATERIAL, SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.

- THE SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.

'ALL DIMENSIONS, LEVELS AND DRAWINGS SHALL BE CHECKED AND VERIFIED ON SITE BEFORE FABRICATION AND START OF WORK'

CLIENT : D.FOSTER

JOB: PROPOSED EXTENSION

ADDRESS: 70 INGLESIDE RD - INGLESIDE

TITLE: WORKING DRAWINGS

DATE: 30/10/12

SHEET: 5

DWG NO. 1294

SCALE: 1 : 100

BY: TK/PK

REV.

No. Date

2012/04295

By

AMENDMENTS

ACTRON DESIGN
PTY LTD.
PROSPECT 9636 4300
EPPING 9894 1587 CHATSWOOD 9410 3383

This plan/document forms part of the
Approved Complying Development Certificate

Glazing requirements							Show on DA Plans	Show on CoCDC Plans & Specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overhanging height (m)	Distance (m)	Shading device	Frame and glass type			
W6	S	3.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single proxytic low-e, (U-value: 5.7, SHGC: 0.47)			
W7	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single proxytic low-e, (U-value: 5.7, SHGC: 0.47)			
W8	E	2.1	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single proxytic low-e, (U-value: 5.7, SHGC: 0.47)			
DR 9	E	7.35	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single proxytic low-e, (U-value: 5.7, SHGC: 0.47)			

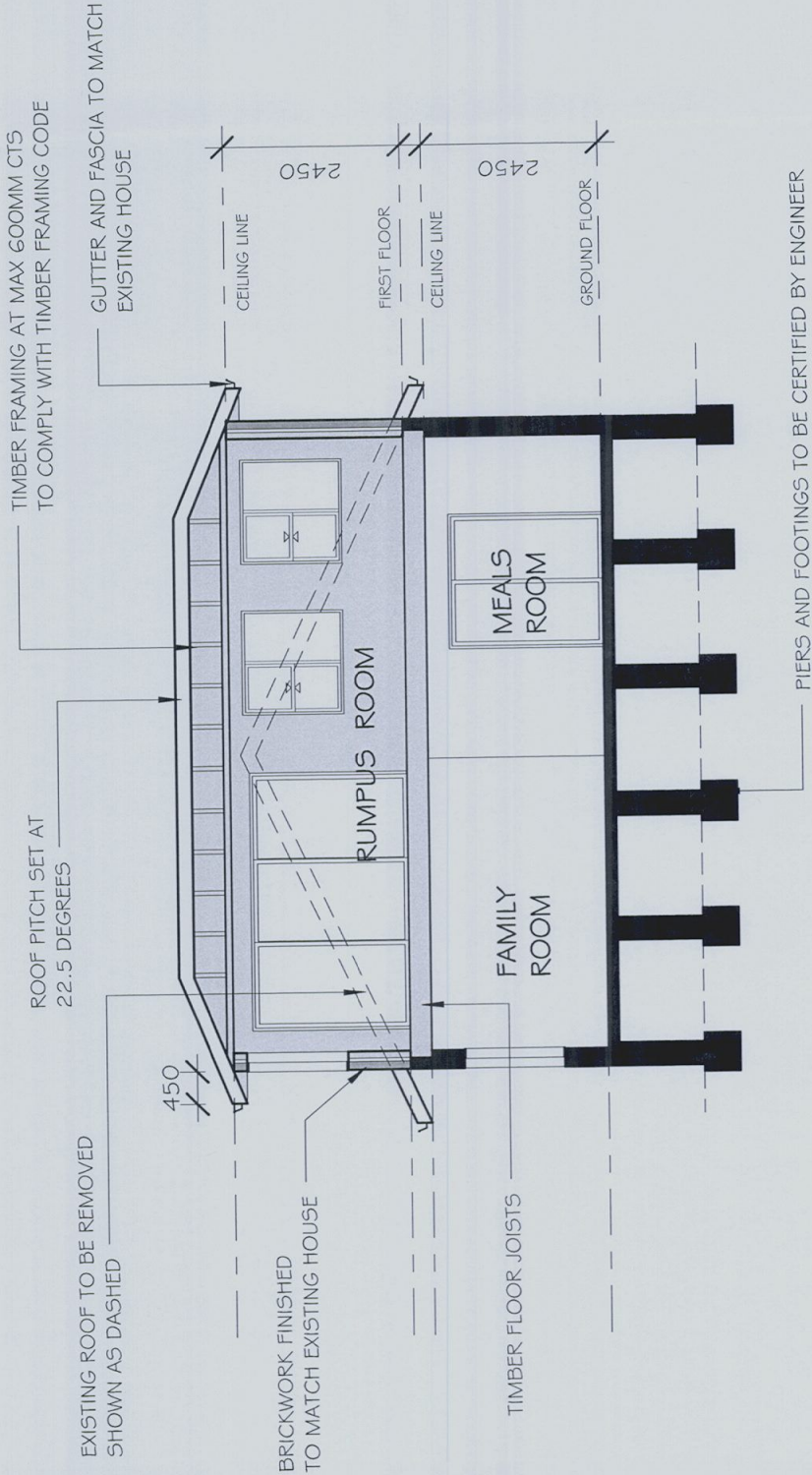
Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CoCDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

This plan/document forms part of the
Approved Complying Development Certificate

2012/04295

'ALL DIMENSIONS, LEVELS AND DRAWINGS SHALL BE CHECKED AND VERIFIED ON SITE BEFORE FABRICATION AND START OF WORK'	CLIENT : D.FOSTER	JOB: PROPOSED EXTENSION	TITLE: WORKING DRAWINGS	DATE: 30/10/12	SHEET: 9	No.	Date	Description of Development AMENDMENTS	By
	ADDRESS: 70 INGLESIDE RD - INGLESIDE		DWG NO. 1294	SCALE: TK/PK	REV.	ACTRON DESIGN PTY LTD. PROSPECT 9638 4500 EPPING: 9894 1587 CHATSWOOD: 9410 3363			

- 'GENERAL NOTE'
- FRAMES AND TRUSSES TO SATISFY AS 1684 AAS TIMBER
 - WINDOWS SIZES ARE INDICATIVE ONLY. SUBJECTED TO MANUFACTURERS BRANDS AND STYLES.
 - TREADS 250mm MIN, 190 MAX.
 - HANDRAILS & BALUSTERS 1000mm MIN HIGH
 - BALUSTERS 125mm MAX. SPACING
 - REFER TO ENGINEERS DETAILS FOR ALL STRUCTURAL MEMBERS
 - PLUMBER TO PROVIDE FLOOR WASTE IN WET AREAS IN ACCORDANCE WITH AS.3740
 - PROVIDE A 250mm REMOVEABLE INSPECTION COVER TO CEILINGS BELOW BATH & SPA WASTES
 - ALL TOILET DOORS TO BE FITTED WITH LIFT OFF HINGES
 - KITCHEN TO BE CONSTRUCTED TO MANUFACTURE DETAILS
 - ALL BRICK DIMENSIONS ARE NOMINAL DIMENSIONS
 - WEEP HOLES 2nd COURSE OPEN BRICK PERPENDS
 - TERMITE PROTECTION TO COMPLY WITH AS. 3660
 - GROUND LEVELS ARE APPROXIMATE
 - SMOKE DETECTOR



CROSS SECTION A-A

This plan/document forms part of the
Approved Complying Development Certificate

No.	Date	Description	By
	2021	AMENDMENTS	205

ACTRON DESIGN
PTY LTD.
PROSPECT 3636-7500 · 9410 3363
EPPING, 9894 1587 · CHATSWOOD, 9410 3363

ALL DIMENSIONS, LEVELS AND DRAWINGS SHALL BE CHECKED AND VERIFIED ON SITE BEFORE FABRICATION AND START OF WORK	CLIENT : D.FOSTER	JOB: PROPOSED EXTENSION	TITLE: WORKING DRAWINGS	DATE: 30/10/12	SHEET: 6
	ADDRESS: 70 INGLESIDE RD - INGLESIDE		DWG NO. 1294	SCALE: 1 : 100 BY: TK/PK	REV.

BASIX®Certificate

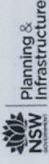
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A150184

This certificate confirms that the proposed development will meet the NSW BASIX requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 29/9/2006 published by Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Department of Planning and Infrastructure
30 October 2012
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	FOSTER
Street address	70 INGLESIDE ROAD INGLESIDE 2101
Local Government Area	Pittwater Council
Plan type and number	Deposited Plan 11765
Lot number	17
Section number	0
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: ACTRON DESIGN
ABN (if applicable): 21003030340

Construction		Show on DA Plans	Show on COCOC Plans & Specs	Certifier Check
Insulation requirements		✓	✓	✓
The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required for the area of new construction if less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.				
Construction		Additional insulation required (R-value)		
floor above existing dwelling or building		nil		
external wall: brick veneer		R1.16 (or R1.70 including construction)		
flat ceiling, pitched roof		ceiling: R2.50 (up), roof: folklarking		
		dark (solar absorbance > 0.70)		

Fixtures and systems		Show on DA Plans	Show on COCOC Plans & Specs	Certifier Check
Lighting			✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.				

Glazing requirements		Show on DA Plans	Show on COCDOC Plans & Specs	Certifier Check
Windows and glazed doors		✓	✓	✓
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door. Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.				
Windows and glazed doors glazing requirements		Shading device		
Window / door no.	Area of glass in frame (m ²)	Height (m)	Distance (m)	Frame and glass type
W1	N 2.1	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	N 1.8	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W3	N 1.8	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	N 1.8	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	S 3.6	0	0	eave/verandah/pergola/balcony >=450 mm standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

This plan/document forms part of the
Approved Complying Development Certificate

2012/04295

No.	Date	Description	By
AMENDMENTS			
As issued by ACTRON DESIGN PTY LTD.			
ACTRON DESIGN PTY LTD.			
PROSPECT 16638 4303 EPPING, 9894 1587 CHATSWOOD, 9410 3363			

'ALL DIMENSIONS, LEVELS AND DRAWINGS SHALL BE CHECKED AND VERIFIED ON SITE BEFORE FABRICATION AND START OF WORK'

CLIENT : D.FOSTER

JOB: PROPOSED EXTENSION

TITLE: WORKING DRAWINGS

DATE: 30/10/12

SHEET: 8

ADDRESS: 70 INGLESIDE RD - INGLESIDE

DWG NO. 1294

SCALE: TK/PK

REV.

As issued by **ACTRON DESIGN PTY LTD.**

PROPOSED ALTERATIONS & ADDITIONS AT
70 INGLESIDE ROAD, INGLESIDE

GENERAL NOTES

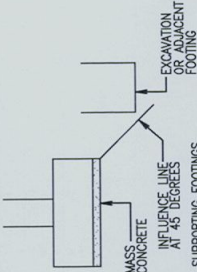
1. THESE ENGINEERING DRAWINGS ARE TO BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS AND OTHER CONSULTANTS DRAWINGS ON THE PROJECT.
2. THESE ENGINEERING DRAWINGS HAVE BEEN PREPARED FROM INFORMATION AVAILABLE AT THE TIME OF ISSUE. AS THIS INFORMATION MAY BE THE SUBJECT OF CHANGE PRIOR TO OR AFTER THE COMMENCEMENT OF WORKS, THE CONTRACTOR IS TO ADVISE THE ENGINEER WHERE DISCREPANCIES OCCUR.
3. THESE DRAWINGS SHALL NOT BE USED FOR FINAL SETOUT OF THE PROJECT UNLESS SPECIFICALLY STATED.
4. INSPECTIONS ARE REQUIRED TO BE PERFORMED BY A DULY APPOINTED INSPECTOR FROM THE CONTRACTOR'S STAFF. THESE INSPECTIONS ARE REQUIRED TO BE PERFORMED IN ACCORDANCE WITH THE SCOPE OF INSPECTIONS PREPARED BY CAPITAL ENGINEERING CONSULTANTS'. THE INSPECTOR IS TO BE GIVEN A MINIMUM OF 24 HOURS NOTICE.
5. PRIOR TO THE COMMENCEMENT OF WORKS THE CONTRACTOR IS TO IDENTIFY ALL EXISTING SERVICES. ANY DAMAGE TO EXISTING SERVICES IS TO BE RECTIFIED AT THE CONTRACTORS EXPENSE. SERVICES SHOWN ON 'CAPITAL ENGINEERING CONSULTANTS' DRAWINGS ARE INDICATIVE ONLY.
6. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILITY OF THE WORKS AND ENSURE NO PART IS OVERSTRESSED.
7. WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE BUILDING ACT STATUTORY REQUIREMENTS, EXCEPT WHERE VARED BY THE CONTRACT DOCUMENTS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT SUFFICIENT TOLERANCES ARE PROVIDED AND INTEGRATED THROUGHOUT ALL THE ELEMENTS OF THE WORKS.
9. ALL NON-LOAD BEARING ELEMENTS SHALL BE KEPT CLEAR OF THE STRUCTURE SOFTTY BY AN ALLOWANCE DETERMINED FROM SPAN/250 OR CANTILEVER/125 BUT NOT LESS THAN 20mm, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
10. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE.
11. WIND AND EARTHQUAKE LOADS HAVE BEEN DETERMINED IN ACCORDANCE WITH AS1170.2 AND AS1170.4 RESPECTIVELY BASED ON THE FOLLOWING DESIGN CRITERIA :-

WIND LOADS:	
REGION	A3
TERRAIN CATEGORY	2
GUST WIND SPEED $V_{wi}(m/s)$	46
SHIELDING M_s	1.0
TOPOGRAPHIC M_t	1.35
IMPORTANCE M_i	1.0

12. SUPERIMPOSED DEAD LOADS AND LIVE LOADS HAVE BEEN DETERMINED IN ACCORDANCE WITH AS1170.1 AND ARE SHOWN ON THE GENERAL ARRANGEMENT DRAWINGS.

FOUNDATION NOTES

1. REFER TO THE GEOTECHNICAL ENGINEERING REPORT SPECIFIED IN THE GENERAL NOTES FOR SITE SPECIFIC GEOTECHNICAL INFORMATION.
2. FOOTINGS TO BE FORMED ON MATERIAL HAVING AN ALLOWABLE BEARING CAPACITY OF 150kPa. WHERE DIFFICULTY IN REACHING THE REQUIRED CAPACITY IS EXPERIENCED, 'CAPITAL ENGINEERING CONSULTANTS' IS TO BE CONTACTED TO RE-ASSESS THE FOOTING DESIGN.
3. THE CONTRACTOR IS TO ENGAGE AND PAY A GEOTECHNICAL ENGINEER TO VERIFY THE BEARING CAPACITY OF THE FOUNDATIONS PRIOR TO PLACEMENT OF THE BLINDING LAYER.
4. ALL LOOSE MATERIAL AND WATER TO BE CLEANED OUT OF THE FOUNDATION. FORMWORK TO BE USED WHERE THE SIDES OF THE FOUNDATION ARE NOT STABLE.
5. A 50mm MINIMUM BLINDING LAYER SHOULD BE APPLIED TO THE BASE OF ALL FOUNDATIONS IMMEDIATELY AFTER THE FOUNDATION IS PLACED. THE MINIMUM DEPTH OF THE BLINDING LAYER SHALL BE 100mm. THE FOUNDATION MATERIAL IS DEEPER THAN REQUIRED FOR THE FOOTING. THE EXCAVATION IS TO BE BACKFILLED WITH A WEAK MIX CONCRETE (N10) TO THE UNDERSIDE OF THE FOOTING.
6. WHERE AN EXCAVATION IS REQUIRED OR EXISTS BELOW THE BASE OF A FOOTING THE SIDE OF THE EXCAVATION SHALL BE LOCATED AWAY FROM EDGE OF FOOTING BY THE SAME DISTANCE THAT THE EXCAVATION IS BELOW FOOTING BASE. WHERE THIS DISTANCE IS NOT MAINTAINED, 'CAPITAL ENGINEERING CONSULTANTS' SHALL BE NOTIFIED. FOR FURTHER DIRECTION MASS CONCRETE IS TO EXTEND TO THE INFLUENCE LINE AS REQUIRED.
7. ALL WALLS AND COLUMNS SHALL BE CONCENTRIC WITH THE SUPPORTING FOOTINGS UNLESS NOTED OTHERWISE ON THE DRAWINGS.
8. THE CONTRACTOR WILL ENGAGE A GEO-TECHNICAL ENGINEER TO BE ON SITE FULL TIME DURING EXCAVATION WORKS ON THE NORTHERN BATTER



DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

Rev.	Description	By	App.	Date
A	ISSUED FOR C.C.		P.E.P.E.	27.11.2012



capital engineering consultants

Unit 7 / 25-33 Old Northern Road,
Baulkham Hills
Ph: (02) 9686 9153
Fax: (02) 9686 9154
info@capitalengineering.com.au
www.capitalengineering.com.au

Client

MR DAVIN FOSTER

Project

70 INGLESIDE ROAD, INGLESIDE

Title

COVER SHEET

CONCRETE NOTES

1. CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS3600 AND WITH THE PROJECT SPECIFICATIONS.
2. CONSTRUCTION JOINTS SHALL BE PROPERLY FORMED AND USED ONLY WHERE SHOWN ON 'CAPITAL ENGINEERING CONSULTANTS' DRAWINGS OR SPECIFICALLY APPROVED BY 'CAPITAL ENGINEERING CONSULTANTS'.
3. ALL THICKNESSES SHOWN ARE MINIMUM STRUCTURAL REQUIREMENTS. NO REDUCTION IN THICKNESS IS TO BE ALLOWED. ALL TOP SURFACES ARE TO BE FINISHED TO THE FINISH FOR ALL SLAB FALLS AND CONFORMATION OF SLAB STEPS.
4. UNLESS A GROOVE LINE ALLOWANCE HAS BEEN NOTED ON THE DRAWINGS, NO GROOVE LINES ARE PERMITTED, EXCEPT AT SLAB LINES. ALL GROOVE LINES ARE TO BE SUBMITTED TO 'CAPITAL ENGINEERING CONSULTANTS' FOR APPROVAL.
5. THE FACE OF ALL CONCRETE AGAINST WHICH NEW CONCRETE IS TO BE CAST IS TO BE THOROUGHLY MECHANICALLY SCABBLED, FULLY EXPOSING THE AGGREGATE MATRIX.
6. NO PENETRATIONS GREATER THAN 150mm DIAMETER OR EQUIVALENT OF PRESS GREATER THAN 150mm DEPTH ARE TO BE PERMITTED. ALL PENETRATIONS ON THE STRUCTURE DRAWINGS SHALL BE MADE IN CONCRETE SLABS FOR ALL OTHER CONCRETE MEMBERS NO PENETRATIONS. CHASES OR EMBEDMENTS SHALL BE MADE WITHOUT PRIOR APPROVAL BY 'CAPITAL ENGINEERING CONSULTANTS'.
7. CONDUITS GREATER THAN 25mm DIAMETER CAST INTO CONCRETE MEMBERS SHALL BE SPACED AT A MAXIMUM DISTANCE POSSIBLE AND UNDER NO CIRCUMSTANCES CLOSER THAN A CLEAR SPACING OF TWICE THE LARGER CONDUIT DIAMETER FROM PARALLEL REINFORCEMENT OR ANY OTHER CONDUIT.

CONCRETE

1. THE CHARACTERISTIC COMPRESSIVE STRENGTH (f_c) AT 28 DAYS OF IN PLACE CONCRETE SHALL BE AS NOTED ON THE DRAWINGS.
2. MAXIMUM AGGREGATE SIZE.....20mm
3. SLUMP.....80mm
4. ALL CONCRETE SHALL BE VIBRATED.
5. ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH THE SPECIFICATION
6. ALL CONCRETE SHALL BE SAMPLED AND TESTED IN ACCORDANCE WITH AS1012 AND THE PROJECT SPECIFICATION.
7. ALL FORMWORK SHALL COMPLY WITH AS3610

REINFORCEMENT

1. REINFORCEMENT IS TO BE MANUFACTURED IN ACCORDANCE WITH AS1302 AND SHALL BE FIXED AS SHOWN ON DRAWINGS.
2. MATERIAL IS INDICATED BY THE FOLLOWING SYMBOLS:-
Y DEFORMED BAR GRADE 400
N PLAN ROUND BAR GRADE 500 (NORMAL DUCTILITY)
R PLAN ROUND BAR GRADE 250
F FABRICS GRADE 450
3. THE BAR SIZE IS INDICATED BY A NUMBER AFTER THE SYMBOL WHICH INDICATES THE BAR DIAMETER IN MILLIMETERS.
4. REINFORCEMENT SPACING NOMINATED ON DRAWINGS IS TO ASSIST SCHEDULER AND STEELFIXER TO ASSESS TOTAL NUMBER OF BARS REQUIRED. WHERE BARS PLACED IN ACCORDANCE WITH SPACING NOMINATED FULL WITH OTHER STRUCTURAL REQUIREMENTS, PREFERENCE IS TO BE GIVEN TO RELOCATING BARS IF COMPLETED. ENGINEERS IS TO BE CONTACTED IN THE EVENT THAT REINFORCEMENT IS NEEDED TO BE CUT ON SITE PRIOR TO CONTINUING.
5. LAP LENGTHS TO REINFORCEMENT BARS TO BE AS NOTED ON THE RELEVANT DRAWINGS.
6. WELDING OF REINFORCEMENT BARS IS NOT PERMITTED UNLESS APPROVED.
7. COVER SHALL BE AS NOTED ON THE RELEVANT DRAWINGS.
8. CONCRETE COVERS NOTED ARE MEASURED FROM THE FORMWORK OR GROUND FACE TO THE REINFORCEMENT. REINFORCEMENT COMPONENT 'a' IN COLUMNS AND BEAMS TO THE OUTSIDE OF TIES OR LIGATURES.
9. COVER TO BE MAINTAINED DURING POURING BY THE USE OF PLASTIC CHAIRS OR PLASTIC TIPPED METAL CHAIRS.
10. WHERE NO REINFORCEMENT IS SHOWN ON THE DRAWING AT RIGHT ANGLES TO THE MAIN REINFORCEMENT DISTRIBUTION REINFORCEMENT IS TO BE PROVIDED.

MASONRY NOTES

1. ALL MASONRY SHALL COMPLY WITH AS3700 AND THE PROJECT SPECIFICATION.
2. CONCRETE MASONRY UNITS TO HAVE A MINIMUM CHARACTERISTIC UNCONFINED STRENGTH OF 20 MPa IN ACCORDANCE WITH AS2733.
3. MASONRY TO BE BEDDED IN FRESHLY PREPARED MORTAR.
- (G) CONCRETE BLOCKS :-
MORTAR MIX TO BE UNIFORMLY MIXED IN A RATIO OF ONE PART CEMENT, ONE PART LIME AND SIX PARTS SAND CONFORMING TO AS2701. BRICKS LAM SHALL NOT BE USED.
- (b) CLAY BRICKS :-
MORTAR MIX TO BE UNIFORMLY MIXED IN THE RATIO OF ONE PART CEMENT, THREE PARTS SAND AND ONE FOURTH PART LIME CONFORMING TO AS2701. BRICKS LAM SHALL NOT BE USED.
4. GROUT SHALL HAVE A COMPRESSIVE STRENGTH (f_c) OF 20 MPa AT 28 DAYS. A SLUMP OF 120mm IN A 150mm SLUMP CONE, A MAXIMUM AGGREGATE SIZE OF 10mm AND BE IN ACCORDANCE WITH AS2010.
5. BEDDING OF MASONRY SHALL BE FULL FACE WITH CROSS JOINTS COMPLETELY FILLED. JOINT THICKNESS SHALL NOT EXCEED 12mm.
6. PROVIDE WALL TIES AT 600mm MAXIMUM CENTRES VERTICALLY AND HORIZONTALLY. REFER TO MASONRY DETAILS FOR WALL TIE SETOUT AT OPENINGS.
7. THE CAVITY SHALL NOT EXCEED 100mm AND SHALL NOT BE SMALLER THAN 40mm UNLESS NOTED OTHERWISE. KEEP CAVITY CLEAN AND CLEAR OF OBSTRUCTIONS.
8. RAKING OF JOINTS IS NOT PERMITTED WITHOUT PRIOR APPROVAL FROM 'CAPITAL ENGINEERING CONSULTANTS'.
9. ALL WALLS TO BE KEPT STABLE AT ALL STAGES OF CONSTRUCTION AND NOT BE OVER STRESSED AT ANY TIME.
10. UNLESS NOTED OR SHOWN OTHERWISE ON DRAWINGS THERE ARE TO BE NO CHASES OR RECESSES PERMITTED IN MASONRY WALLS WITHOUT THE PRIOR APPROVAL OF 'CAPITAL ENGINEERING CONSULTANTS'.

TIMBER NOTES:

11. AS 1684 IS RELEVANT TO DOMESTIC CONSTRUCTION IN SHELTERED LOCATIONS.
12. SOFTWOOD MINIMUM GRADE F7 U.N.O.
13. EXTERNAL TIMBER TO BE EITHER HARDWOOD DURABILITY CLASS 1 OR II OR IMPREGATED GRADE F7. PRESSURE TREATED TO AS1684 AND RE-DRILLED PRIOR TO USE. SUPPLEMENTARY TREATMENT SHALL BE APPLIED TO ALL CUT SURFACES.
14. ALL BOLTS IN TIMBER CONSTRUCTION TO BE MIN. 10mm DIA. UNLESS NOTED OTHERWISE. EXACT SIZE WASHERS UNDER HEADS AND NUTS TO BE AT LEAST 2.5 TIMES BOLT DIAMETER.
15. FINISHED TIMBER SIZES.
SEASONED SOFTWOOD -45-90mm
UNSEASONED SOFTWOOD -F7+3-3mm
SEASONED HARDWOOD +2-0mm
UNSEASONED HARDWOOD -3-3mm
(SEE ALSO CLAUSE 1.6.2 IN AS 2082)
16. ALL TIMBER JOINTS AND NOTCHES TO BE 100mm MIN. AND NOTCHES NOT TO EXCEED 1/3 OF THE GRN. DIM VENS OR OTHER MINOR DEFECTS. FOR JOISTS SPANNING GREATER THAN 3m AND LESS THAN 4.2m PROVIDE TWO ROWS OF BLOCKING MID-SPAN. FOR JOISTS SPANNING GREATER THAN 4.2m AND UP TO 6.0m PROVIDE TWO ROWS OF BLOCKING AT 1/3 POINTS. FOR DEEP JOISTED FLOORS WHERE A CONTINUOUS TRIMMING JOIST IS NOT PROVIDED AT END OF JOISTS. BLOCKING IS REQUIRED AT 1800 MAXIMUM CENTERS. (REFER TO AS 1684)
17. BLOCKING IS NOT REQUIRED FOR JOISTS SPANNING LESS THAN 3m.

STRUCTURAL STEELWORK NOTES

- S1 ALL MASONRY, FABRICATION AND ERECTION SHALL COMPLY WITH THE REQUIREMENTS OF AS4100, AS1538, AS1554 AND THE SPECIFICATION.
- S2 UNLESS SHOWN OTHERWISE, ALL STEEL SHALL BE IN ACCORDANCE WITH AS204 GRADE 300. ALL STEEL HOLLOW SECTIONS SHALL BE GRADE 300. ALL STEEL CONNECTIONS SHALL BE IN ACCORDANCE WITH AS1538. ALL WELDS SHALL BE IN ACCORDANCE WITH AS1538.
- S3 UNLESS SHOWN OTHERWISE ON THE DRAWINGS, ALL CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FOLLOWING MINIMUM REQUIREMENTS:
(i) ALL WELDS SHALL BE 6MM CONTINUOUS FILLET WELDS ALL ROUND.
(ii) ALL BOLTS SHALL BE M20 - 8.8/S, WITH A MINIMUM OF 2 BOLTS PER CONNECTION.
(iii) PURLIN BOLTS TO BE M12 - 4.8/S WITH A MINIMUM OF 2 BOLTS PER PURLIN END.
(iv) ALL GUSSET AND CLEAT PLATES SHALL BE 10mm THICK. (U.N.O.)
(v) ALL C/P PLATES SHALL BE 10 mm THICK. (U.N.O.)
(vi) ALL BOE PLATES SHALL BE 10 mm THICK. (U.N.O.)
- S4 BOLT DESIGNATION:
4.8/S REFERS TO COMMERCIAL BOLTS OF STRENGTH GRADE 4.8 TO AS1111 TIGHTENED TO A SNUG TIGHT CONDITION.
8.8/S REFERS TO HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS1252 TIGHTENED TO A SNUG TIGHT CONDITION.
8.8/7B REFERS TO HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS1252 FULLY TENSIONED TO AS4100 AS A BEARING JOINT.
8.8/7F REFERS TO HIGH STRENGTH STRUCTURAL BOLTS OF GRADE 8.8 TO AS1252 FULLY TENSIONED TO AS100 AS A PROCTION JOINT.
- S5 HIGH STRENGTH BOLTED JOINTS SHALL BE IN ACCORDANCE WITH AS1511. THE SPECIFIED BOLT TENSION SHALL BE OBTAINED BY USE OF THE 'PART TURN' METHOD OF TIGHTENING.
- S6 ALL WELDS SHALL BE SP (SPECIAL PURPOSE) IN ACCORDANCE WITH AS1554. ALL ELECTRODES SHALL BE CLASS E48. ALL BUTT WELDS SHALL BE FULL STRENGTH COMPLETE PENETRATION WELDS.
- S7 SUBSTITUTIONS FOR STEEL SECTIONS SHOWN ON DRAWINGS SHALL NOT BE MADE WITHOUT THE APPROVAL OF THE ENGINEER.
- S8 ALL STEELWORK BELOW GROUND OR FINISHED SURFACE LEVEL IS TO

BRICK LINTEL SCHEDULE			
OPENING SIZE (mm)	INTERNAL SKIN	EXTERNAL SKIN	END BEARING
UP TO 900mm	100 x 8mm FLAT BAR	100 x 6mm FLAT BAR	100 mm
1200	100 x 10mm FLAT BAR	100 x 8mm FLAT BAR	100 mm
1500	100 x 100 x 8mm ANGLE	100 x 100 x 8mm ANGLE	150 mm
2100	150 x 100 x 8mm ANGLE	150 x 100 x 6mm ANGLE	150 mm
2400	150 x 100 x 8mm ANGLE	150 x 100 x 8mm ANGLE	150 mm
2700	150 x 100 x 10mm ANGLE	150 x 100 x 10mm ANGLE	150 mm
3000	150 x 100 x 12mm ANGLE	150 x 100 x 12mm ANGLE	150 mm

*ALL STEEL LINTELS TO BE HOT DIPPED GALVANIZED

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CONSTRUCTION CERTIFICATION

Date	27.11.2012	Design	Approved
Scale	1:100	Drawn	P.E.P.E. 12/04/2015
Project Number	ST12303	Drawing Number	As Issued
		Revision	Building Certifiers P/L



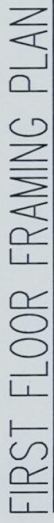
CONCRETE QUALITY			
ELEMENT	SLUMP	AGGREGATE (MAX. SIZE)	CEMENT TYPE
PAD FOOTING	80mm	20mm	A
			20MPa

REINFORCEMENT COVER SCHEDULE				
MEMBER	COVER (mm)			EXPOSURE CLASSIFICATION
	TOP	BOTTOM	SIDES	
PAD FOOTING	50mm	50mm	50mm	B1

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CONSTRUCTION CERTIFICATION

Date	27.11.2012	Drawn	P.F.	2012/10605	PAUL L. BUGH B.E. (Mechatronics/Robotics), M.I.E. Aust.
Project Number	ST12303	Drawing Number	\$1	Revision	1
		ST12303		ST12303	



1. ALL EXPOSED TIMBER TO BE PRESSURE TREATED TO A51684
2. ALL DETAILS TO BE CONFIRMED DURING CONSTRUCTION
3. ALL TIMBER TO BE IN ACCORDANCE TO A51684
4. ALL EXPOSED STEEL TO BE PRESSURE GALVANIZED
5. ALL STEEL FIXINGS TO BE IN ACCORDANCE TO A54100
6. ROOF TO BE BUILT IN ACCORDANCE TO A51684
7. ENGINEER IS TO BE CONSULTED FOR ANY FLOOR JOISTS WHICH MAY CARRY LOAD BEARING WALLS FOR ROOF SUPPORT

■ DENOTES EXISTING LOAD BEARING GROUND WALLS

□ DENOTES EXISTING NON-LOAD BEARING GROUND WALLS

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

Rev.	Description	By	App.	Date
A	ISSUED FOR C.C.	P.E.	P.E.	27.11.2012



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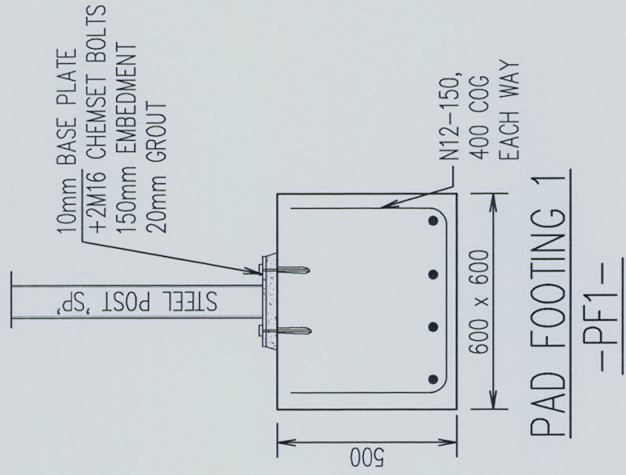
Client

Project

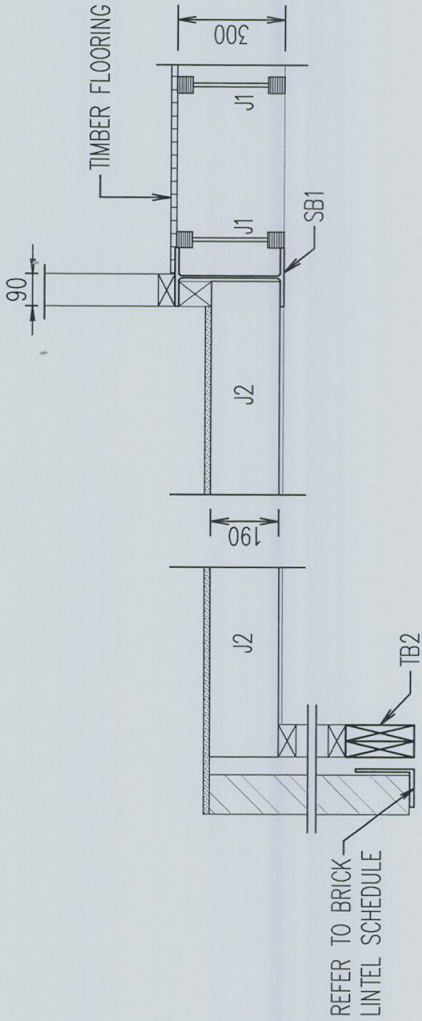
MR DAVIN FOSTER

70 INGLESIDE ROAD, INGLESIDE

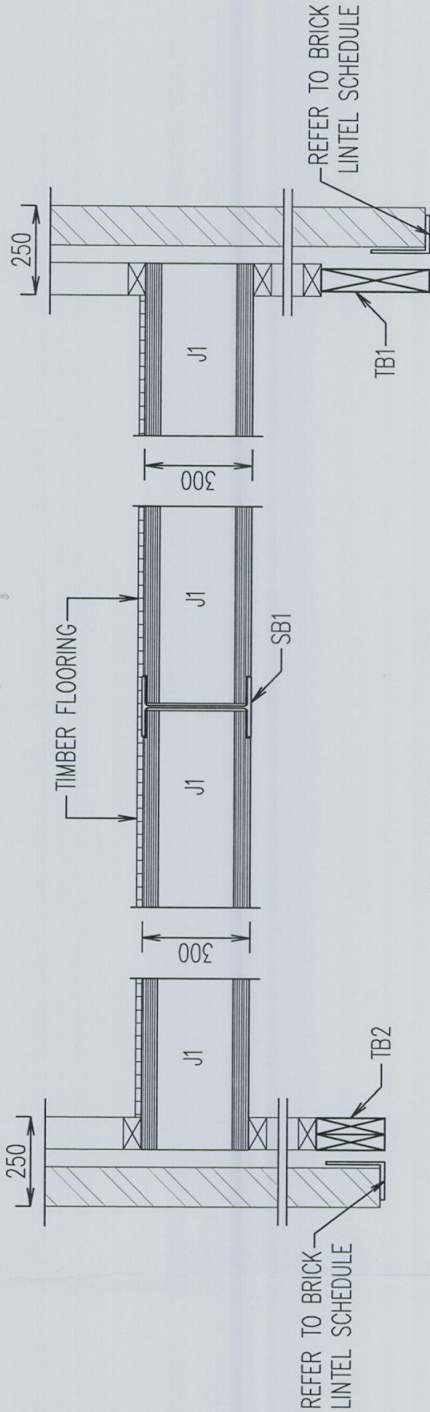
STEEL & TIMBER MEMBER SCHEDULE		
MARK	TYPE & GRADE	SIZE
SB1	STEEL BEAM	310 UB 32.0
SP	STEEL POST	89 x 89 x 5mm SHS
TB1	TIMBER BEAM	300 x 63 HYPSPAN OR 2/290 x 45 F7
TB2	TIMBER BEAM	2/190 x 45 F7
TB3	TIMBER BEAM	2/290 x 35 F7
TB4	TIMBER BEAM	300 x 45 HYPSPAN
J1	TIMBER JOISTS	300-45 HYJOIST @ 450 CTS
J2	TIMBER JOISTS	190 x 45 F7 (TREATED PINE) @ 450 CTS



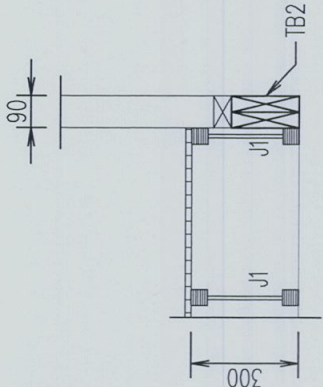
First Floor Framing Plan



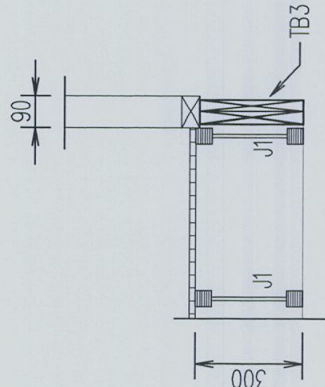
SECTION 1
SCALE 1:20



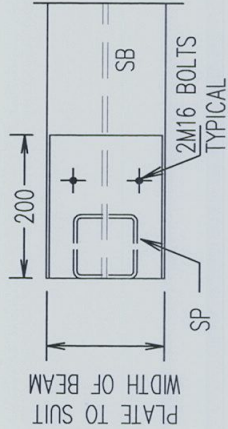
SECTION 2
SCALE 1:20



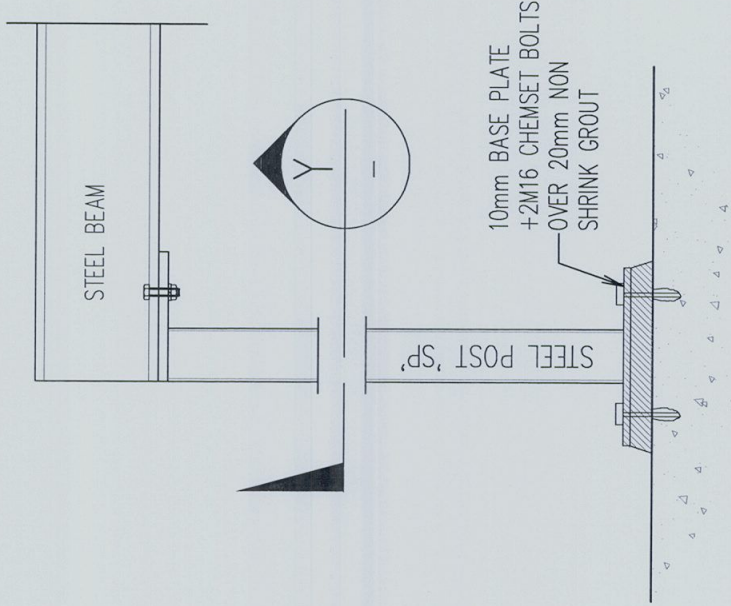
SECTION 3
SCALE 1:20



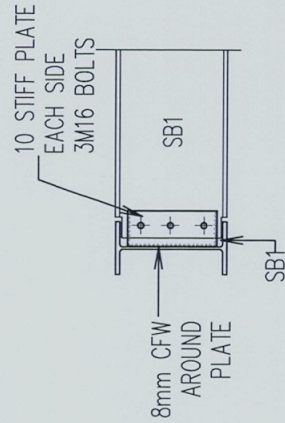
SECTION 4
SCALE 1:20



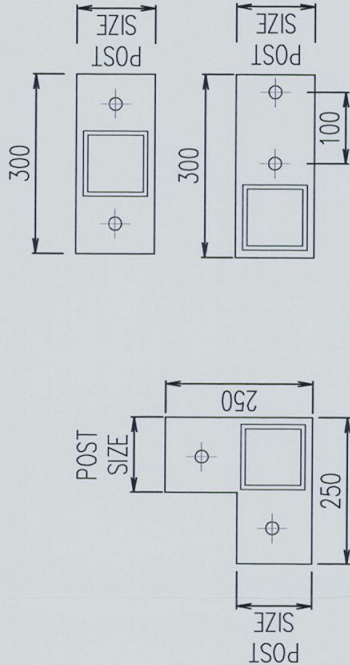
SECTION Y
SCALE 1:20



STEEL POST TO SLAB
CONNECTION DETAIL



DETAIL A - STEEL BEAM
CONNECTION DETAIL



SHS STEEL POST BASE PLATE DETAILS

SCALE 1:10

1. ALL BASE PLATES TO BE 10mm PLATE (8mm CFW)
2. ORIENTATE BASE PLATE TO SUIT WALL LOCATION
3. 2M16 CHEMSET ANCHOR BOLTS WITH 75mm EMBEDMENT

DO NOT SCALE DRAWING, USE FIGURED DIMENSIONS ONLY

Rev.	Description	By.	App.	Date
A	ISSUED FOR C.C.		P.E.	27.11.2012



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Client
MR DAVIN FOSTER

Project
70 INGLESIDE ROAD, INGLESIDE

Title
**FIRST FLOOR
SECTIONS & DETAILS**

CONSTRUCTION CERTIFICATION
This drawing forms part of the

Date 27.11.2012	App. Design P.E.	Drawn P.E.	Project Number ST12303	Drawing Number SZ	Revision A
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