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CONSTRUCTION CERTIFICATE DETERMINATION

Issued under the Environmental Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

CONSTRUCTION CERTIFICATE NO:	**136/2007**

DETERMINATION

Decision:	Approved
Date of Decision:	5th June 2007

SUBJECT LAND

Address:	43 Crescent Road, Newport
Lot No, DP:	Lot 18C DP 394831

DESCRIPTION OF DEVELOPMENT	Construction of a new two storey dwelling with double garage and swimming pool.

APPLICANT

Name:	Newport Crescent PTY LTD
Address:	43 Crescent Road, Newport
Contact Number: (tel)	tel: 0400 470 062

OWNER

Name:	Newport Crescent PTY LTD
Address:	43 Crescent Road, Newport
Contact Number: (tel)	tel: 9997 3326 mob: 0400 470 062

BUILDER OR OWNER/BUILDER

Owner Builder:	Trent Barnabas
Owner Builder permit No:	320202P

RECEIVED
- 7 JUN 2007
PITTWATER COUNCIL

Unit 3/6 Wilmette Place Mona Vale NSW 2103 . PO Box 870 Narrabeen NSW 2101
tel 9944 8222 . fax 9944 6330 . email: info@thecgroup.com.au . www.thecgroup.com.au . acn 111 092 632

PLANS AND SPECIFICATIONS

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with "The Certification Group" stamp.

DRAWING NUMBER	DATE
Architectural Plan No's: DA2001 Rev C, DA2002 Rev C, DA2003 Rev C, DA3001 Rev C, DA3003 Rev C, DA3004 Rev C, DA 3007 Rev C Plan No's: DA3002 Rev B, DA 3005 Rev B, DA 3006 Rev B Plan No: DA 3008 Rev C (April 2006) prepared by: Elizabeth Leong Architects P/L	December 2005

ATTACHMENTS

Structural Plan No: 0715-1, 0715-2, prepared by Michael Gergich Consulting Engineer Structural and Civil Engineer	26/03/2007
Stormwater Plan No: 0715-3, prepared by Michael Gergich Consulting Engineer Structural and Civil Engineer	26/03/2007
Traffic Engineering Consultant report, prepared by Nick Fadeev Civil & Traffic Engineering Consultant	26/04/2007
Driveway Plan No's: 7002/1, 7002/3 No's: 7002/2 A, 7002/4 A, 7002/5 A prepared by Nick Fadeev Civil & Traffic Engineering Consultant	April 2007 13/05/2007
Access Driveway Profile	26/03/2007
Landscape Plan, prepared by Rebeccaantcliff Garden Design	27/03/2007
Arborist Report, prepared by National Tree Management	September 2006
BASIX Certificate No: 690835	15/08/2006
BASIX Certification, prepared by Trent Barnabas	15/05/2007
Stormwater Management Certification , prepared by Michael Gergich	14/05/2007
Colour Schedule	22/05/2007
Long Service Levy Receipt No: 214433, $1681.80	1/05/2007
Sydney Water Quick Check Stamp Property No: 3410472	28/03/2007
Construction Certificate Application Form	30/04/2007

CERTIFICATE

I certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications as verified by the undersigned as may be shown on that documentation) will comply with the requirements of the Environmental Planning and Assessment Regulation, as are referred to in section 81A(5) of the Environmental Planning and Assessment Act, 1979"

SIGNATURE	
DATE OF ENDORSEMENT	**5th June 2007**
CERTIFICATE NO	**136/2007**

CERTIFYING AUTHORITY

Name of Certifying Authority	THE CERTIFICATION GROUP P/L
Name of Accredited Certifier	Wayne Treble
Registration No	BPB 0413 - NSW Building Professionals Board
Contact No	PH (02) 9944 8222, FAX (02) 9944 6330
Address	PO BOX 870 NARRABEEN NSW 2101

DEVELOPMENT CONSENT

Council	Pittwater
Development Consent No	N0623/06
Date of Determination	19th March 2007

BUILDING CODE OF AUSTRALIA CLASSIFICATION	**1a & 10b**

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COUNCIL COPY

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

APPLICATION FORM

Made under the Environmental Planning and Assessment Act 1979, Sections 81A(2)(4), 84A, 85A, & 109C (1)(b),
Environmental Planning and Assessment Regulation 2000, clauses 126(1), 139(1), or 157(1)
To complete this form, please place a cross in the boxes and fill out the white sections as appropriate.

Application Sought

☐ Complying Development Certificate
☒ Occupation Certificate
☒ Construction Certificate
☒ Principal Certifying Authority

Office Use Only
CC: 13612007
Job: TCG 149.07

Subject Land

Address 43 CRESCENT RD NEWPORT

Lot No, DP, SP, vol/fol. Etc LOT 18C DP 394831

Details of the applicant

~~Name~~/Company NEWPORT CRESCENT PTY LTD Contact Person

Postal Address 43 Crescent rd newport Postcode 2106 State NSW

E-mail christinebarnabas@yahoo.com Daytime telephone 0400 470 062

Fax 9997 3326 Mobile 0400 470 062

Applicant Signature Date 30/04/07

Consent of Owner(s)

I/ We as the owner/s of the above property authorise for either Mark Wysman, or Wayne Treble to provide Construction Certification and to act as the Principal Certifying Authority for the subject building works, including site inspections and to lodge the Notice of Commencement / Appointment of the Principal Certifying Authority with the relevant Council.

~~Name(s)~~/ Company NEWPORT CRESCENT PTY LTD

Address 43 Crescent Rd Newport Postcode 2106 State NSW

Phone No 9997 3326 Mobile 0400 470 062 Fax 9997 3326

Signature of Registered owner(s). Company stamp or seal to be affixed if applicable

TRENT BARNABAS

TREVOR BARNABAS

Date 30/04/07

Description of the work proposed

Type of work proposed:

☒ New Building ☐ Additions / Alterations

Class of Building under Building Code of Australia: class 1a + 10b

Description of the work: four bedroom, 2 storey Home with double garage + swimming pool

Construction Cost of Works $ 345,000

Details of Builder

Contact Person: Trent Barnabas

Name /Company: NEWPORT CRESCENT PTY LTD

Fax: 9997 3326 Mobile: 0400 470 062

Daytime telephone: 9997 3326 Email: christinebarnabas@yahoo.com

Builders address: 43 Bungan Head Rd Newport Postcode: 2106

Details of the relevant Development Consent granted

Consent No. N 0623/06 Date the consent was granted: 19 March 2007

Applicant Checklist

☑ Complete Application Form – Pages 1 & 2

☑ Attach supporting documentation as nominated on Page 3

☑ Complete statistical Return on Page 4

Private Policy

The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you are going to erect a building. If you do not provide the information to the consent authority, you cannot commence the work. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact the certification group if the information you have provided in this notice is incorrect or changes.

Date of receipt (To be completed by Certifying Authority)

Date 2/5/07

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the site area of land?	Area in square meters 1004.20 m²
Gross floor area of existing building? If no existing building, write NIL	Area in square meters
What is the existing building or site used for at present?	Main Uses Family Home
	Other Uses
Does the site contain dual occupancy?	☐ Yes ☒ No
Gross floor area of proposed building?	In square meters 445.7 m²
What will the proposed building be used for?	Main Uses Family Home
	Other Uses
How many dwellings?	1
Are pre-existing at this property?	Dwellings Yes
Are proposed to be demolished?	Dwellings Yes
Are proposed to be constructed?	Dwellings Yes
Are attached to an existing building?	Dwellings No
Are attached to a new building?	Dwellings No
How many storeys will the building consist of?	Storeys 2

What are the main building materials? *(Please tick appropriate boxes)*

WALLS	ROOF	FLOOR	FRAME
☐ Full Brick	☒ Aluminium	☒ Concrete or slate	☒ Timber
☐ Brick Veneer	☐ Concrete or Slate	☒ Timber	☐ Steel
☐ Concrete or Stone	☐ Tile	☐ Other	☐ Aluminium
☐ Steel	☐ Fibrous Cement	☐ Unknown	☐ Other
☐ Fibrous Cement	☐ Steel		☐ Unknown
☒ Timber/weatherboard	☐ Other		
☐ Cladding- aluminium	☐ Unknown		
☐ Curtain glass			
☐ Other			
☐ Unknown			

THE CERTIFICATION GROUP - 28 Cook Terrace Mona Vale NSW 2103 . PO Box 870 Narrabeen NSW 2101
tel 9944 8222 . fax 9944 6330 . email: info@thecgroup.com.au . www.thecgroup.com.au . acn 111 092 632

NSW OFFICE OF
Fair Trading
DEPARTMENT OF COMMERCE
for consumers & traders

TRENT BARNABAS
43 CRESCENT ROAD
NEWPORT 2106

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :320202P
Receipt:AA2375850

Issued:01/05/2007
Amount:$135.00

Building Site:

43 CRESCENT ROAD, NEWPORT 2106

Authorised Building Work:

N0623/06 DEMOLISION OF EXISTING HOUSE WITH A NEW 2 STOREY 4 BEDROOM HOME BEING BUILT WITH A SWIMMING POOL AND 2 CAR GARAGE

ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than $12,000. A certificate of insurance must be attached to any contract for sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted. If payment is made by cheque, the permit is conditional on the cheque being met at presentation.

Issuing Officer

********** END OF PERMIT **********

the certification group

enhancing building performance

5th June 2007

Pittwater Council
PO BOX 882
MONA VALE NSW 1660

Dear Sir/Madam,

Re: Development Application No: N0623/06
Our Construction Certificate No: 136/2007
Premises: 43 Crescent Road, Newport

Please find attached a copy of the following:-

- Construction Certificate, stamped approved plans and relevant documentation.
- Notice to Commence Building Work.
- Appointment of a Principal Certifying Authority.

In accordance with the regulations we have enclosed a cheque for the sum of $30.00 for the submission of the Part 4A certificate.

Should you have any further enquiries please do not hesitate to contact us and we will be pleased to assist you.

NB:(Please forward receipt for the above $30.00 fee to The Certification Group P/L. PO Box 870 Narrabeen NSW 2101)

Yours faithfully,

Per:

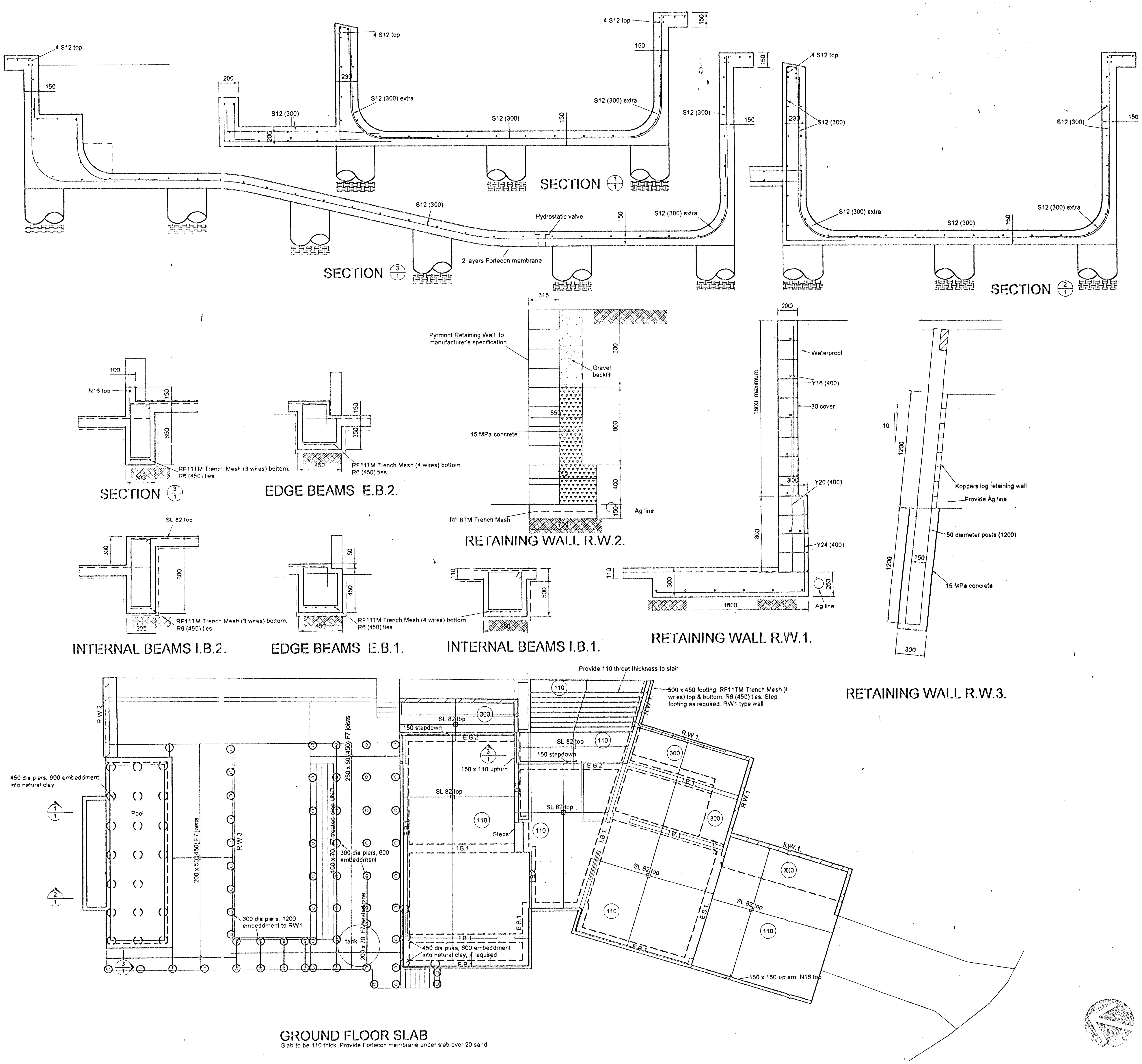
Treble.

Wayne Treble - Director
The Certification Group P/L

$30.00 6/6/07.
R. 217256

Unit 3/6 Wilmette Place Mona Vale NSW 2103 . PO Box 870 Narrabeen NSW 2101
tel 9944 8222 . fax 9944 6330 . email: info@thecgroup.com.au . www.thecgroup.com.au . acn 111 092 632

COUNCIL COPY



CONCRETE.

C1. All workmanship and materials shall be in accordance with AS 3600 current edition with amendments, except where varied by the contract documents

C2. Concrete Quality
ALL the requirements of the ACSE Concrete Specification Document 1 shall apply to the formwork, reinforcement and concrete unless noted otherwise

Element	f'c MPa (28 days)	Slump	Max age size	Cement type
FOOTINGS	25	80	20	SL
ALL CONCRETE U N O	32	80	20	SL

Plant/Project control testing shall be carried out in accordance with AS 3600
C3 No admixture shall be used in concrete unless approved in writing

C4 Clear concrete cover in mm to all reinforcement shall be as follows unless shown otherwise

Exposure classification to AS 3600	Cast against formwork: Interior	Cast against formwork: Exterior	Cast against ground: In contact with ground	Cast against ground: Protected by membrane	Cast against ground: No membrane
A1	20	30	30	30	40
A2	20	30	30	40	50
B1	20	40	40	50	60
B2	20	45	45	55	65

Exposure classification for exterior concretre - B1
All reinforcement shall be firmly supported on mild steel plastic tipped chairs, plastic chairs or concrete chairs as not greater than 1 metre centres both ways. Bars shall be tied at alternative intersections. In expsoure conditions greater than B1 use only plastic chairs

C5 Concrete sizes shown do not include thicknesses of applied finishes.

C6 Depths of beams are given first and include slab thickness

C7. For chamfers, drip groves, reglets, etc, refer to Architects details, maintain cover to reinforcement at these details

C8 No holes, chases or embedment of pipes other than those shown on the structural drawings shall be made in concrete members without the prior written approval of the Engineer

C9 Construction joints where not shown shall be located to the approval of the Enginer

C10 The finished concrete shall be a dense homogeneous mass, completely filling the formwork thoroughly embedding the reinforcement and free of stone pockets. All concrete including slabs on ground and footings shall be compacted with mechanical vibrators

C11 Curing of all concrete is to be achieved by keeping surfaces condinuously wet for a period of 3 days, and provention of loss of moisture for a total of 7 days followed by a gradual drying out. Approved sprayed on cufring compounds may be used where no floor finishes are proposed. Polythene shoeting or wet hessian may be used if protected from wind and traffic.

C12 Construction support propping is to be left in place where needed to avoid over stressing the structure due to construction loading. No mesonary or partition walls are to be constructed on suspended levels until all propping is removed and the member has absorbed its dead load deflection

C13 he Engineer shall be given 48 hours notice for reinforcement inspection and concrete shall not be delivered unti final approval obtained

C14 Condultes, pipes etc, shall only be located in the middle one third of slab depth and speced at not less than 3 diametres

C15. Reinforcments symbols
S Donotes Grade 230 S Hot Rolled Deformed Bars to AS 1302
Y Donotes Grade 410 Y Bars to AS 1302 Grade Y
R Denotes Grade 230 R Hot ROlled Plain Bars to AS 1302
F Denotes hard-Drawn SWire Reinforcing Fabric to As 1304
The figures following the symbol are the number of millimetres in the bar diameter. The figures following the fabric symbol F is the reference number for fabric to AS 1304

C16 Reinforcement is represented diagramatically and not necessarily in true projection

C17 Splices in reinforcement shall be made only in positions shown or otherwise approved in writin the Engineer. Laps shall be in accordance with AS 3600 and not elss than the developme each bar

C18 Fabric reinforcement shall have splices made so that the overlap messured betwee transverse wires of each sheet of fabric, is not less than spacing of those wires plus 50mn

C19 Welding of reinforcement shall not be permitted unless shown on the structu by the Engineer

C20 Jaggles to bars shall be 1 bar diameter over a length of 12 bar diameters

C21 Bundled bars shall be tied together at 3;0 bar diameter centres with three wr

C22 Where transverse tie bars are not shown provide Y12 at 300mm spliced whe with main bars 300mm U N O

STRUCTURAL STEEL.

S1 All workmanship and materials shall be in accordance with AS 4100 and AS 1554, except where varied by the contract documents

S2 Unless noted otherwise, all steel shall be Grade 250 for plates and Grade 300 for other members

S3. Three copies of workshop fabrications drawings shall be submitted to the Engineer for review at least 10 working days prior to commencement of fabrications

S4 Bolt Designations
4.6/S Denotes commercial bolts of Grade 4.6 to AS 1111, snug tightened
8.8/TB Denotes high strength structural bolts of Grade 8.8 to AS 1252, fully tensioned to AS 4100 as a bearing joint
8.8/TF Denotes high strength structural bolts of Grade 8.8 to AS 1252, fully tensioned to AS 4100 as a friction joint with facing surfaces left uncoated

S5 Unelss noted otherwise all bolts shall be M16 Grade 8.8/s. No connection shall have less than 2 bolts. All bolts, nuts and washers shall be hot dip galvanses

S6 TB and TF bolts to be installed using approved load indicating washers

S7 Unless noted, all welds shall be 6mm continuous fillet type GP using E41XX electrodes - butt welds shall be complete penetration butt welds to AS 1554

S8 Unless noted otherwise all cleat plates shall be 10mm thick

S9 Provide seal plates to hollow sections, with "breather" holes if members to be hot dip galvanised

S10 All steelwork shall be securely temporarily braced as necessary to stabilise the structure during erection

S11 Structural steelwork not encased in concrete shall have surface treatment in accordancw with the Specification

S12 The builder shall provide all cleats and drill all holes necessary for fixing steel to steel and other elements to steel whether or not detailed in the drawings
Y16 (400)

GENERAL.

G1 These drawings shall be read in conjunction with all archetectural and other consultants' drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancy shall be referred tot he Engineer before proceeding with the work

G2 All materals and workmanship shall be in accordance with the relevant and current SAA codes and with the By-Laws and Ordinances of the relevant building authorities except where varied by the project specification.

G3 All dimensions shown shall be verified by the builder on site. Engineer's drawing shall not be scaled for dimensions

G4 During construction the structure shall be maintained in a stable condition and no part shall be overstressed. Temporary bracing shall be provided by the builder to keep the works and excavations stable at all times

FOUNDATIONS.

F1 Footings have becan designed for an allowable bearing pressure intensity of 300kPa. The foundation materials hall be approved by the Engineer for this pressure before placing reinforcement of concrete

F2 Footngs shall be located centrally under walls and columns unless noted otherwise

F3. All organic material, soft spots, top soil and any other deleterious material shall be removed from under footings and slabs. Proff roll ground with vibrating roller and replace any soft spots with good fill. Backfilling to footing excavation and sub bases to slabs on ground must consist of approved material compacted in 150mm thick layers to at least 95% modified Australian compaction

MASONRY WALLS

M1 All workmanship and materials shall be in accordance with AS 3700

M2 Strengths of masonry units and type of mortar shall be as follows

Element	Fuc Mpa	Mortar C L S
Brickwork	20	1 0.5 4.5
Blockwork	Grade 15	1 0.25 3

Core filling grout to have a characteristic strength of 20MPa

M3 Mortar admixtures shall not be used without the written approval of the Engineer

M4 Masonry walls supporting slabs and beams shall have a pre-greased two layer galvanised steel slip joint between concrete and masonry unless noted otherwise

M5 All masonry walls supporting or supported by concrete floors shall be provided with vertical joints to match any control joints in the concrete

M6 Non lead bearing walls shall be separated from concrete above by 12mm thick closed cell polyethylene strip

M7 No chases or recesses are permitted in load bearing and structural masonry without the written approval of the Engineer

M8 All load bearing and structural masonry shall be laid on full beds of mortar and all perpends shall be solidly filled with mortar

M9. Provide vertical control joints at 10m maximum centres and 5m maximum from corners in masonry walls

TIMBER.

T1 All timber design construction and material to AS 1720.1 and AS 1720.2 U N O

T2 AS 1684 shall be applied to domestic construction in sheltered locations

T3 Softwood to be minimum grade F7 U N O. Hardwood to be minimum grade F14

UNDERPINNING.

U1. Where beams are to be installed to support walls over new openings, walls are to be effectively supported by tomming down to solid support. Cut opening and install beams, wedge between beam and brickwork to floor over to transfer load from toms and grout between beams and brickwork or floo before removing tomming

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

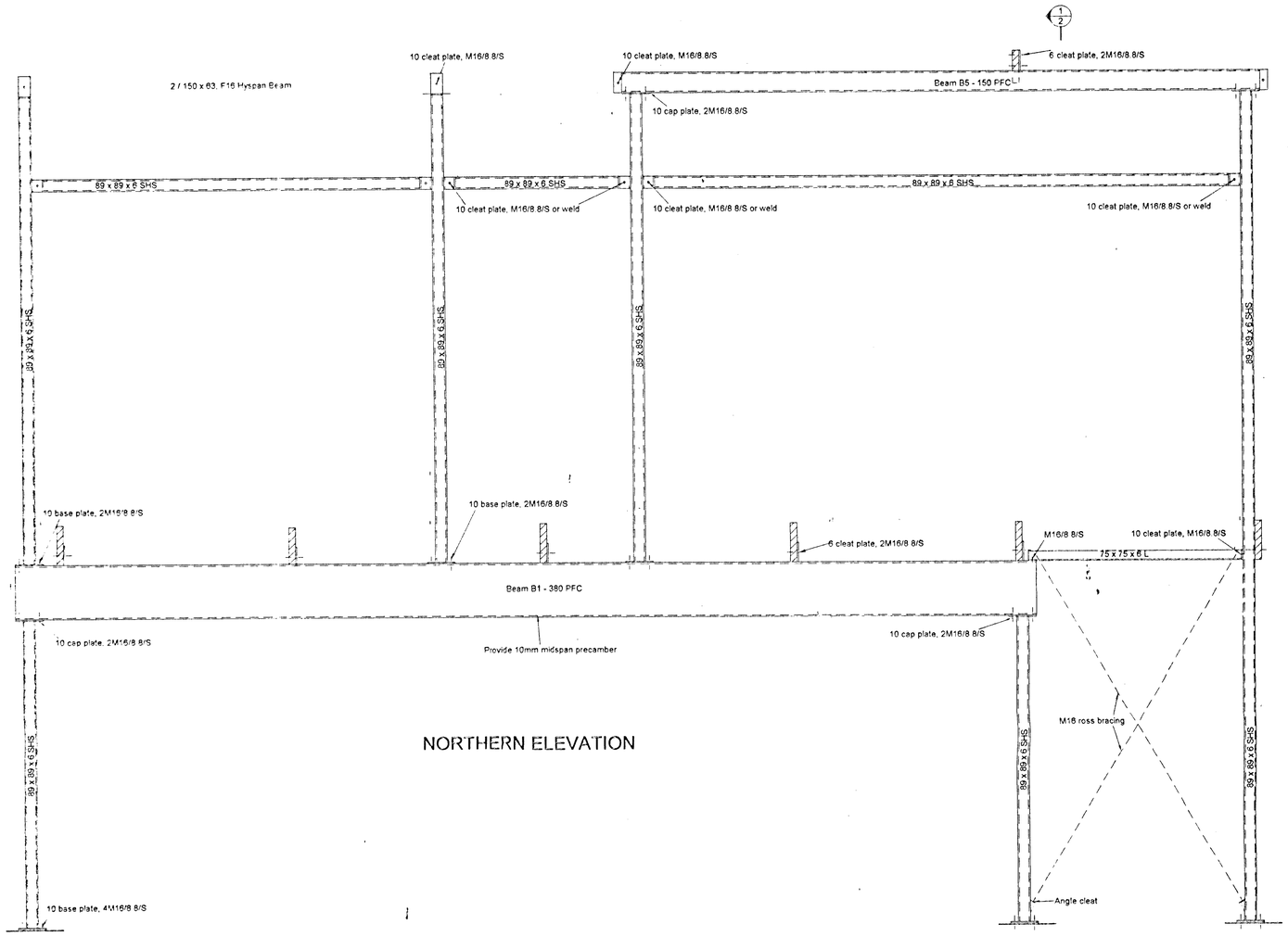
WARNING
PLEASE NOTE: A comprehensive check of the Structural Design has not been carried out. The stamping of this STRUCTURAL PLAN by The Certification Group P/L does not relieve the Structural Engineers responsibility to certify the structural adequacy of this development including any variations that may occur during construction.

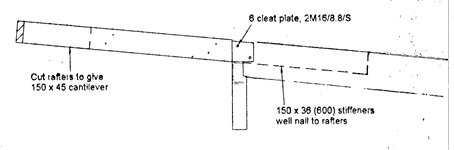
Michael Gergich Consulting Engineer
Structural and Civil Engineer
3 Edgecliffe Esplanade,
Seaforth N S W. 2092
Telephone: 9949 7378

For: BARNABAS RESIDENCE

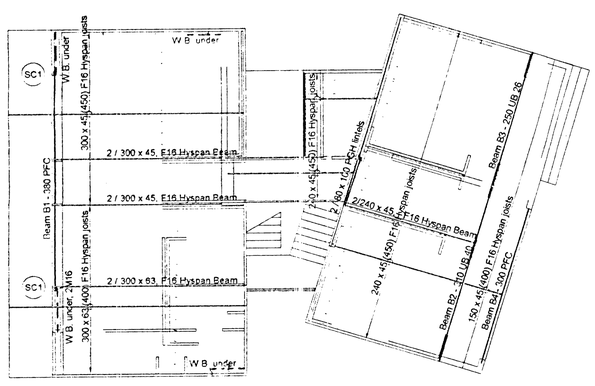
Project: PROPOSED RESIDENCE AT 43 CRESCENT ROAD NEWPORT

Date	Scales
26.3.07	1:100, 1:20
Approved: Michael Gergich B.E. M.I.E. Aust. NPER (Civil & Structural)	Drawing No: 0715-1



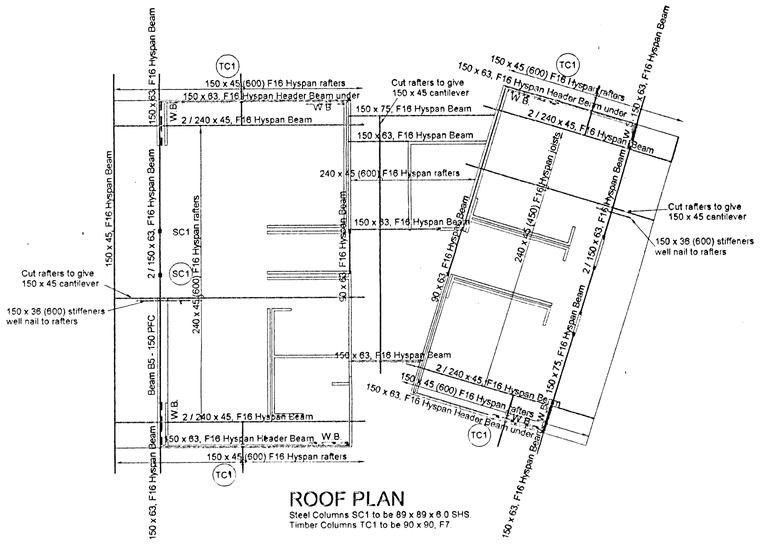


SECTION 1/2



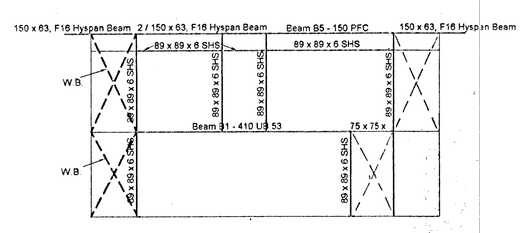
FIRST FLOOR PLAN

Steel Columns SC1 to be 89 x 89 x 6.0 SHS
Timber Columns TC1 to be 125 x 125, F8
Provide 900 wide 7mm thick F8 plywood wall bracing (W B) as shown above



ROOF PLAN

Steel Columns SC1 to be 89 x 89 x 6.0 SHS
Timber Columns TC1 to be 90 x 90, F7



NORTHERN ELEVATION

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

Michael Gergich Consulting Engineer
Structural and Civil Engineer
3 Edgecliffe Esplanade,
Seaforth N.S.W. 2092
Telephone: 9949 7378

For
BARNABAS RESIDENCE

Project
PROPOSED RESIDENCE AT
43 CRESCENT ROAD
NEWPORT

Date 26.3.07	Scale 1:100, 1:20
Approved Michael Gergich B.E. M.I.E. Aust.	Drawing No 0715-2

COUNCIL COPY

GENERAL

G1 These drawings shall be read in conjunction with all architectural and other consultants' drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancy shall be referred to the Engineer before proceeding with the work.

G2 All materials and workmanship shall be in accordance with the relevant and current SAA codes and with the By Laws and Ordinances of the relevant building authority except where varied by the project specification.

G3 All dimensions shown shall be verified by the builder on site. Engineer's drawing shall not be scaled for dimensions.

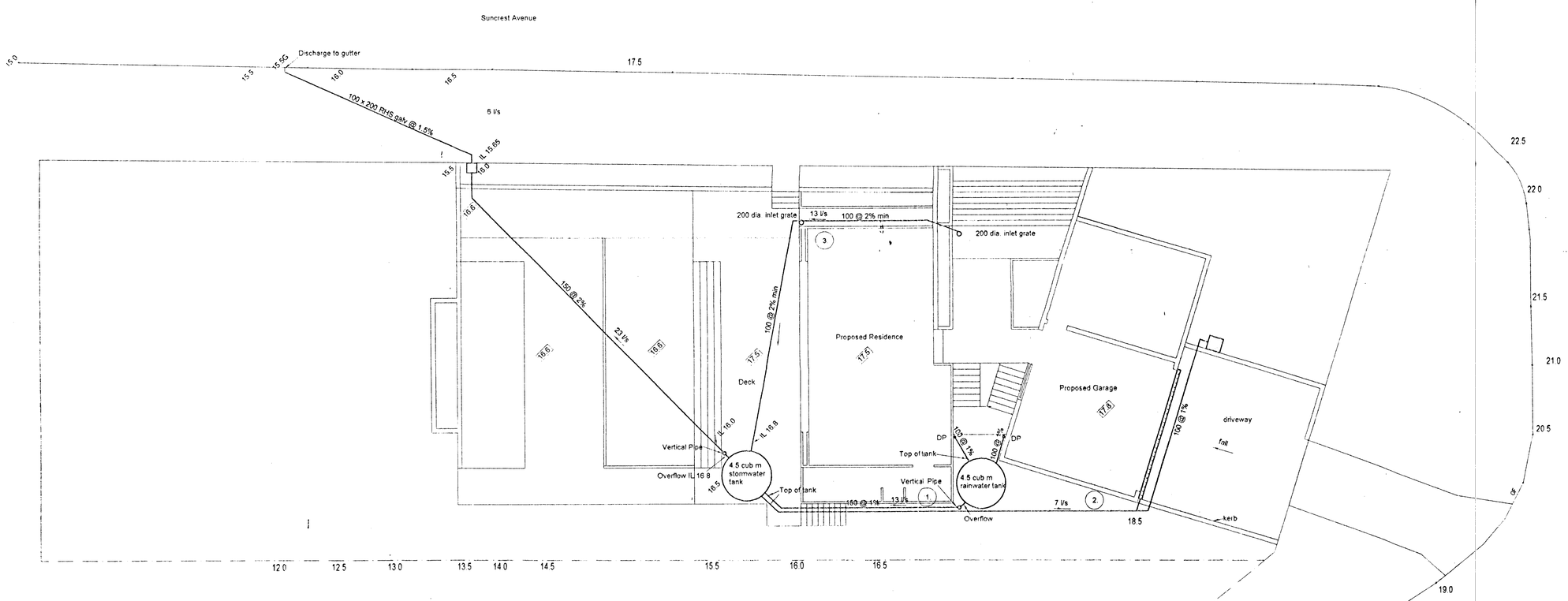
G4 During construction the structure shall be maintained in a stable condition and no part shall be overstressed. Temporary bracing shall be provided by the builder to keep the works and every structure stable at all times.

FOUNDATIONS.

F1 Footings have been designed for an allowable bearing pressure intensity of 300kPa (rock). The foundation materials shall be approved by the Engineer for the pressure before placing reinforcement of concrete.

F2 Footings shall be located centrally under walls and columns unless noted otherwise.

F3 All organic material, soft spots, top soil and any other deleterious material shall be removed from under footings and slabs. Proff roll ground with vibrating roller and replace any soft spots with good fill. Backfilling to footing excavation and sub bases to slabs on ground must consist of approved material compacted in 150mm thick layers to at least 98% modified Australian compaction.



B5.3 Stormwater Management-On Site Detention Requirements 101-150m^2 (new hard surface area)= 3000 litre tank
Using integrated stormwater plus OSD tank adopt oversized 2/4500 litre (9000 litres) storage and required 3000 rainwater tank. B5.2 requires 9000-3000 = 6000 litre storage.
If 50% of excess storage volume credited towards OSD tank capacity use 50% of 6000 = 3000 litres. Therefore does not require OSD

STORMWATER PLAN

Notes

101.52 denotes Design Surface Level

101.33 denotes Natural Surface Level

O 200 dia. inlet grate

• Downpipe

□ 450 x 450 pit

Stormwater Calculations		
C=1, I=200 (1:20), t = 5		
Point	Area	Q
1	2:38	13
2	1:27	7
3	45	3

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

Michael Gergich Consulting Engineer
Structural and Civil Engineer
3 Edgecliffe Esplanade,
Seaforth N S W. 2092
Telephone: 9949 7378

For
BARNABAS RESIDENCE

Project
PROPOSED RESIDENCE AT
43 CRESCENT ROAD
NEWPORT

Date 26.3.07	Scales 1:100, 1:20
Approved Michael Gergich BE MIE Aust CPEng NPER Civil & Structural	Drawing No 0715-3

BASI Certificate

Building Sustainability Index www.basix.nsw.gov.au

COUNCIL COPY

Certificate number: 69083S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2006, published by the Department of Planning. This document is available at www.basix.nsw.gov.au

Director-General
Date of issue: Tuesday, 15 August 2006

NSW GOVERNMENT
Department of Planning

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

Project address	
Project name	Barnabas Residence
Street address	43 Crescent Road Newport 2106
Local Government Area	Pittwater Council
Plan type and plan number	Deposited Plan 394831
Lot no.	18C
Section no.	0.0
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	1004
Roof area (m²)	236
Conditioned floor area (m2)	222
Unconditioned floor area (m2)	18
Total area of garden and lawn (m2)	557
Assessor details and thermal loads	
Assessor number	n/a
Certificate number	n/a
Cooling load (MJ/m².year)	n/a
Heating load (MJ/m².year)	n/a
Other	
none	n/a

Score

✓ Water: 45 (Target 40)

✓ Thermal comfort: pass (Target pass)

✓ Energy: 40 (Target 40)

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 75 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 236 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must configure the rainwater tank so that overflow is diverted to a stormwater tank.		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSWHealth does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
• a tap that is located within 10 metres of the swimming pool in the development		✓	✓

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Stormwater tank			
The applicant must install a stormwater tank with a capacity of at least 3000 litres on the site. This stormwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the stormwater tank to collect overflow from the rainwater tank.		✓	✓
The applicant must configure the stormwater tank to collect runoff from: • at least 150 square metres of impervious areas		✓	✓
The applicant must connect the stormwater tank to: • a sub-surface or non-aerosol irrigation system, or if the stormwater has been appropriately treated in accordance with applicable regulatory requirements, to at least one outdoor tap in the development (Note: NSWHealth does not recommend that stormwater be used to irrigate edible plants which are consumed raw.)		✓	✓
Swimming pool			
The swimming pool must not have a volume greater than 40 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibro, metal clad)	1.30 (or 1.70 including construction)	
external wall - concrete block/plasterboard	1.18 (or 1.70 including construction)	
internal wall shared with garage - other/undecided	nil	
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 1.74 (up), roof: foil backed blanket (55mm)	framed; medium (solar absorptance 0.475-0.70)

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• Except where the glass is 'single clear' or 'single toned', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓
• The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table.	✓	✓	✓
• Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
• Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1	N	32.0	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 1,201-1,500 mm	not overshadowed
W2	N	3.0	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 1,201-1,500 mm	not overshadowed
W3	N	20.0	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 1,201-1,500 mm	not overshadowed
W4	N	4.0	improved aluminium, single toned (U-value:6.39, SHGC:0.56)	eave/verandah/pergola/balcony 1,201-1,500 mm	not overshadowed
W5	S	13.9	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	eave/verandah/pergola/balcony 1,201-1,500 mm	not overshadowed
W7	E	2.5	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 751-900 mm	not overshadowed

[redacted]

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W8	E	2.0	improved aluminium, single toned (U-value:6.39, SHGC:0.56)	eave/verandah/pergola/balcony 751-900 mm	not overshadowed
W9	E	4.6	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 751-900 mm	not overshadowed
W10	E	6.0	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 751-900 mm	not overshadowed
W11	E	5.0	improved aluminium, single toned (U-value:6.39, SHGC:0.56)	awning (fixed) 1,200-2,000 mm	not overshadowed
W12	E	2.6	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	awning (fixed) 1,200-2,000 mm	not overshadowed
W14	W	6.2	improved aluminium, single clear (U-value:6.44, SHGC:0.75)	eave/verandah/pergola/balcony 751-900 mm	not overshadowed
W15	W	9.8	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	eave/verandah/pergola/balcony 751-900 mm	not overshadowed

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Cross ventilation			
The commitment below applies to the following rooms or areas of a dwelling which comprise a breeze path for the dwelling: • Breeze path 1: main living to other space (not separate bathroom)	✓	✓	✓
The applicant must construct the dwelling so that at least 1 ventilation opening is provided in each such room or area. (If only 1 room or area of a dwelling is mentioned for a breeze path, then that room or area must have at least 2 ventilation openings).	✓	✓	✓
The 2 ventilation openings must be located as follows: • Breeze path 1: opposite external walls	✓	✓	✓
The 2 ventilation openings must meet the following specifications: (a) not be more than 15 metres apart;	✓	✓	✓
(b) be at least 1 square metre in size; and	✓	✓	✓
(c) have only 1 doorway, or opening less than 2 square metres in size, located in the direct path between them.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating, or a system with a higher energy rating: gas instantaneous - 6 Star	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater; Energy rating: 5 Star		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: gas fixed flued heater; Energy rating: 5 Star		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 3 of the bedrooms / study; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

COUNCIL COPY

15 May 2007

Wayne Treble
Certification Group
Unit 3/6 Wilmette Place
Mona Vale NSW 2103

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

Dear Wayne,

This letter is just to inform you that I Trent Barnabas as the Owner Builder of 43 Crescent Road Newport, will comply with condition C7 of the Development Consents endorsed on the 17 march 2007. I will also make sure that the building conforms with the Basix Certificate.

Kind Regards
TRENT BARNABAS

COUNCIL COPY

3 Edgecliffe Esplanade
Seaforth N.S.W. 2092
Phone: 9949 7375

Structural and Civil Engineer

May 14 2007

The General Manager
Pittwater Council
5 Vuko Place
WARRIEWOOD 2102

Dear Sir

Re Residence at 43 Crescent Road, Newport for Mr & Mrs T Barnabas

I certify that the Stormwater Drawing No 0715-3 and has been designed to comply with the Water Management Policy B5.3 of Pittwater 21 DCP.

Should you require any further information, please do not hesitate to contact me.

Yours faithfully

Michael Gergich

MICHAEL GERGICH

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

COUNCIL COPY

Pittwater Council
Information for Access Driveway Profiles
1 July 2006 – 30 June 2007

To: Christine and Trent Barnabas
Postal Address: 43 Crescent Road
NEWPORT NSW 2106

Date: 26 March 2007

Receipt No: 212903
Amount: $66.00

ACCESS DRIVEWAY PROFILE AT: 43 Crescent Road, Newport 2106

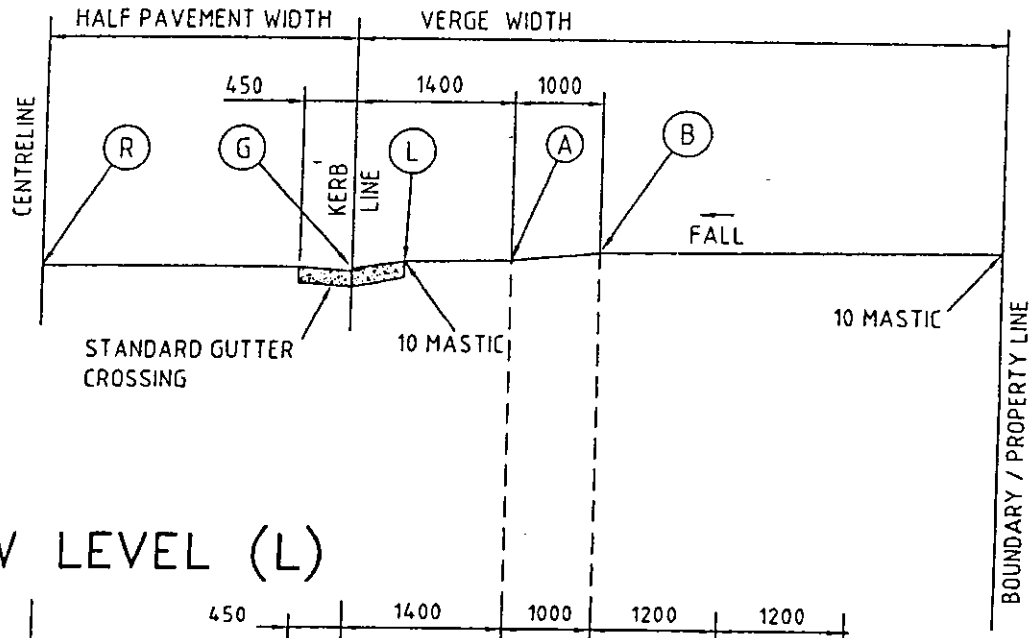
- The proposed vehicular access driveway profile shall be as per the enclosed plan **NL.**
- **Type of Construction: Domestic**
- **Slab Construction:** Vehicular access slab **8.0m** long, **4.0m** wide at gutter crossing to **3.5m** wide at the boundary.
  Note: AS 2890.1-1993 Fig 3.1 does not allow driveway on kerb return.
- Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.
- All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised Contractors only;
- Quotations for the work specified above should be obtained from any of the contractors on Council's list and should be for the whole of the work stated;
- Construction of vehicular access will be strictly in accordance with the profile supplied; and
- A formwork inspection by Council is required prior to construction. (Provide minimum 24 hours notice)

1. **NOTE THAT THIS INFORMATION SHEET DOES NOT CONSTITUTE AN APPROVAL TO COMMENCE OR PROCEED WITH ANY WORK ON SITE.**
2. **A SECTION 139 CONSENT UNDER THE ROADS ACT – 1993 IS REQUIRED (FORM UI203).**
3. **FAILURE TO OBTAIN SUCH CONSENT PRIOR TO COMMENCING WORK WILL INCUR A PENALTY.**

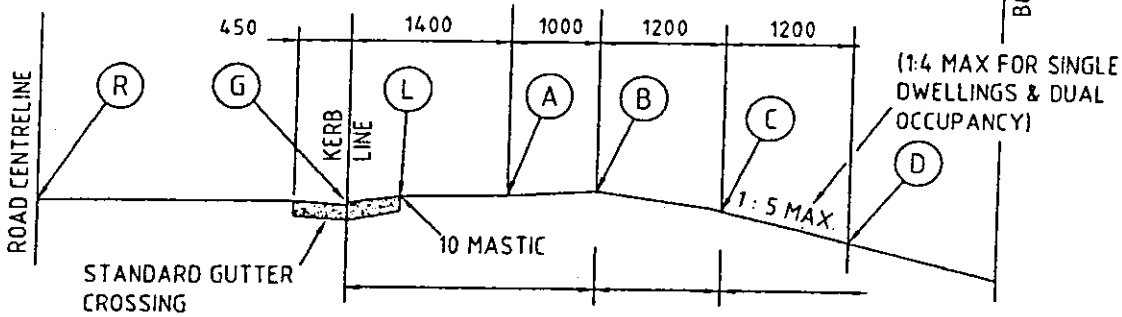
THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER
Telephone: 9970 1348

NORMAL (N)



LOW LEVEL (L)



(1:6) (1:6—1:2) (1:2)
(MAX BATTER FROM EDGE OF DRIVEWAY TO FINAL G.L)
(WHERE THERE IS NO CONSTRUCTED FOOTPATH)

POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE "G"
A	1400 FROM KERB LINE	130 ABOVE "G"
B	2400 FROM KERB LINE	150 ABOVE "G"
C	3600 FROM KERB LINE	MAX 20 ABOVE "G"
D	4800 FROM KERB LINE	MAX 130 BELOW "G"

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DOCUMENTATION.

NOTE

- To be read in conjunction with Pittwater 21 Development Controls.

PITTWATER COUNCIL

Standard Driveway Profile

NORMAL TO LOW

PLAN No. PWC-DW6

REV No. B

DATE 26/8/05

Cad File No:P:\Urban\Drawings - Current\Blocks & Standards\Standards\Driveways\ PWC-DW10.DWG

Plot Date:26 August, 2005 - 9:46 AM

LONG SERVICE BUILDING & CONSTRUCTION

See reverse of form for instructions

COUNCIL COPY

LEVY PAYMENT FORM

FORM NO.

OFFICE USE ONLY

PART A – DETAILS OF PERSON/COMPANY/ORGANISATION LIABLE TO PAY LEVY

PLEASE PRINT ALL DETAILS USING CAPITALS

Surname (if person) or Company/Organisation name: BARNABAS

Given names (if person): TRENT

ABN (if applicable):

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

POSTAL ADDRESS
No. and street or PO Box: 43 BUNGAN HEAD RD

Town/suburb: NEWPORT

State: NSW Postcode: 2106 Bus. hours phone: 0400470062

PART B – ADDRESS OF BUILDING/CONSTRUCTION WORK

Number and street: 43 CRESCENT ROAD

Town/suburb: NEWPORT

State: NSW Postcode: 2106

Estimated start date: D 12 M 05 Y 2007 Estimated finish date: D 17 M 02 Y 2008

PART C – DETAILS OF WORK – to be completed by consenting/certifying authority with whom plans lodged for approval

Local Council Area: Pittwater Council

[1] DA/CC/CDC No.: N0623/06

Estimated value of work (see note on back): $ 320,000.00 Levy payable $ 1,681.80

[1] If you have provided a CC above, please provide DA number here:

Signature of Officer/Private Certifier: Date D 01 M 05 Y 2007

Name of Officer/Private Certifier: Chris Lumnas Business hours phone: 0299701653

PART D – DETAILS – to be completed by Dept/Authority where applicable – see reverse

Department/Authority:

Contract/DA No (circle which): Contract amount $ .00

Levy payable $ .00

Contact person (Print): Phone number:

Contact person (Signature): Date D M Y

PART E – DECLARATION – To be signed by person liable to pay levy or authorised officer if company/organisation

Any false or misleading information provided on this form may result in prosecution under Section 58A.
I hereby declare that the information provided on this form is true and correct to the best of my knowledge

Name: TRENT BARNABAS Signature: Date D 01 M 05 Y 2007

PART F – TO BE COMPLETED WHERE APPLICABLE – SEE REVERSE

Exemption Approval Certificate No.: R# 214433

Building and Construction Industry Long Service Payments Corporation, Locked Bag 3000, Central Coast MC NSW 2252
Tel: 13 14 41 Fax: (02) 9287 5685 Email: levy@lspc.nsw.gov.au www.lspc.nsw.gov.au ABN 93 646 090 808

Pittwater Council

ABN: 61340837871

TAX INVOICE

OFFICIAL RECEIPT

1/05/2007 Receipt No 314417

To trent bernabee

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

43 bungan head road
newport nsw 2106

Qty/ Applic	Reference	Amount
GL Rec	GLGL-Bwil 1 x n0573/06 43 crescent road	$1,681.80
1 GL Rec	CCGST-CCa 1	$15.18
GL Rec	GST	$1.53

To GL Receipt:

Total Amount: $1,678.61

Includes GST of: $1.53

Amounts Tendered

Dr/Cr Card	$1,678.61
Total	$1,678.61
Rounding	$0.00
Change	$0.00
Nett	$1,678.61

Printed 1/05/2007 1:58:13 PM

Cashier MPorter

the certification group
enhancing building performance

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Ref: 183 - Schedule of External Finshes

22nd May 2007

43 Crescent Road, Newport
CC: 136/2007
DA: N0623/06

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

Schedule of External Finishes

Materials & Colours	
Roofing and Gutters	Colour Bond - Wind Spray
External Privacy Screens	Western red cedar and coated with a natural oil
Fence Panels and Decks	Grey Ironback and coated with a natural oil
External Weatherboards	Dulux - Linseed
Window Frames	Clear anodised aluminium

COUNCIL COPY

NICK FADEEV

CIVIL & TRAFFIC ENGINEERING CONSULTANT

26 April 2007

Our Ref: 7002

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

General Manager
Pittwater Council
PO Box 882
MONA VALE NSW 1660

Dear Sir

43 CRESCENT ROAD, NEWPORT -
CONSTRUCTION OF A NEW DRIVEWAY TO A NEW DWELLING

Introduction
The subject property is located on the north east corner of the intersection of Cecil St with Crescent Road, Newport. Council has issued Development Consent for a new dwelling on the subject site, which includes Consent drawing No. DA2001 rev C, a copy of which is attached. This drawing shows the new driveway intersecting with Crescent Road at an angle to the kerb and partly within the kerb return of Cecil St.

Following application for levels, the property owner Mr Trent Barnabas was advised by Council officers that they had some concern for the location of the entry and exit location of the proposed driveway, and requested that Mr Barnabas obtain professional advice regarding its safety for future users. Mr Barnabas engaged my services to review the proposal, with a view to obtaining certification to overcome Council's concerns.

Assessment of Proposed Driveway Location
Following examination of the proposed location on the site, I concluded that the proposed arrangement would be unsafe for future users, for the following reasons.

1. The angle at which the driveway intersects Crescent Road, although slightly improving the line of sight for vehicles approaching from the north-west, makes worse the line of sight for vehicles approaching along Crescent Rd from the south.
2. The line of sight for vehicles approaching along Crescent Rd from the south is made worse by the fact that Crescent Road has a crest just south of the subject property and also bends around further to the west, which would require drivers backing out of the proposed driveway, to look back over their shoulder to see oncoming traffic from the south.
3. Due to the crest on Crescent Rd relative to the location of the exit point of the driveway, the sight distance to approaching vehicles from the south is somewhat restricted. From my observations on site I was able to conclude that the available sight distance would not Council's requirement for a minimum of 50m of sight distance, and therefore would not provide safe exit onto Crescent Road.

ABN 35 060 260 828
103 Essilia Street, Collaroy Plateau. NSW 2097
Phone: 02 9971 7562. Mobile 0418 462 829 Email: fadeev@optusnet.com.au

4. The proposed driveway was also partly within the kerb return into Cecil St. This was also considered undesirable in that it would result in vehicles either backing out into the intersection with Cecil St, or out onto the wrong side of Crescent Rd.

For the above reasons I was not prepared to certify the location of the proposed driveway as shown on the Consent plans.

Alternative Proposal

Due to crest and bend in Crescent Road just south of the subject property, as described above, it was clear that reversing out onto Crescent Rd from the approved garage was not an option on safety grounds. Given the approved location of the garage and entry point to the site, there were few available alternatives

I have designed an alternative which substantially improves safety for residents of the new dwelling by arranging entry and exit via Cecil St. See drawings No.s 7002/1 to 7002/3, which show the proposed alternate arrangement. In particular drawing 7002/3 demonstrates the turning path of an entering vehicle. I consider this arrangement to be far superior to the proposal on the Consent plans for the following reasons.

1. adequate sight distance is available in all directions, not only for the driver of the exiting vehicle, but for approaching vehicles in both Crescent Rd and Cecil St.
2. vehicles can enter and leave the driveway at almost 90° to the kerb,
3. vehicles are backing out into Cecil St, which has much lower traffic volumes, and
4. its location is not so conducive to cutting across the intersection to enter the driveway, as was the case with proposal on the Consent plans.

Driveway Grading

Drawing No.s 7002/4 and 7002/5 show the proposed driveway gradings along each side of the driveway. Due to the existence of two Council concrete pit lids in the verge area, it was necessary to employ the use of the maximum allowable grade of 25%. However this is considered quite acceptable in the circumstance, given the short length over which it occurs, and the provision of adequate transition grades, as demonstrated by the AS 2890.1:2004 B85 Vehicle Ground Clearance Template. Also the maximum centre-line grade between the boundary and the kerb is approximately 20%.

Certification

I am a practicing consultant Civil Engineer with in excess of 25 years experience in local government civil design, including extensive experience in the assessment and design of safe pedestrian and vehicular access and parking associated with residential and commercial development. I hold a degree in Civil Engineering with a post graduate diploma in Local Government Engineering, and am a member of the Institution of Engineers Australia and the Local Government Engineers Association.

I certify that the driveway design shown on Drawing No.7002/1 to 7002/5, satisfies the objectives of Section B6 of Council's 21 DCP and AS2890.1: 2004, and will provide practical and safe vehicular access to the proposed garage.

ABN 35 060 260 828
103 Essilia Street, Collaroy Plateau. NSW 2097
Phone: 02 9971 7562. Mobile 0418 462 829 Email: fadeev@optusnet.com.au

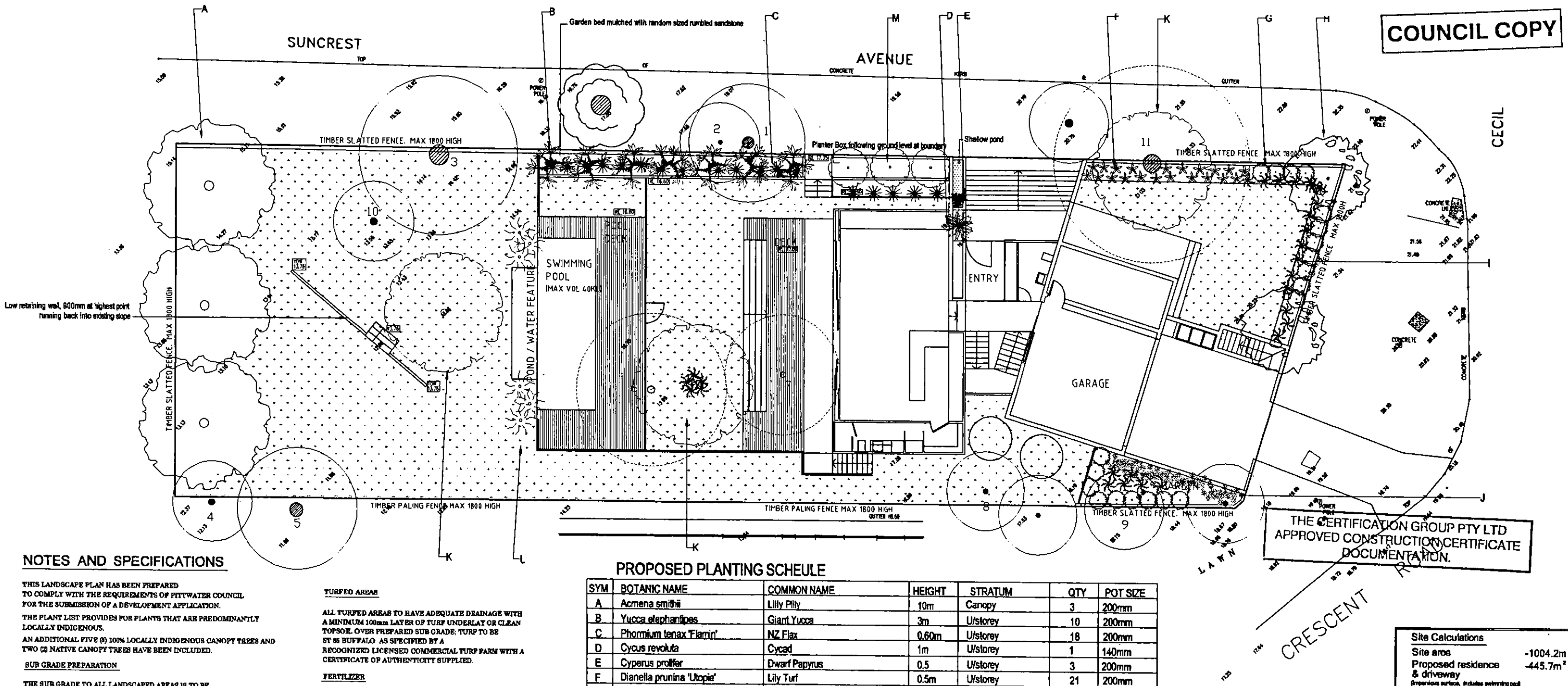
Should clarification of any aspect of this advice be required, please do not hesitate to contact the undersigned on mobile ph. 0418 462 829.

Yours faithfully

NICK FADEEV B.Sc(Civil Eng), Dip.LGEng, MIEAust.

ABN 35 060 260 828
103 Essilia Street, Collaroy Plateau. NSW 2097
Phone: 02 9971 7562. Mobile 0418 462 829 Email: fadeev@optusnet.com.au

COUNCIL COPY



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APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

NOTES AND SPECIFICATIONS

THIS LANDSCAPE PLAN HAS BEEN PREPARED TO COMPLY WITH THE REQUIREMENTS OF PITTWATER COUNCIL FOR THE SUBMISSION OF A DEVELOPMENT APPLICATION.

THE PLANT LIST PROVIDES FOR PLANTS THAT ARE PREDOMINANTLY LOCALLY INDIGENOUS.

AN ADDITIONAL FIVE (5) 100% LOCALLY INDIGENOUS CANOPY TREES AND TWO (2) NATIVE CANOPY TREES HAVE BEEN INCLUDED.

SUB GRADE PREPARATION

THE SUB GRADE TO ALL LANDSCAPED AREAS IS TO BE GRADED EVENLY TO ACHIEVE THE REQUIRED FALLS AND FINISHED LEVELS; LOOSE STONES OR ANY BUILDING DEBRIS ARE TO BE REMOVED PRIOR APPLICATIONS OF ANY TOPSOIL OR TURF UNDERLAY; WHERE THE SUBSOIL IS CLAY, APPLY GYPSUM AT A RATE OF 2.5kg/10m2 PRIOR TO CULTIVATION.

GARDEN BED PREPARATION

ALL GARDEN BEDS MUST HAVE ADEQUATE DRAINAGE AND HAVE A MINIMUM 500mm LAYER OF NATIVE SOIL MIX PLACED OVER PREPARED SUB GRADE.
NATIVE SOIL MIX TO BE MULCHED WITH FOREST FINES -75MM THICK

PLANTING MATERIAL/PLANTING PROCEDURES

ALL PLANTS ARE TO BE TRUE TO TYPE, FREE FROM PEST AND DISEASES AND BE IN A VIGOROUS WELL DEVELOPED CONDITION. ALL TREES TO HAVE A SINGLE LEADER IN APPROPRIATE SPECIES.
ALL PLANTS ARE TO BE REMOVED FROM CONTAINERS BEFORE PLANTING, THOROUGHLY WATER ALL PLANTS AND PLANTING AREAS, PRIOR TO, AND AFTER PLANTING OPERATIONS. PLANTS MUST BE WATERED REGULARLY AFTER PLANTING TO ENCOURAGE HEALTH AND VIGOR.

TURFED AREAS

ALL TURFED AREAS TO HAVE ADEQUATE DRAINAGE WITH A MINIMUM 100mm LAYER OF TURF UNDERLAY OR CLEAN TOPSOIL OVER PREPARED SUB GRADE; TURF TO BE ST 85 BUFFALO AS SPECIFIED BY A RECOGNIZED LICENSED COMMERCIAL TURF FARM WITH A CERTIFICATE OF AUTHENTICITY SUPPLIED.

FERTILIZER

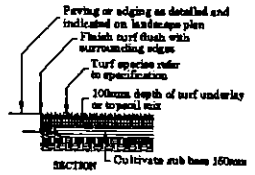
FERTILIZER FOR PLANTS TO BE LONG LIFE (6 MONTHS) WITH A SUITABLE NATIVE PLANT FORMULA TO BE APPLIED AFTER PLANTING BEFORE MULCHING AND EVERY 6 MONTHS THEREAFTER. TURF TO BE FERTILIZED FOLLOWING THE COMMERCIAL TURF FARM'S INSTRUCTIONS.

IRRIGATION

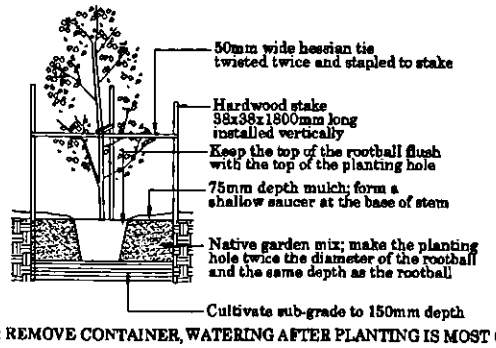
AN AUTOMATIC DRIP IRRIGATION SYSTEM IS TO BE INSTALLED TO ALL GARDEN AREAS AND TREE PLANTINGS. THIS WILL ASSIST WITH THE ESTABLISHMENT AND LONG TERM DEVELOPMENT OF THE PLANT MATERIAL.

MAINTENANCE

MAINTAIN ALL LANDSCAPED AREAS, BY THE FOLLOWING ACTIVITIES; MOWING, EDGING AND TOP DRESSING OF TURF AREAS, FERTILIZING ALL PLANT MATERIAL, PRUNING, WATERING, TREAT PEST AND DISEASES, TOPPING UP OF MULCH AREAS, WEEDING GARDEN BEDS AND TURF AREAS.



SECTION
GROUND PREPARATION TURFED AREA DETAIL. NOT TO SCALE



NOTE: REMOVE CONTAINER, WATERING AFTER PLANTING IS MOST CRITICAL

15 - 35 LITRE TREE PLANTING DETAIL. NOT TO SCALE

PROPOSED PLANTING SCHEULE

SYM	BOTANIC NAME	COMMON NAME	HEIGHT	STRATUM	QTY	POT SIZE
A	Acmena smithii	Lilly Pilly	10m	Canopy	3	200mm
B	Yucca elephantipes	Giant Yucca	3m	U/storey	10	200mm
C	Phormium tenax 'Flamin'	NZ Flax	0.60m	U/storey	18	200mm
D	Cycus revoluta	Cycad	1m	U/storey	1	140mm
E	Cyperus prolifer	Dwarf Papyrus	0.5	U/storey	3	200mm
F	Dianella prunina 'Utopia'	Lily Turf	0.5m	U/storey	21	200mm
G	Westringia fruticosa	Coast Rosemary 'Sea Mist'	3m	U/storey	20	200mm
H	Banksia integrifolia	Coastal Banksia	15m	Canopy	2	200mm
I	Lomandra Longifolia 'Tanika'	Tanika	0.6m	U/storey	27	200mm
J	Dianella revoluta 'Baby Bliss'	Lily Turf	0.30m	U/storey	61	200mm
K	Tristaniopsis laurina	Water Gum	15m	Canopy	3	200mm
L	Raphis excelsa	Lady Palm	5m	Canopy	6	200mm
M	Banksia robur	Large Leaf Banksia	2m	U/Storey	3	200mm

SCHEDULE OF EXISTING SITE VEGETATION

NO	BOTANIC NAME	COMMON NAME	HEIGHT	SPREAD	EXISTING CONDITION	PROPOSED ACTION
1	Syncarpia glomulifera	Turpentine	8m	7m	Fair	Retain
2	Syncarpia glomulifera	Turpentine	5m	4m	Fair	Retain
3	Corymbia citriodora	Lemon Scented Gum	18m	14m	Good	Retain
4	Eucalyptus microcorys	Tallowood	18m	12m	Fair	Retain
5	Pinus radiata	Radiata Pine	17m	12m	Fair	Retain
6	Eriobotrya japonica	Loquat	4m	6m	Poor	Remove
7	Stenocarpus sinuatus	Queensland Firewheel Tree	12m	7m	Fair	Remove
8	Melaleuca spp	Tea Tree	5m	3m	Good	Remove
9	Eucalyptus botryoides	Bangalay Gum	5m	3m	Good	Retain
10	Acmena smithii	Lilly Pilly	8m	8m	Good	Retain
11	Cinnamomum camphora	Camphor Laurel	10m	8m	Good	Remove

I Rebecca Antcliff certify that this plan provides that the works to be carried out will achieve the relevant conditions of the development consent.

This Landscape Plan complies in all respects with the conditions of development consent
The understorey plantings provides species that are locally growing and will after three years in conjunction with the canopy plantings screen 50% of the built form when viewed from the street.
This plan provides three (3) locally native canopy trees that will acheive a height greater than 8.5m at maturity in the front yard.
This plan provides four (4) canopy trees that will achieve a canopy height greater than 8.5m in the rear yard.
The Camphor Laurel tree (Tree 11) is to be removed and a replacement canopy tree, Tristaniopsis laurina (Water Gum) is to be provided

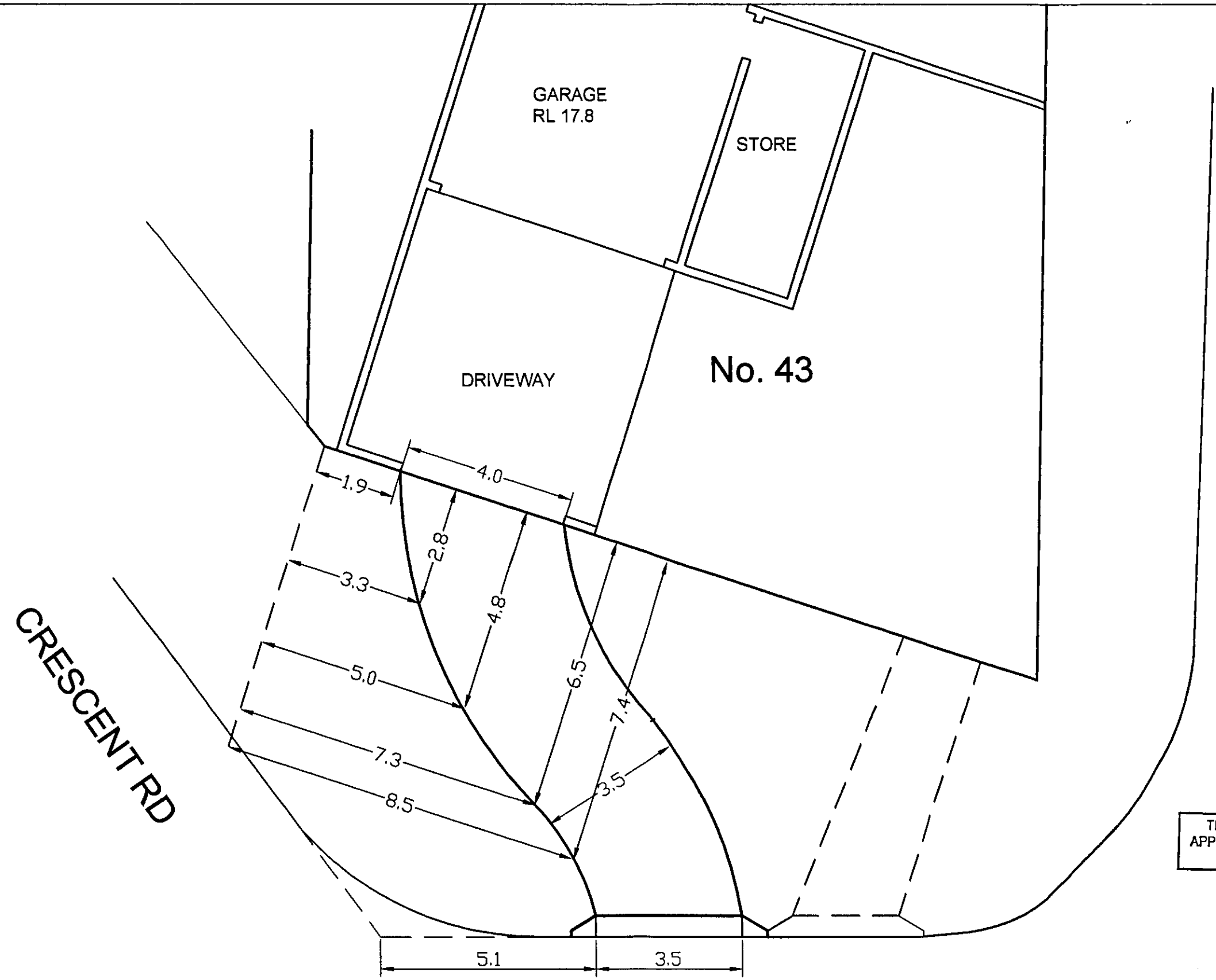
Site Calculations

Site area	-1004.2m²
Proposed residence & driveway (Impervious surface, includes swimming pool)	-445.7m²
Maximum site cover	40%
Actual site cover	44.3%

(Council approval for Variation under Pittwater DCP21 part D10.11 required)

rebeccaantcliff
GARDENDESIGN
12 Wallumatta Road NEWPORT NSW 2106
Mob: 0412 345 683 Ph/Fax: 9940 1888

CLIENT: Mr & Mrs Barnabas
PROJECT: New Residence
43 Crescent Road
NEWPORT NSW 2106
DRAWING: LANDSCAPE PLAN
SCALE: 1:200 @ A3
DATE: 27 March 2007



THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

CECIL ST

NICK FADEEV
CIVIL & TRAFFIC ENGINEERING CONSULTANT
ABN 35 060 260 828
103 Essilia Street, Collaroy Plateau. NSW 2097
Ph 9971 7562 Mobile 0418 462 829 Email: fadeev@optusnet.com.au

Drawn by: N. Fadeev MIEAust

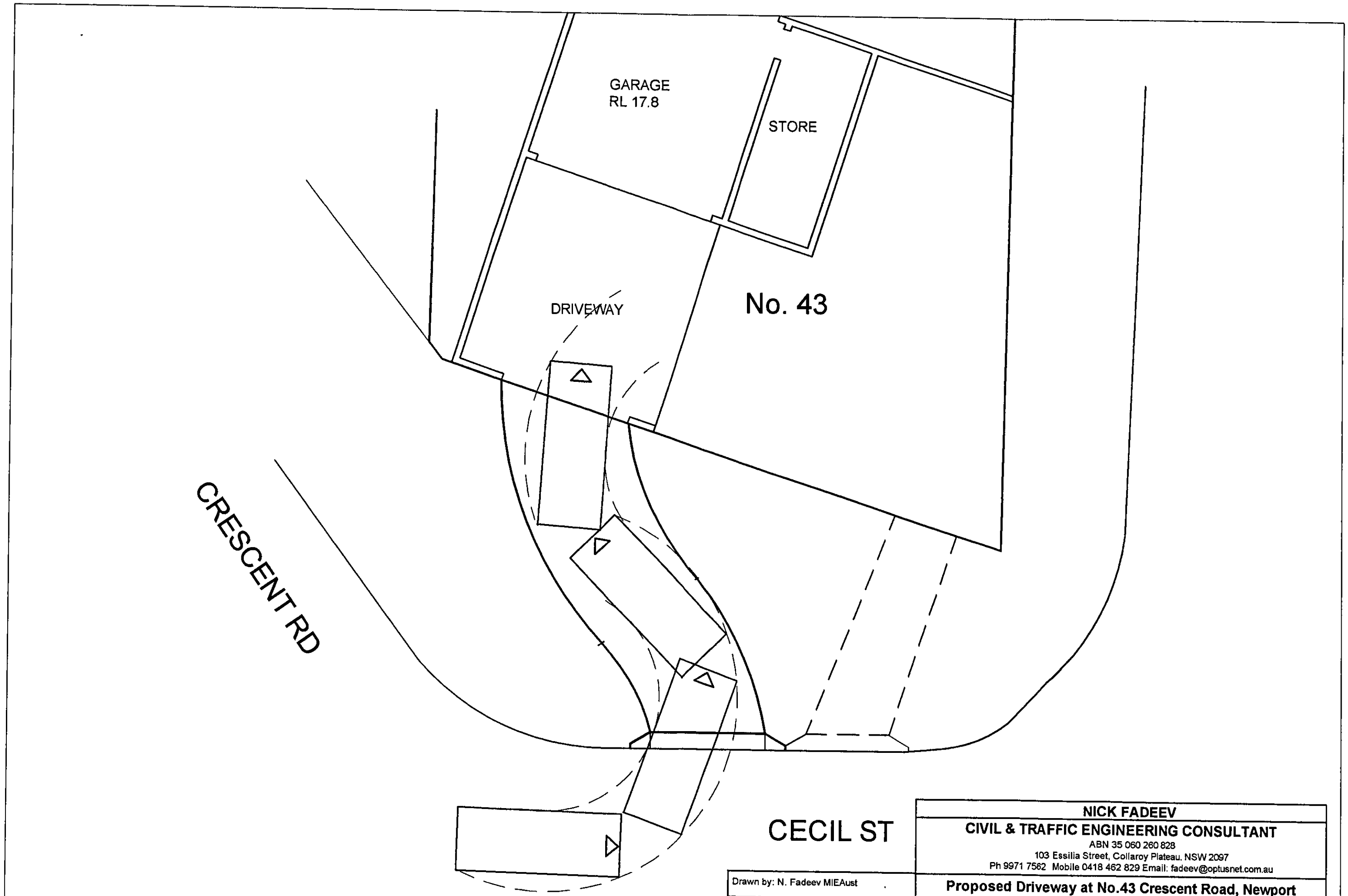
April 2007

Scale 1:100 (A3)

Proposed Driveway at No.43 Crescent Road, Newport

SET - OUT PLAN

DRAWING No. 7002/1



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Drawn by: N. Fadeev MIEAust

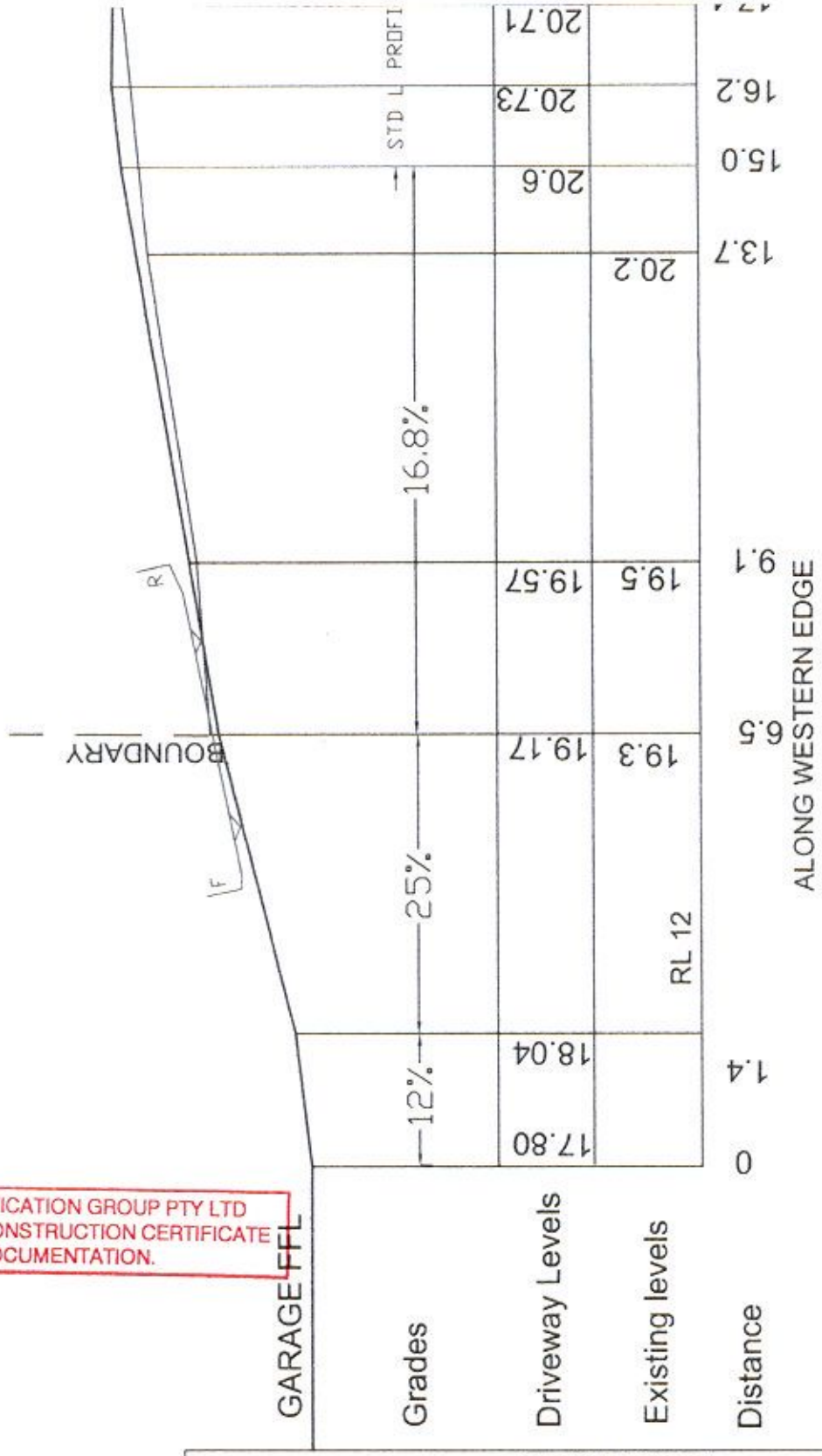
April 2007

Scale 1:100 (A3)

Proposed Driveway at No.43 Crescent Road, Newport

VEHICLE TURN PATH

DRAWING No. 7002/3



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APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

NICK FADEEV

CIVIL & TRAFFIC ENGINEERING CONSULTANT

ABN 35 060 260 828

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A. L Profile added 13/5/07

Drawn by: N. Fadeev MIEAust

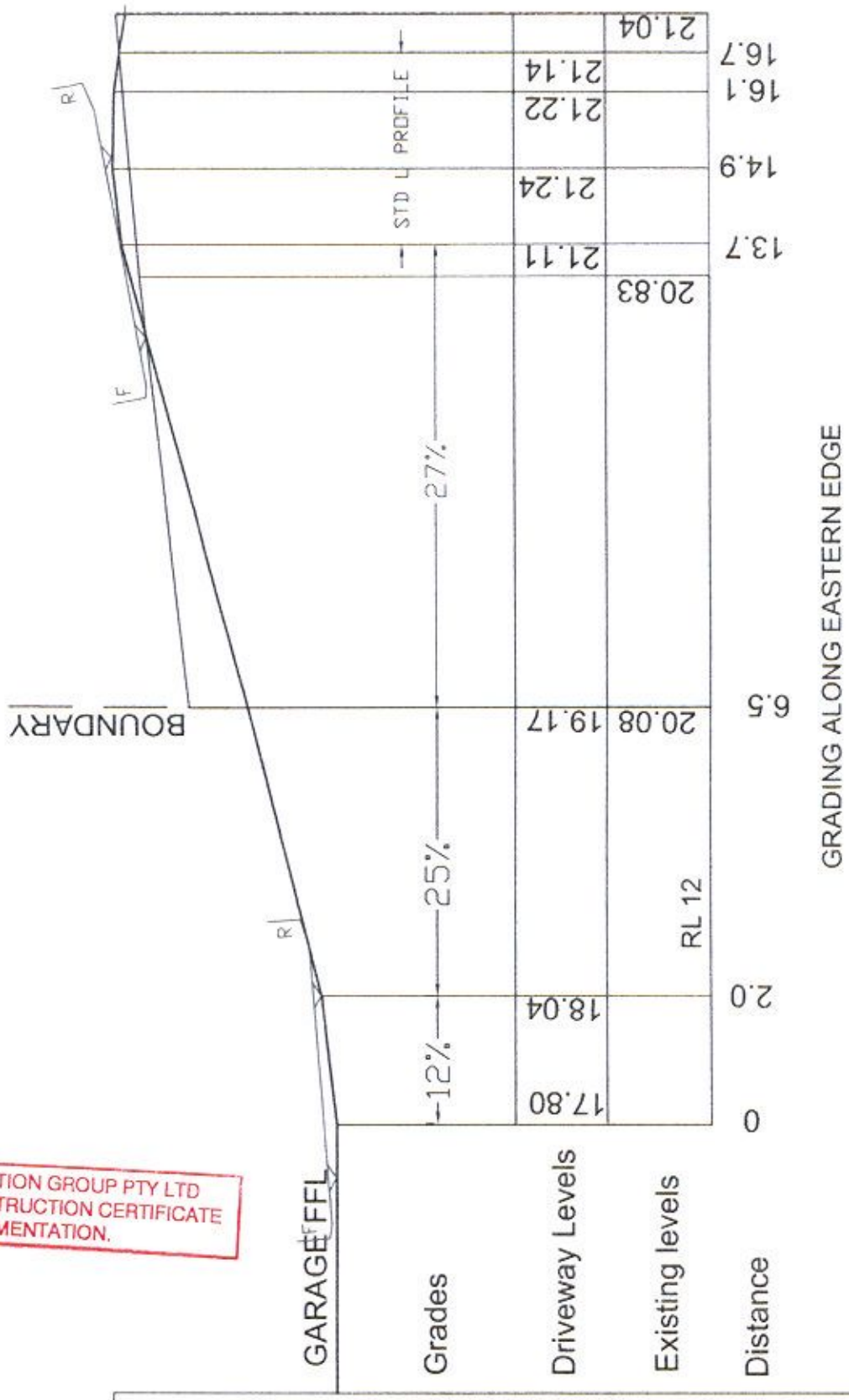
April 2007

Scale 1:100 (A4)

Proposed Driveway at No.43 Crescent Road, Newport

GRADING ALONG WESTERN EDGE

DRAWING No. 7002/4A



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APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

A. L Profile added 13/5/07

Drawn by: N. Fadeev MIEAust

April 2007

Scale 1:100 (A4)

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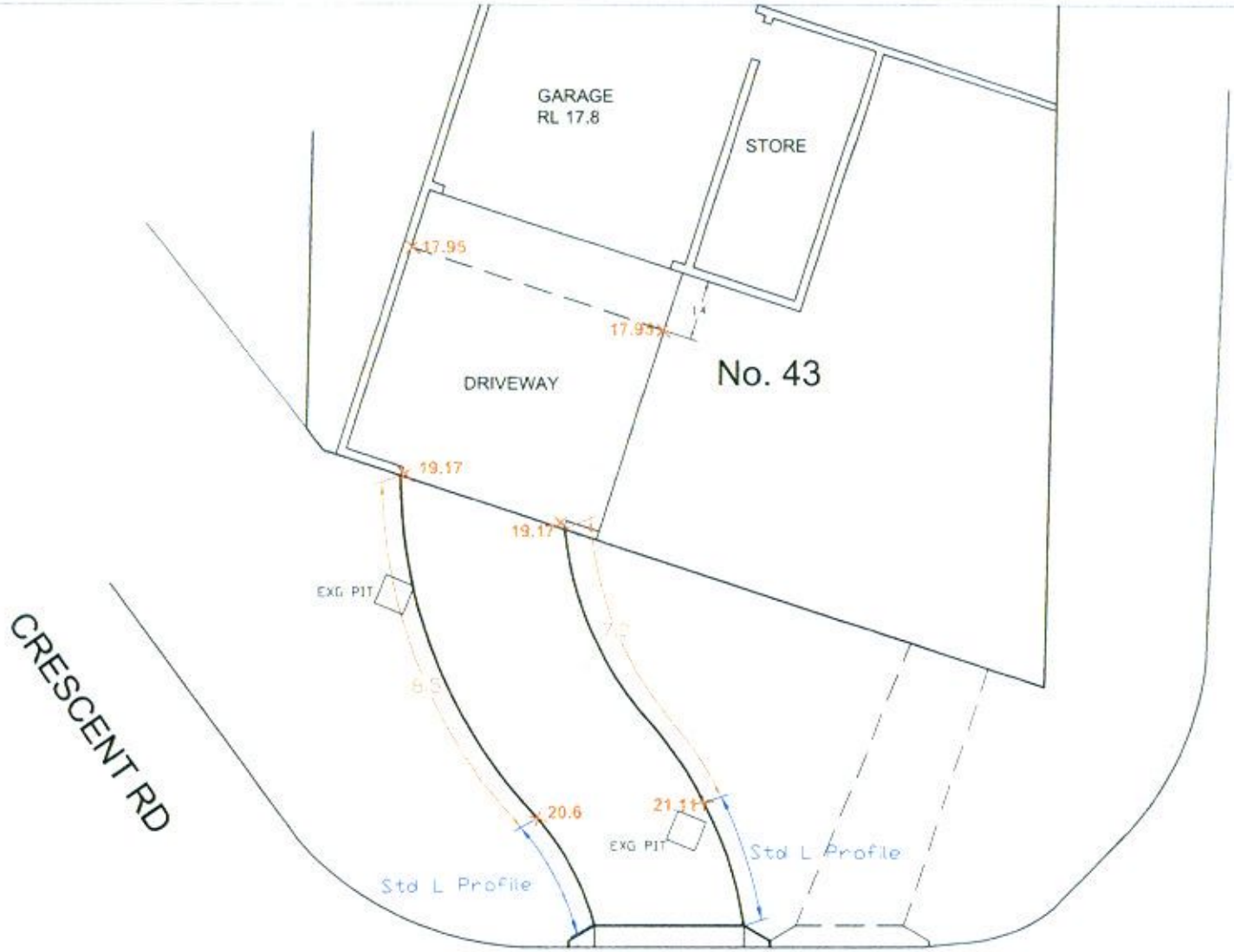
Proposed Driveway at No.43 Crescent Road, Newport

GRADING ALONG EASTERN EDGE

DRAWING No. 7002/5A



CECIL ST

A. L Profile added 13/5/07

Drawn by: N. Fadeev MIEAust

April 2007

Scale 1:100 (A3)

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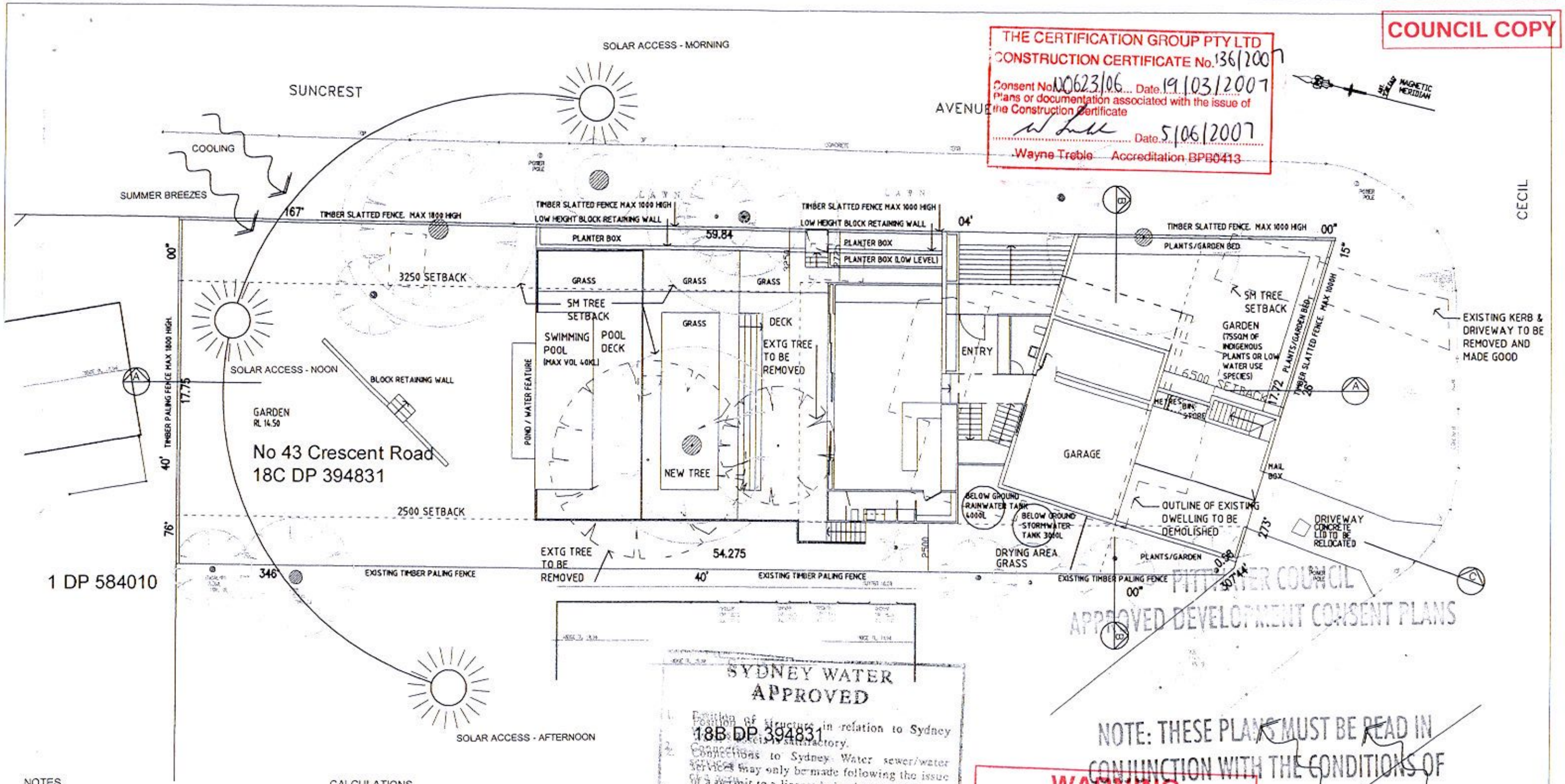
Proposed Driveway at No.43 Crescent Road, Newport

DRIVEWAY LEVELS

DRAWING No. 7002/2 A

COUNCIL COPY

THE CERTIFICATION GROUP PTY LTD
CONSTRUCTION CERTIFICATE No. 136/2007
Consent No. N0623/06 Date 19/03/2007
Plans or documentation associated with the issue of the Construction Certificate
Date 5/06/2007
Wayne Treble Accreditation BPB0413



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

WINTER WINDS

SYDNEY WATER
APPROVED

1. Position of structure in relation to Sydney Water sewer is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainer.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 3410472

Reece, Mona Vale
Quick Check Agent on behalf of SYDNEY WATER

Per: Raul Crespo 28 03 07

NOTES

1.0 All works are designed in accordance with the BCA 2006
2.0 All trees are existing unless otherwise noted

CALCULATIONS

Total Site Area	1004.20 sqm
Max Site Coverage (40 %)	401.68 sqm
Min Landscape (60 %)	602.52 sqm
Proposed Site Coverage	445.7 sqm
Proposed Landscape	556.7 sqm

(NB: Council approval for Variation under Pittwater DCP21 part D10.11 required)

WARNING
PLEASE NOTE: The stamping of plans by The Certification Group P/L does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority or utilities prior to commencement of any works.
DIAL BEFORE YOU DIG 1100

elizabeth leong architects pty ltd
architecture + interior design
PO BOX K302 HAYMARKET SYDNEY NSW 2000
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ABN 58 100 347 649
NSW Registered Architects Reg no 6904

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ISSUE DETAILS

A	DA Issue to Client for approval & Council preliminary meeting	17.03.06
B	DA Issue to Client & Council	15.08.06
C	Amended DA	5.03.07

BARNABAS RESIDENCE
43 Crescent Road Newport
Site Plan
date Dec 05 scale 1:200 checked
project 04/031 dwg no DA2001 rev C

LAWN

LAWN

PLANTER BOX (LOW LEVEL)

GRASS

GRASS

POOL DECK RL 16.60

GRASS RL 16.60

DECK RL 17.50

FRAMELESS GLASS POOL FENCE AND GATE TO BCA 2005 AND AS1926-1986

new tree

TIMBER PRIVACY SCREEN

TIMBER PRIVACY SCREEN

LIVING RL 17.50

POND / WATER FEATURE

ENTRY RL 17.80

COAT CUPD

POWDER ROOM RL 17.80

BREEZEWAY PATH

DINING RL 17.50

KITCHEN RL 17.50

STAIRS

LAUNDRY / SHR RL 17.50

LINEN CUPD

PANTRY RL 17.50

GAS HOTWATER SYSTEM 6 STAR INSTANTANEOUS

STORE RL 17.80

GARAGE RL 17.80

DRIVEWAY

DRYING AREA GRASS

TIMBER SCREEN

PLANTS/GARDEN

BIN STORE

METERS

EXISTING TIMBER PALING FENCE

EXISTING TIMBER PALING FENCE

POWER POLE

concrete lid to be relocated

MAGNETIC MERIDIAN

DA2007 B

DA3006 A

DA3008 C

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

CITY COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

NOTES

1.0 All works are designed in accordance with the BCA 2006
2.0 All external walls - timber framed to have insulation with R Value 1.3 (or 1.7 including construction)
3.0 All external walls - concrete block/plasterboard to have insulation with R Value of 1.18 (or 1.7 including construction)
4.0 Raked Celing to have insulation with R Value of 1.74 (up); and roof to have foil backed blanket (55mm).

SMOKE ALARM

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LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)

ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06
C	Amended DA	5.03.07

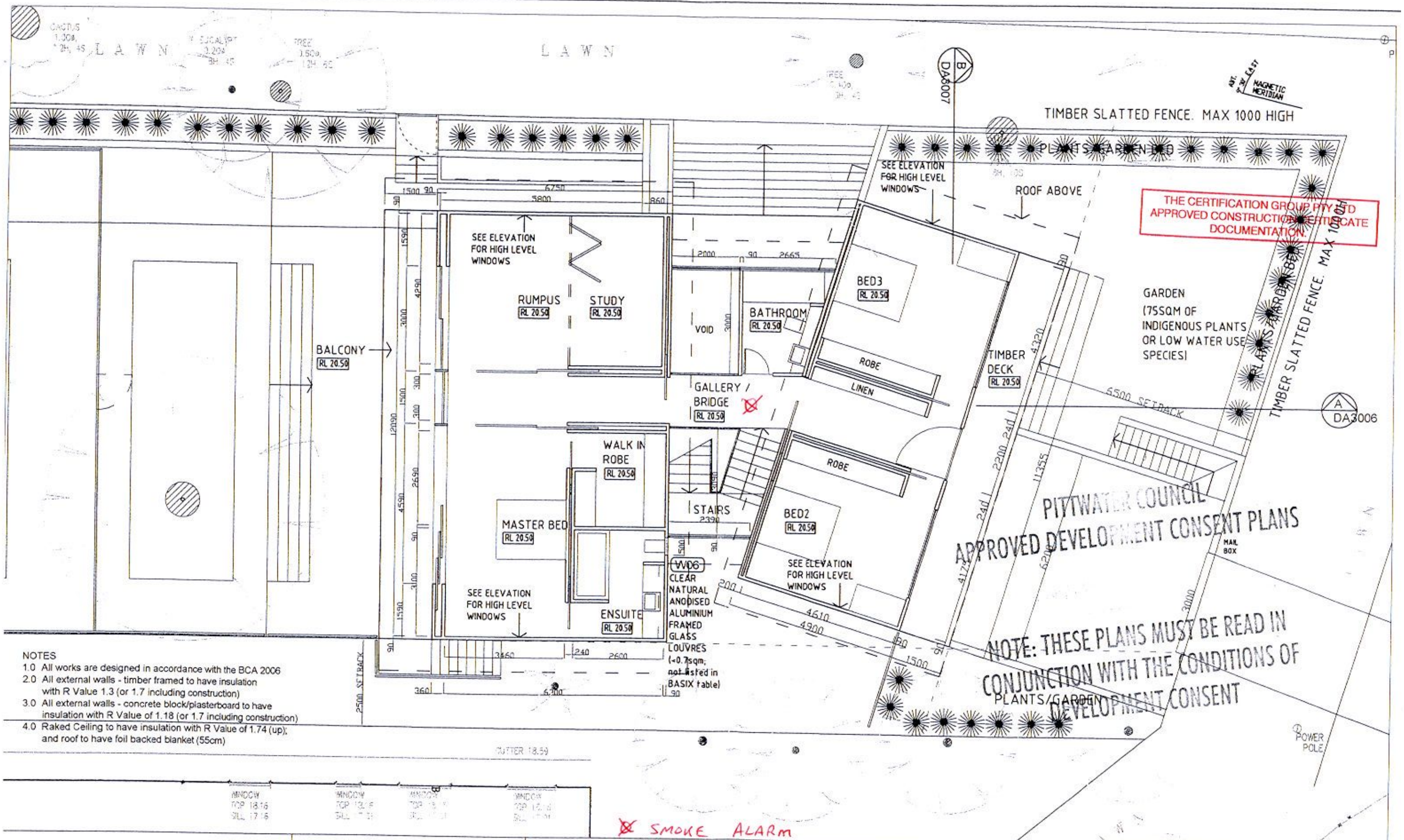
BARNABAS RESIDENCE

43 Crescent Road Newport

Ground Floor Plan

date Dec 05 scale 1:100 checked

project 04/031 dwg no DA2002 rev C



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LEGEND
- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)

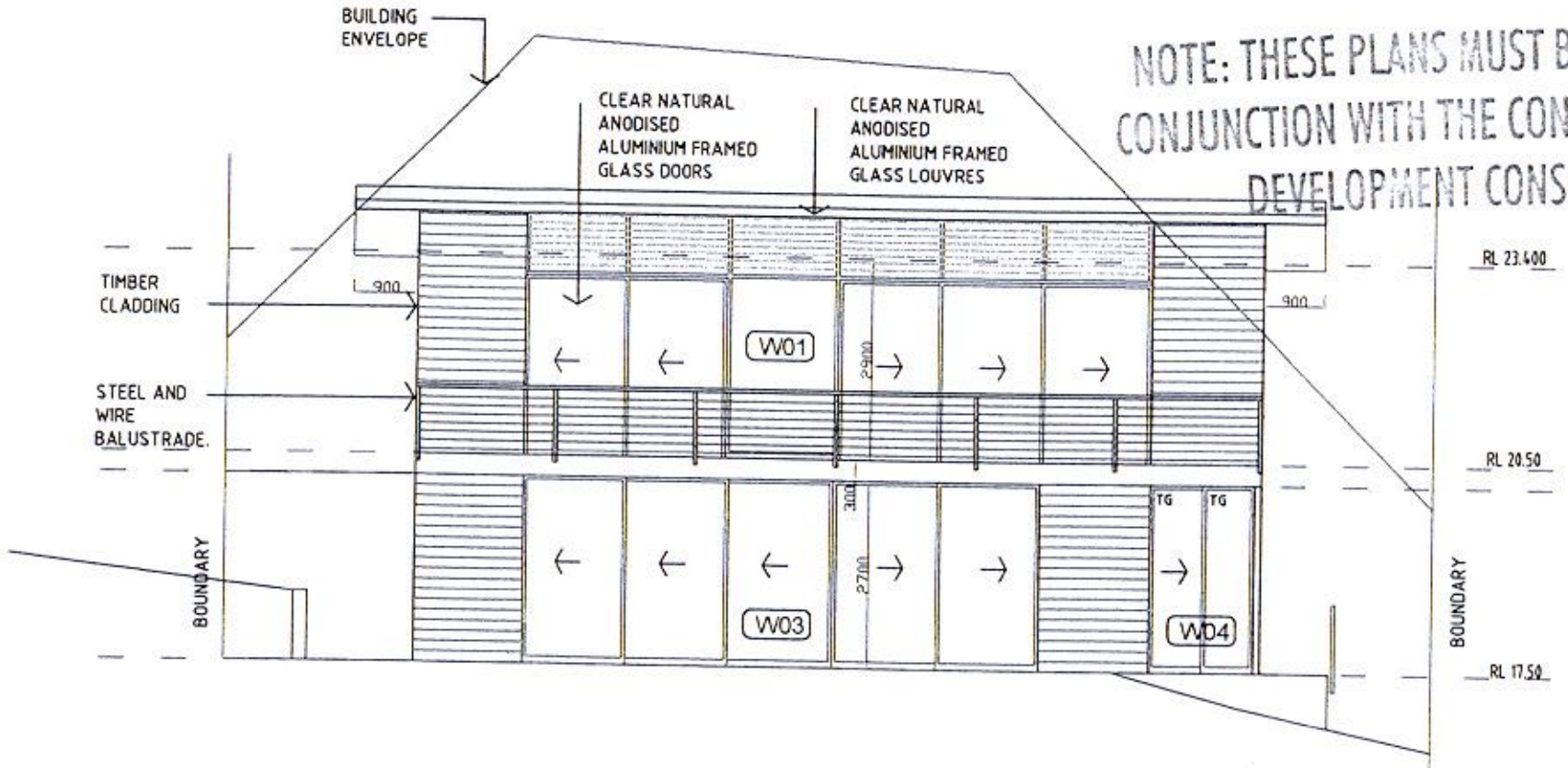
ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06
C	Amended DA	5.03.07

BARNABAS RESIDENCE
43 Crescent Road Newport
First Floor Plan
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA2003 rev C

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT



NORTH ELEVATION

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)
- TG — TRANSLUCENT GLASS
- W__ — WINDOW NUMBER (BASIX)
- PG — PYROLYTIC GLASS (Max U-Value : 4.48, SHGC: +/- 10% of 0.46)

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

NOTES
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2.0 All external walls - timber framed to have insulation with R Value 1.3 (or 1.7 including construction)
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ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06
C	Amended DA Issue	5.03.07

BARNABAS RESIDENCE
43 Crescent Road Newport
Elevations Sheet1
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA3001 rev C

Approved (stamped) architectural Construction Certificate plans take precedence over all supporting documentation in relation to any discrepancies between them

Smoke Alarms to be installed in accordance with AS 3786 -1993 'Smoke Alarms' & Part 3.7.2 'Smoke Alarms' of the Building Code of Australia

Termite Management to comply with AS 3660 – 2000 'Termite management – New building work'

Glazing to comply with AS 1288 – 2006 'Glass in buildings – Selection & Installation' & AS 2047 – 1999 "Windows in buildings-Selection & Installation"

All external glazing is to have a maximum reflectivity index of 25%

Waterproofing of wet areas to comply with AS 3740 – 2004 'Waterproofing of wet areas in residential buildings'

Doors to fully enclosed sanitary compartments to comply with Part 3.8.3 "Facilities" of the Building Code of Australia

Balustrades construction to comply with Part 3.9.2.3 – 'Balustrade' of the Building Code of Australia

Pittwater Council Approved Access Driveway Profile to be complied with.

Materials and colour schemes are to be in accordance with the samples submitted to Council. No white or light coloured roofs are submitted

Water conservation devices with a AAA rating to be installed, including tap flow regulators, shower head roses and dual flush toilets. All new hot water systems are to have a minimum rating of 3.5 stars

Pool fencing to be designed and located and maintained in accordance with the Swimming Pool Act 1972, and AS 1926.1

All plumbing and drainage fixtures are to be concealed and not exposed to public view on buildings over one storey in height

Building to incorporate BASIX commitments to comply with the BASIX Certificate No.69083S dated 15/08/06 (Note: Shading to windows)

Compliance with the colour schedule

Rainwater & Stormwater Tanks to be below ground

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)
- TG — TRANSLUCENT GLASS
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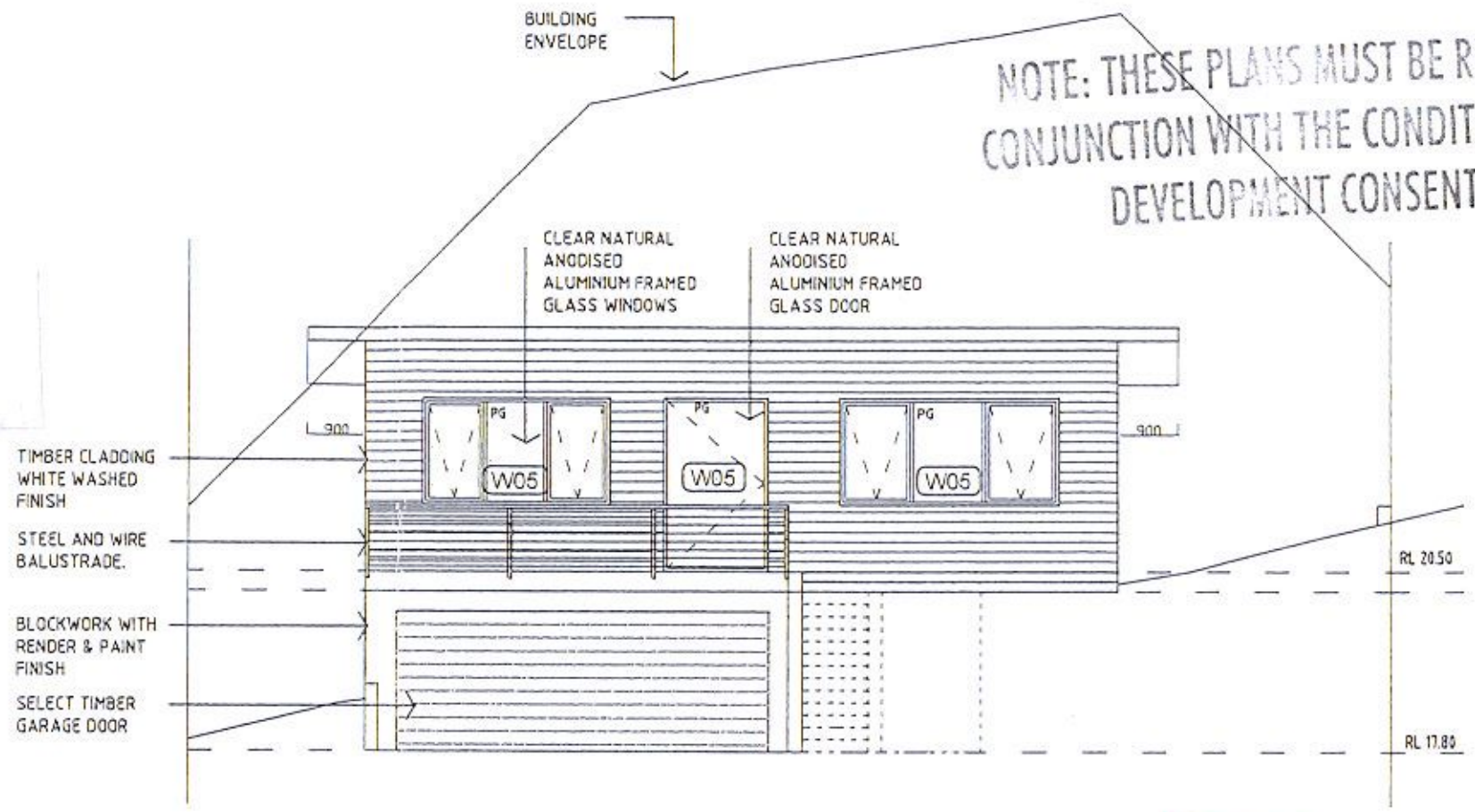
4.0 Raked Ceiling to have insulation with R Value of 1.74 (up); and roof to have foil backed blanket (55cm)

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS



NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

SOUTH ELEVATION

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

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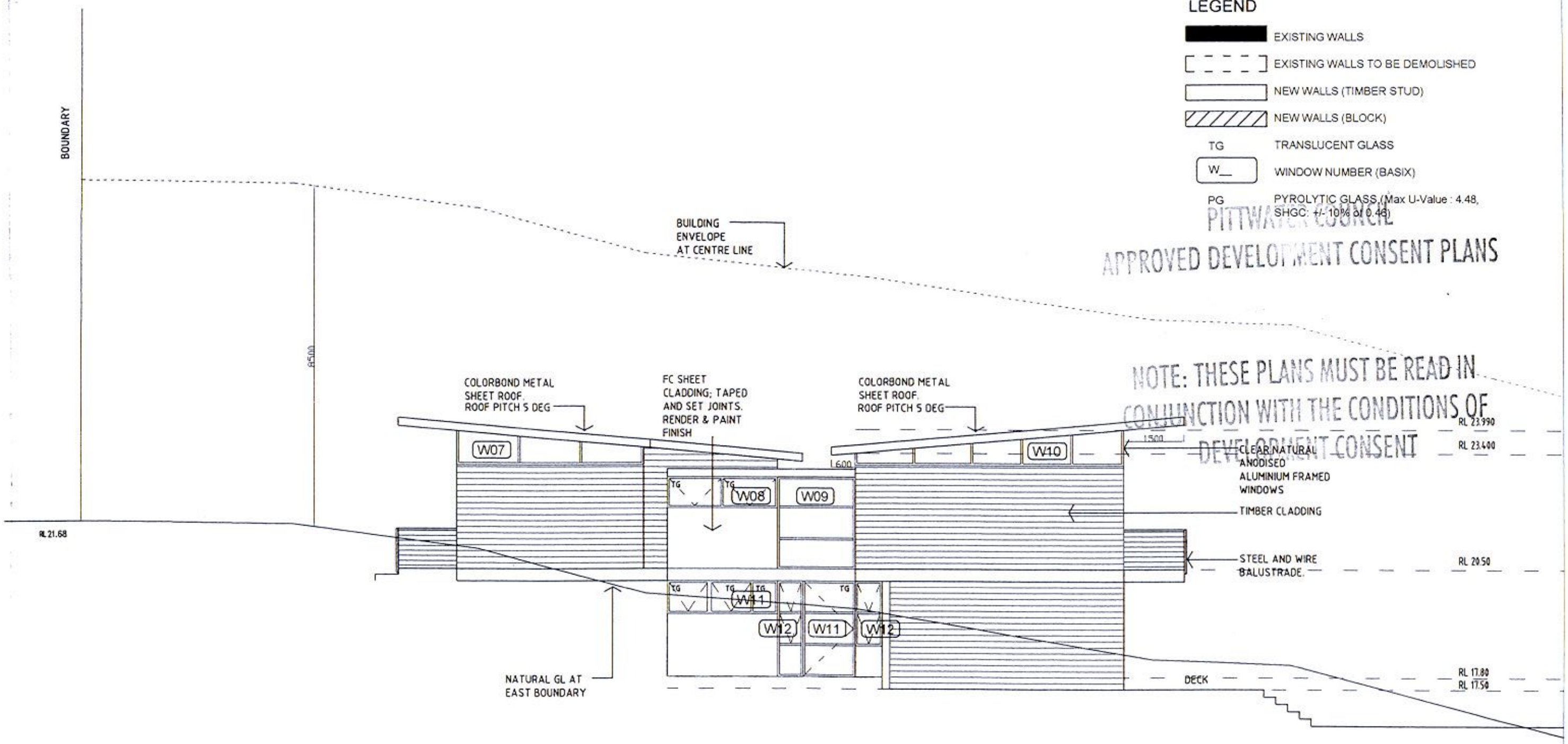
ISSUE DETAILS

A	DA Issue to Client for approval & Council prelodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06

BARNABAS RESIDENCE
43 Crescent Road Newport
Elevations Sheet2
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA3002 rev B



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

EAST ELEVATION

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THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

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ISSUE DETAILS

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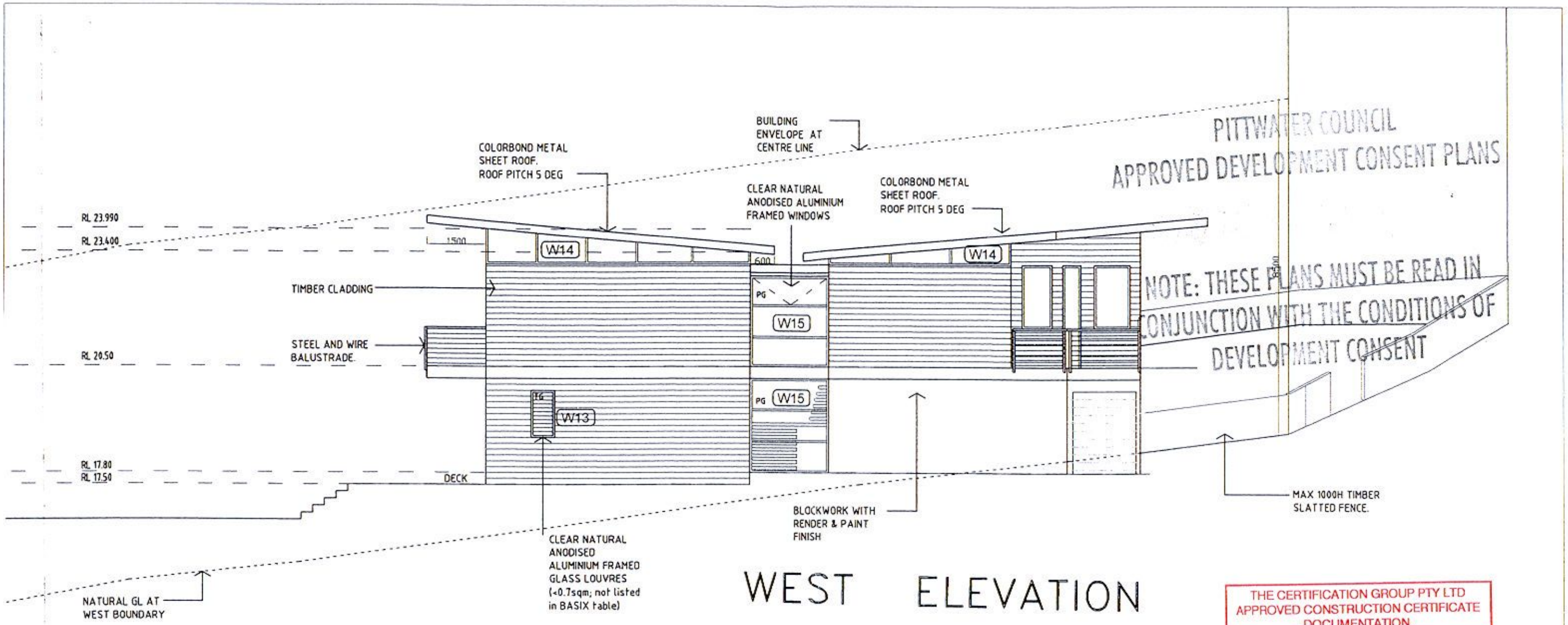
C	Amended DA Issue	5.03.07

BARNABAS RESIDENCE
43 Crescent Road Newport
Elevations Sheet3
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA3003 rev C



PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

WEST ELEVATION

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)
- TG — TRANSLUCENT GLASS
- W__ — WINDOW NUMBER (BASIX)
- PG — PYROLYTIC GLASS (Max U-Value : 4.48, SHGC: +/- 10% of 0.46)

NOTES
1.0 All works are designed in accordance with the BCA 2006
2.0 All external walls - timber framed to have insulation with R Value 1.3 (or 1.7 including construction)
3.0 All external walls - concrete block/plasterboard to have insulation with R Value of 1.18 (or 1.7 including construction)
4.0 Raked Ceiling to have insulation with R Value of 1.74 (up); and roof to have foil backed blanket (55cm)

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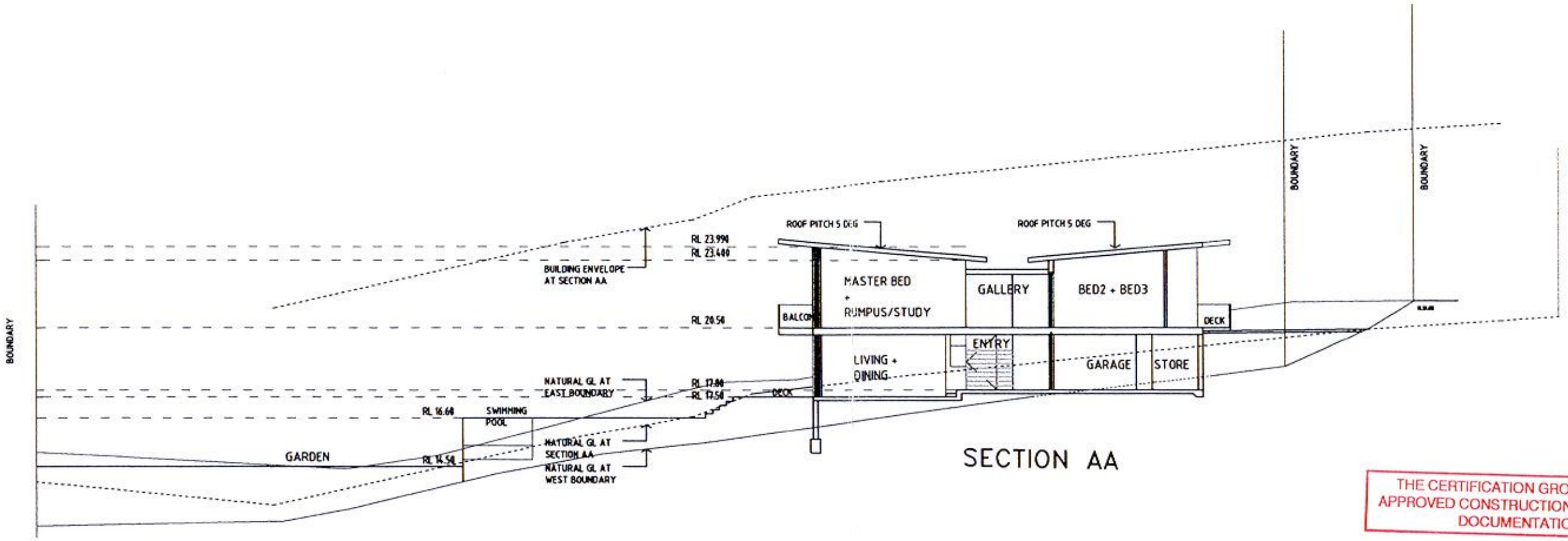
ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.02.06
B	DA Issue to Client & Council	15.08.06
C	Amended DA Issue	5.03.07

BARNABAS RESIDENCE
43 Crescent Road Newport
Elevations Sheet4
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA3004 rev C



SECTION AA

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)
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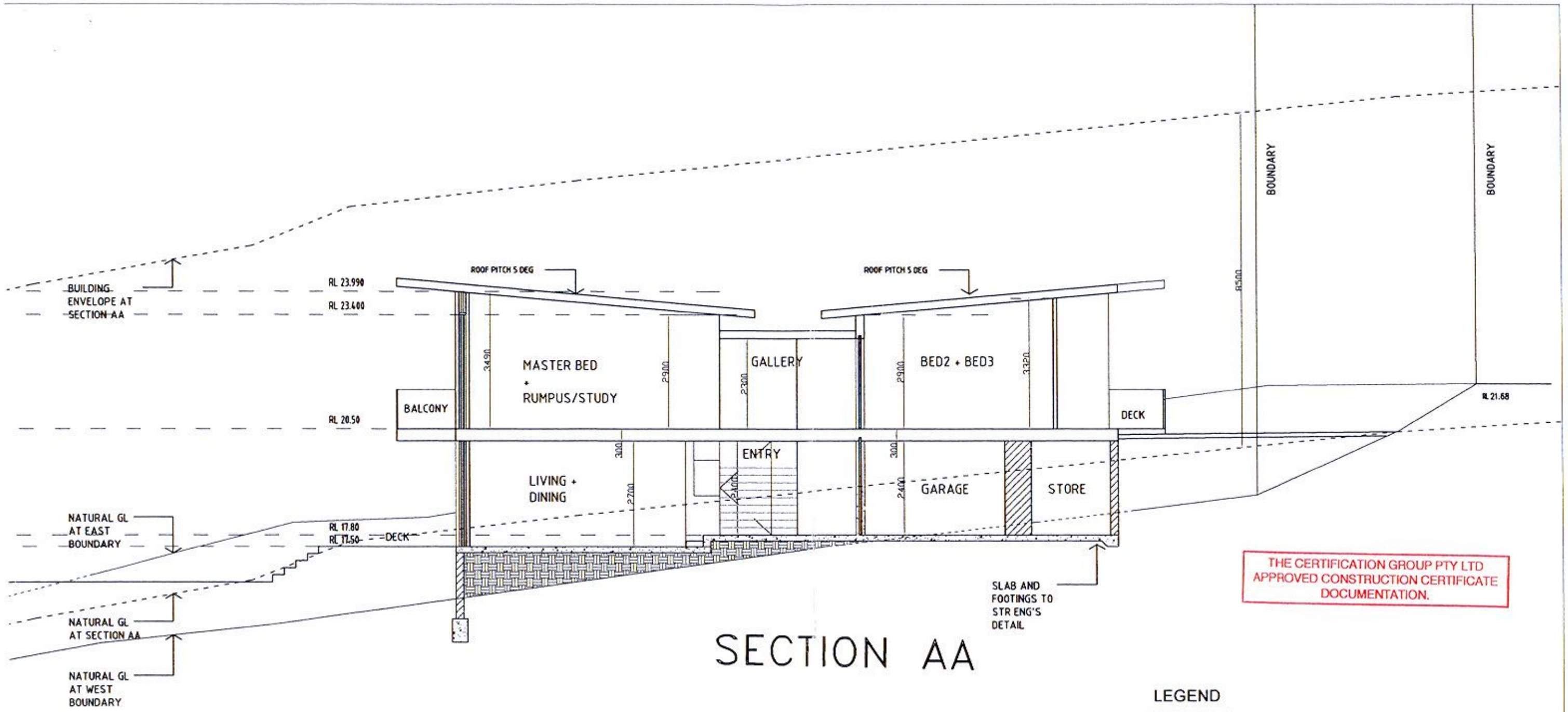
ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06

BARNABAS RESIDENCE
43 Crescent Road Newport
Sections (Site Section) Sheet1
date Dec 05 scale 1:200 checked
project 04/031 dwg no DA3005 rev B



THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

SECTION AA

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)
- TG — TRANSLUCENT GLASS
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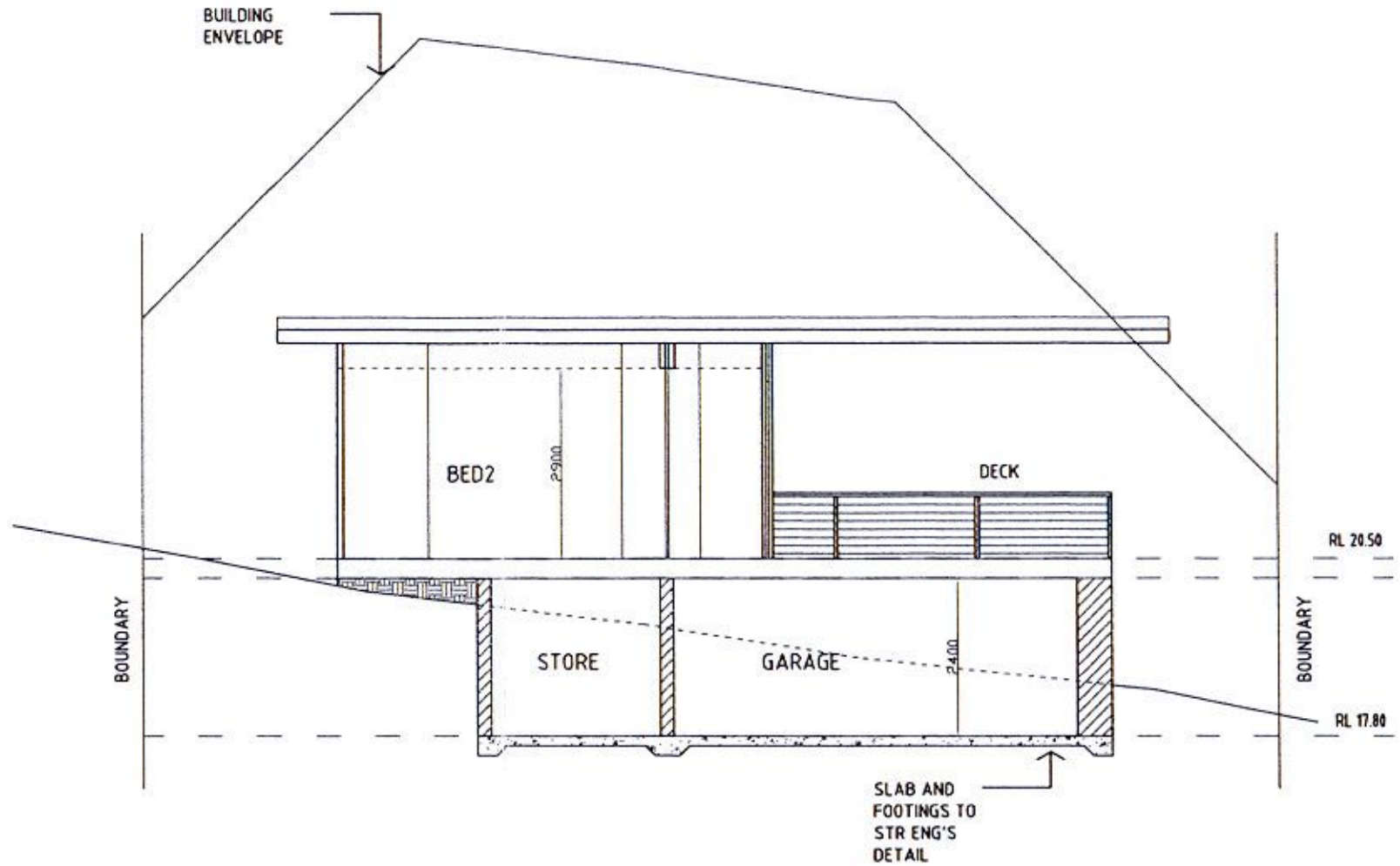
ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06

BARNABAS RESIDENCE
43 Crescent Road Newport
Sections Sheet2
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA3006 rev B



SECTION B–B

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION.

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
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ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	17.03.06
B	DA Issue to Client & Council	15.08.06

BARNABAS RESIDENCE
43 Crescent Road Newport
Sections Sheet3
date Dec 05 scale 1:100 checked
project 04/031 dwg no DA3007 rev B

LEGEND

- EXISTING WALLS
- EXISTING WALLS TO BE DEMOLISHED
- NEW WALLS (TIMBER STUD)
- NEW WALLS (BLOCK)
- TG — TRANSLUCENT GLASS
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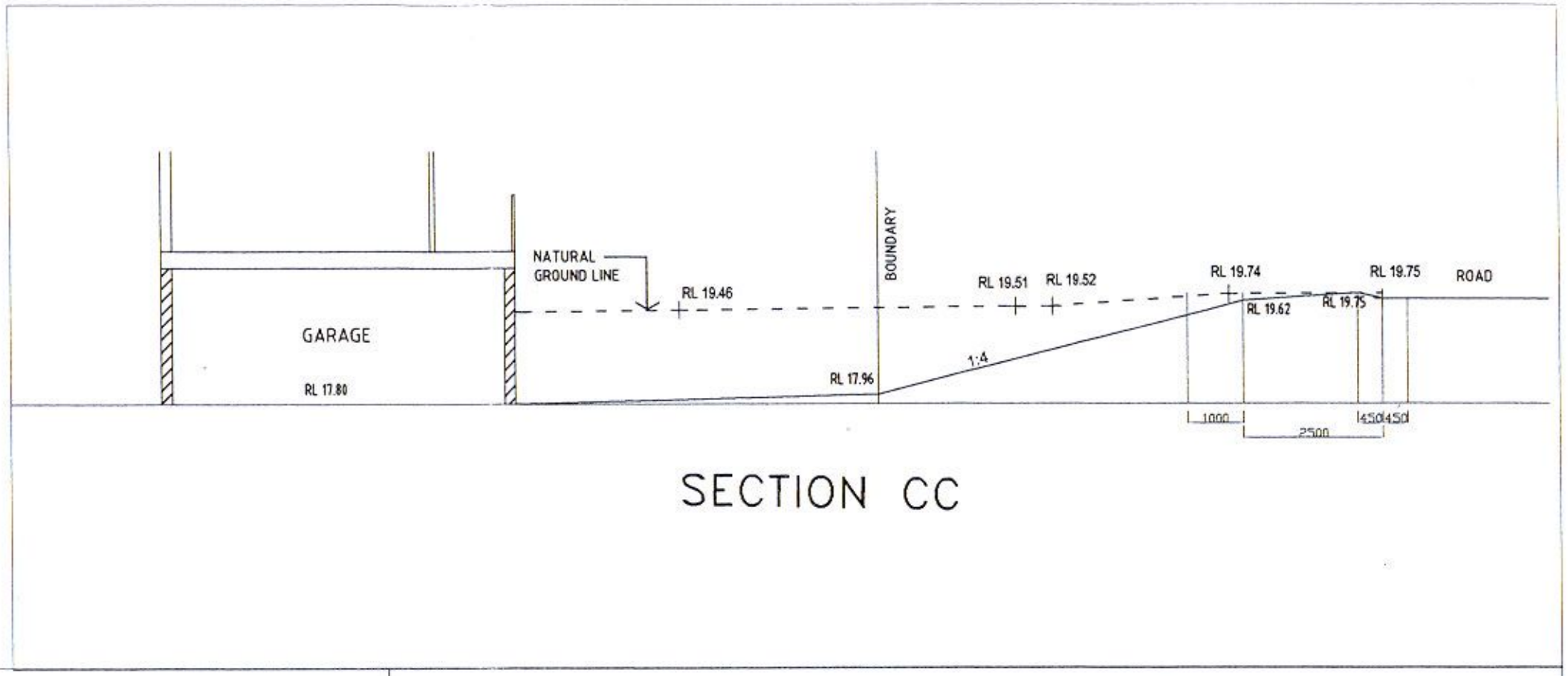
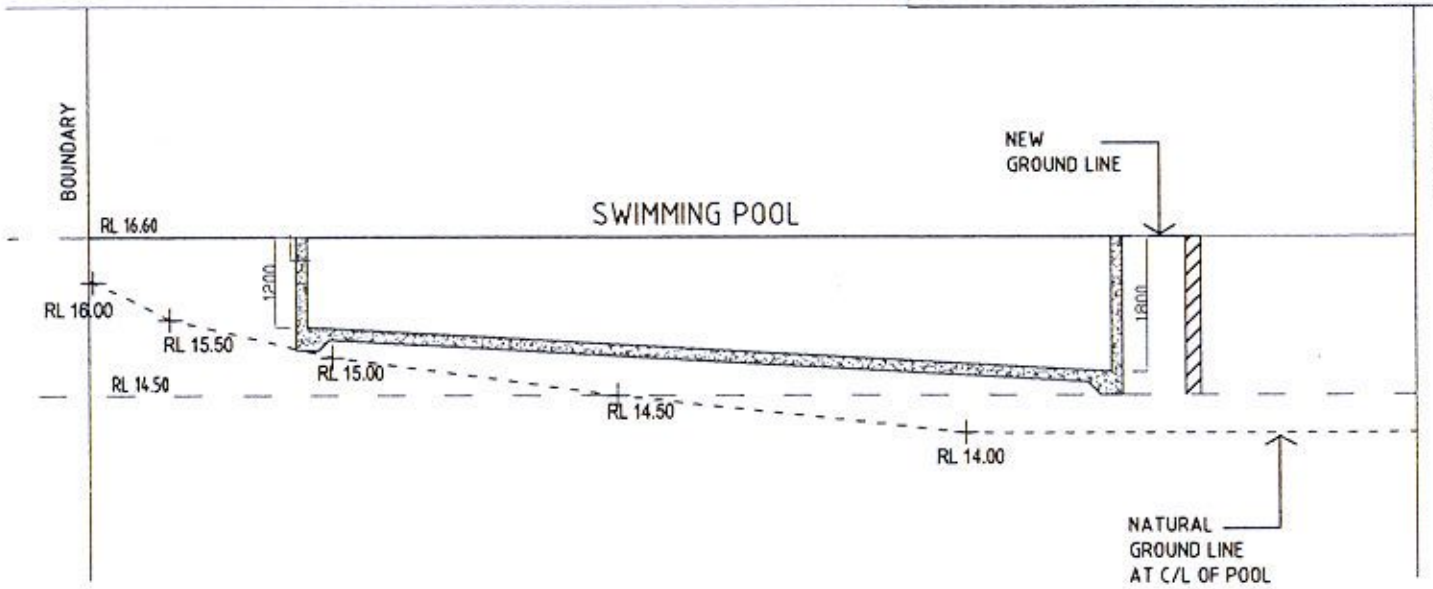
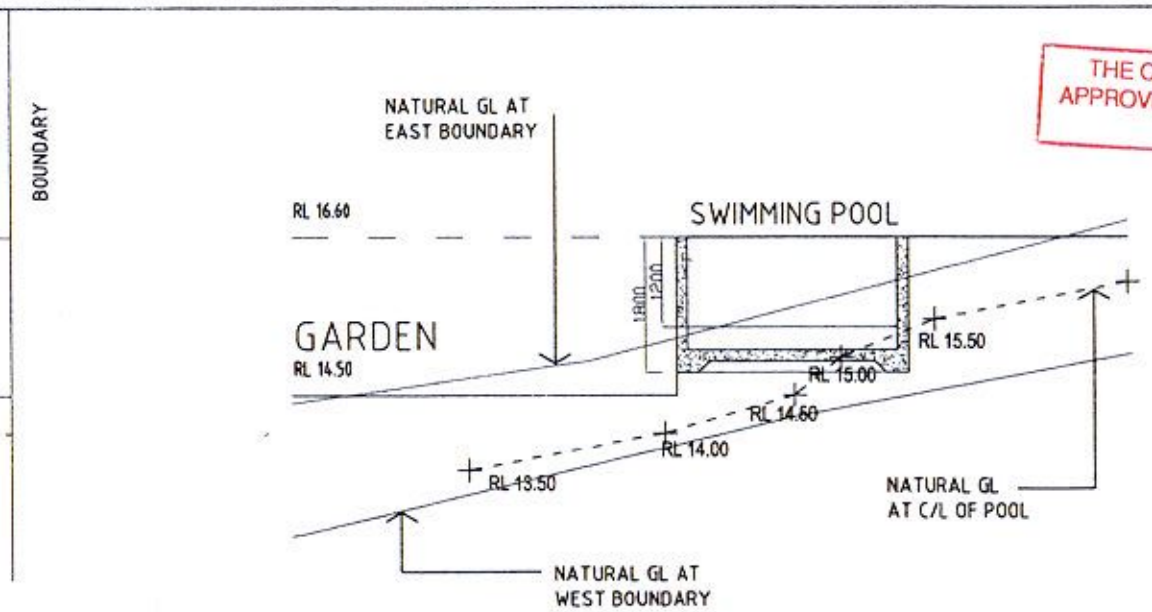


SECTION CC



SECTION DD
Pool in E–W Direction



SECTION EE
Pool in N–S Direction

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ISSUE DETAILS

A	DA Issue to Client for approval & Council pre-lodgement meeting	06.04.06
B	DA Issue to Client & Council	15.08.06
C	RL's added, Pool sections added; amended DA Issue toClient & Council	11.09.06

BARNABAS RESIDENCE
43 Crescent Road Newport
Sections Sheet4
date Apr 06 scale 1:100 checked
project 04/031 dwg no DA3008 rev C